

BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION  
**Regular Meeting of February 22, 2021-7 pm**

The Environmental Commission meeting for February 22, 2021 will be conducted using Zoom Video Conferencing. The public will be able to view the meeting live by clicking on this link

<https://us02web.zoom.us/j/89453197130?pwd=bDU5aFA3YXVvWm15L0V2a2JXa0N2dz09> at 7:00 PM

Or by calling 1-646-558-8656 and entering Meeting ID: 894 5319 7130 and Passcode: 034175  
Public comment will be accepted via e-mail. Please include your name and address in the e-mail and send comments to [kcartoccio@bernards.org](mailto:kcartoccio@bernards.org). They will be read during the public comment section.

**Meeting Agenda**

- 1. Call to Order**
- 2. Open Public Meeting Statement**
- 3. Flag Salute**
- 4. Roll Call**
- 5. Approval of EC Meeting Minutes Regular and Reorganization –[January 25, 2021](#)**
- 6. Reports and Miscellaneous Correspondence**
  - a. **Correspondence**
    - i. [16 Rocky Ln](#)-NJDEP-FWW General Permit #8
    - ii. [PSE&G](#) -FWW Permit Extension
  - b. **Public Outreach Project** - Update
- 7. Old Business**
  - a. [Silver Living-ZB20-015 - 14 North Maple Ave](#)-Revised Materials.
- 8. New Business**
  - a. **Applications \*Note-Verizon & Fellowship SL have separate links\***
    - i. **Verizon Corporate Services Group-ZB21-001 - 300 North Maple Ave**- Major site plan approval for construction of additional parking.
    - ii. [Roti-ZB21-002 - 10 Pacer Ct](#)-6' fence in front yard; Shed in front yard.
    - iii. [Burcat-ZB21-005 - 153 Spencer Rd](#)-Variance for front yard setback (addition) and a pool not located behind rear building line of adjacent dwellings.
    - iv. [Rosentblatt-ZB21-006 - 30 Cameron Ct](#)- Pool not located behind the rear building line of adjacent dwellings.
    - v. **Fellowship Senior Living-PB20-005 - 8000 Fellowship Rd**- Preliminary & final major site plan.
- 9. Comments by Public**
- 10. Comments by Members**
- 11. Adjournment**

Kelly Julian, Secretary



Please call (908) 204 - 3000 seventy-two (72) hours in advance if accommodations are required, including assistive listening devices (ALD).



## ***Bernards Township Environmental Commission***



### **BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION MINUTES – January 25, 2021 – 7pm**

#### **CALL TO ORDER**

Chairperson Ann Parsekian called the meeting to order at 7:11 pm via Zoom Conference call in accordance with the Open Public Meeting Act of 1975.

#### **FLAG SALUTE**

All those assembled saluted the flag.

#### **ROLL CALL**

**Present:** Joan Bannan, Debra DeWitt, Nancy Cook, Jane Conklin, James LaMaire, Ann Parsekian, Jason Roberts, Alice Smyk, Sarah Wolfson

**Absent:** Emily Johnston Schlenker

**Also Present:** Kaitlin Cartoccio - Recording Secretary, Todd Edelstein – Resident, John Crane – Resident

#### **APPROVAL OF MEETING MINUTES**

Motion to approve the December 28, 2020 minutes made by Debra DeWitt, second by Nancy Cook. Sarah Wolfson and Jason Roberts abstained. All in favor, motion carried.

#### **REPORTS & MISCELLANEOUS CORRESPONDENCE**

a. **3066 & 3074 Valley Road – LOI**

No comments.

b. **Year End Report for 2020**

Sarah Wolfson commented that “wildlife” was included in “flora and fauna”. Wildlife will be taken out and flora and fauna would be kept in the report. Alice Smyk made motion to approve the report, Jane Conklin seconded. All those in favor, motion carried.

#### **NEW BUSINESS**

a. **Rossi-ZB-21-003-14 Culberson Road – “C” Coverage Variance for construction of an in-ground pool. Patio & cabana.**

Debra Dewitt recused herself at 7:18 pm. The Environmental Commission notes the proposed lot coverage exceeds the required amount. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area wide flooding. Site drainage is the concern with this application, therefore site features to promote stormwater infiltration should be considered. The New Jersey Department of Environmental Protection Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners (<http://www.nj.gov/dep/gi/>). The Commission suggests that the applicant may want to consider reducing the amount of impervious surface coverage. In regards to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season, or during maintenance. This water



## ***Bernards Township Environmental Commission***



often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.

Motion by James LaMaire, seconded by Nancy Cook.

All in favor, motion carried.

**b. Maschhoff-ZB-21-004-31 Clairvaux Ct – “C” Variances for in ground pool coverage – Not behind rear building line of adjacent dwelling**

Debra DeWitt returned at 7:40 pm. The Environmental Commission notes the proposed lot coverage exceeds the required amount. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area wide flooding. Site drainage is the concern with this application, therefore site features to promote stormwater infiltration should be considered. The New Jersey Department of Environmental Protection Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners (<http://www.nj.gov/dep/gi/>). In regards to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season, or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water. The Commission also wants to note that if the pool is placed in accordance with the ordinance, trees would have to be removed. The proposed plan does not appear to require tree removal.

Motion by Jane Conklin, seconded by Debra DeWitt.

All in favor, motion carried.

**c. Fellowship Village-PB-20-005-8000 Fellowship Rd – Preliminary & final major site plan.**

Alice Smyk recused herself at 7:57 pm. Discussion tabled to February meeting.

Motion by Debra DeWitt, seconded by Nancy Cook.

All in favor, motion carried.

Alice Smyk returned at 7:58 pm.

### **PUBLIC COMMENT**

Todd Edelstein mentioned a conversation with Dave Schley, met with Pat Monaco about the packet with the social security number. Suggested that new people should attend Zoning Board or Planning Board meeting. John Crane was glad to see Ann and Debra reappointed. Told new



## ***Bernards Township Environmental Commission***



members to reach out if they should need anything.

### **COMMENTS BY MEMBERS**

Ann Parsekian asked the new members what kind of project they were interested in. Sarah Wolfson replied being interested in eliminating invasive species. Jason Roberts said he is excited for the opportunity to be a part of the Environmental Commission. Ann Parsekian then brought up a membership for the Association of New Jersey Environmental Commission. The Bernards EC has not been a member for several years. 7 members get free training from ANJEC, and ANJEC has displays and activities to loan members. In addition, there are grants and other opportunities for ECs that are members. The Commission voted unanimously to renew their membership. The Commission also received mail from Brian Pinke, an NJ Watershed Ambassador. He will be invited to an upcoming meeting. Last year the EC had 2 committees – Charter Day and Social Media. Debra DeWitt and Nancy Cook will continue on the social media committee. Ideas included a composting video and a community project. There was a discussion on either purchasing or acquiring donated monarch butterfly milkweed seeds to distribute to residents.

### **ADJOURNMENT**

Meeting was adjourned at 8:53 pm. Motion by James LaMaire, second by Joan Bannan. All in favor, motion carried.

Respectfully submitted,  
Kaitlin Cartoccio, Meeting Secretary



## *Bernards Township Environmental Commission*

**TO:** Zoning Board Chairperson and Members

**FROM:** Ann Parsekian, Chairperson  
Bernards Township Environmental Commission

**DATE:** January 26, 2021

**RE:** Applications review

The Environmental Commission reviewed these applications at their January 26, 2021 meeting and forwards the following comments.

### **Zoning Board**

#### **Rossi ZB21-003 14 Culberson Road**

The Environmental Commission has reviewed this application and offers the following comments:

1. The Environmental Commission notes the proposed lot coverage of 22.54% substantially exceeds the permitted maximum of 18%. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area-wide flooding. Site drainage is a concern with this application, therefore site features to promote stormwater infiltration are important. The NJ DEP Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners. (<http://www.nj.gov/dep/gi/>).
2. The Commission suggests that the Zoning Board discuss with the Applicant whether they may want to consider reducing the amount of impervious surface coverage.
3. The site plan depicts low walls around portions of the patio and fire pit areas, and also appears to show existing shrubbery/trees between the patio and fire pit areas and the proposed pool area. There does not seem to be a clearly defined path/walk to access the pool area. The Environmental Commission suggests that the Zoning Board clarify proposed access with the Applicant.
4. With regard to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.



## *Bernards Township Environmental Commission*

<https://www.bernards.org/government/documents/department-documents/environmental/1645-best-management-practices-pool-water-discharge/file>

### **Maschoff ZB21-004 31 Clairvaux Court**

The Environmental Commission has reviewed this application and offers the following comments:

1. The Environmental Commission notes that at 18.1% the proposed lot coverage substantially exceeds the permitted maximum of 15%. Increased impervious coverage increases the volume (quantity) of stormwater runoff, which can contribute to local and potentially area-wide flooding. Site drainage is a concern with this application, therefore adequate site features to promote stormwater infiltration are important. The NJ DEP Green Infrastructure website is a good reference for “green” stormwater management practices for homeowners.

[\(http://www.nj.gov/dep/gi/\)](http://www.nj.gov/dep/gi/).

2. The Commission suggests that the Zoning Board discuss with the Applicant whether they may want to consider reducing the amount of impervious surface coverage.

3. With regard to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.

<https://www.bernards.org/government/documents/department-documents/environmental/1645-best-management-practices-pool-water-discharge/file>

4. The Environmental Commission notes that placement of the pool within the area permitted by ordinance, as shown on the submitted Proposed Landscape Development plan to be south of the proposed location, would apparently require the removal of a number of existing trees. It would be preferable to minimize tree removal.

Cc: David Schley, Township Planner  
Cyndi Kiefer, Secretary; for distribution to BOA members



## ***Bernards Township Environmental Commission***



### **BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION REORGANIZATION MEETING MINUTES – January 25, 2021 – 7pm**

#### **CALL TO ORDER**

Chairperson Ann Parsekian called the meeting to order at 7:01 pm via Zoom Conference call in accordance with the Open Public Meeting Act of 1975.

#### **FLAG SALUTE**

All those assembled saluted the flag.

#### **ROLL CALL**

**Present:** Joan Bannan (7:02 pm), Debra DeWitt, Nancy Cook, Jane Conklin (7:04pm), James LaMaire, Ann Parsekian, Jason Roberts, Alice Smyk, Sarah Wolfson

**Absent:** Emily Johnston Schlenker

**Also Present:** Kaitlin Cartoccio - Recording Secretary, Todd Edelstein - Resident, John Crane – Resident

#### **REVIEW TOWNSHIP ORDINANCE FOR ENVIRONMENTAL COMMISSION**

Ann Parsekian had sent out copies of the Environmental Commission's mission and objectives. No changes have occurred in the ordinance governing the Environmental Commission.

#### **NOMINATION FOR CHAIRPERSON**

Motion by Nancy Cook, seconded by Debra DeWitt to nominate Ann Parsekian as Chairperson of the Environmental Committee. No other nominations were heard. All were in favor, motion passed.

#### **NOMINATION FOR VICE CHAIRPERSON**

Motion by Nancy Cook, seconded by Alice Smyk to nominate Debra DeWitt as Vice Chairperson of the Environmental Committee. No other nominations were heard. All were in favor. Motion passed.

#### **SUB-COMMITTEE APPOINTMENTS**

Alice Symk nominated herself for Environmental Commission representative on the Tree Protection Committee. No other nominations were heard. All were in favor. Motion passed.

#### **COMMENTS BY MEMBERS**

Debra Dewitt was asked to be on Agricultural Advisory Committee as part of the Environmental Commission.

#### **ADJOURNMENT**

Meeting was adjourned at 7:11pm. Motion by Debra DeWitt, second by Jane Conklin. All in favor, motion carried.

Respectfully submitted, Kaitlin Cartoccio, Meeting Secretary

**PK ENVIRONMENTAL**  
*Planning & Engineering*  
PO Box 1066, 205 Main Street  
Chatham, New Jersey 07928

*Sandra E. Kehrley, PE, CFM*  
*John P. Peel, PP*

*tel (973) 635-4011*  
*fax (973) 635-4023*

**PUBLIC NOTICE**

**NJDEP Freshwater Wetlands (FWW) General Permit #8**

**TO:** Bernards Township Clerk, Bernards Township Construction Official, Bernards Township Environmental Commission, Bernards Township Planning Board, Somerset County Planning Board, and Property Owners Within 200-Feet of Block 3602 Lot 7 in Bernards Township

**DATE:** January 29, 2021

**RE:** NJDEP Freshwater Wetlands (FWW) General Permit #8 Application  
Block 3602 Lot 7 (16 Rocky Lane)  
Bernards Township, Somerset County, NJ  
Applicant/Owner: Michael Davidson

This letter provides you with legal notification that Michael Davidson has submitted an application to the NJDEP Division of Land Resource Protection for authorization of a Wetlands General Permit #8 for construction of a detached 720-square foot barn/shed building within an NJDEP regulated wetland/transition area. Also enclosed is a copy of the "Site Plan – Davidson Barn/Shed", prepared by Titus Surveying & Engineering P.C.

The NJDEP welcomes comments and any information that you may provide concerning the proposed on-site septic improvements, and if there are any comments or questions regarding this application, please submit your written comments to the address below.

**NJDEP Division of Land Resource Protection**  
**Mail Code 501-02A, PO Box 420**  
**Trenton, NJ 08625-0420**  
**Attn: Somerset County Supervisor**

Sincerely,

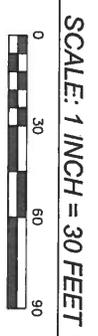
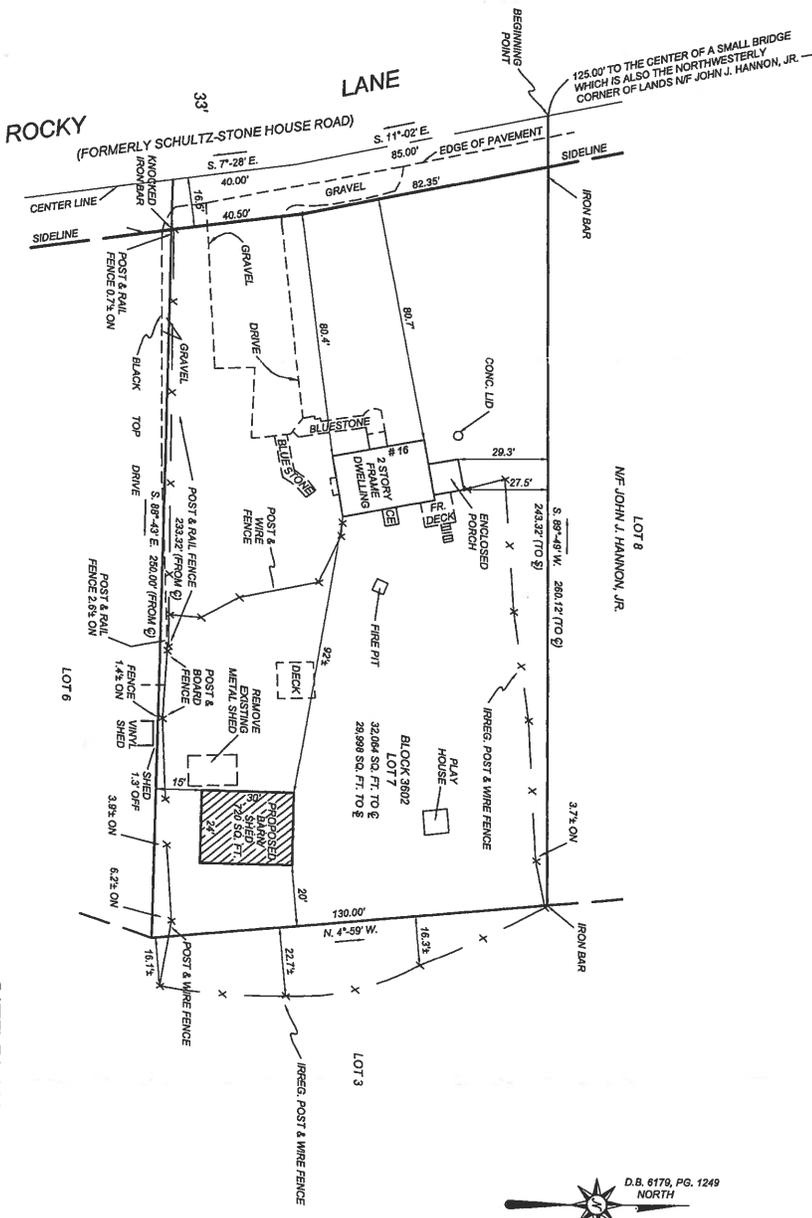
**PK ENVIRONMENTAL**  
  
John Peel, P.P.

**ENC**

cc: NJDEP DLRP  
Michael Davidson (Owner/Applicant)

**CERTIFIED MAIL**

Being known as Lot 7, Block 3602 on the Township of Bernards Tax Maps.



NOTES:  
 1) NO DISTURBANCE BEYOND SHED LIMITS (720 SQUARE FEET).  
 2) ALL TEMPORARY DISTURBANCE TO BE RESTORED UPON COMPLETION.  
 3) ROAD CLOSURE BARNSHED IS LOCATED WITHIN NAD83 REGULATED WENTLIANS.  
 4) SURVEY INFORMATION SHOWN HEREON BASED ON A FIELD SURVEY BY THIS OFFICE.

**SITE PLAN - DAVIDSON BARN/SHED**

**LOT 7, BLOCK 3602**  
 IN THE  
**TOWNSHIP OF BERNARDS**  
 SOMERSET COUNTY, NEW JERSEY

**TITUS SURVEYING & ENGINEERING, P.C.**

618 SOMERSET STREET  
 NORTH PLAINFIELD, NEW JERSEY 07060  
 PHONE: (908) 756-9047 FAX: (908) 756-9055

DATE	JOB NO.	BOOK	PAGE	DR. BY	CHECKED	SHEET
DECEMBER 2, 2020	4-1147-20	356	48	R7JLM	WLT	1 OF 1

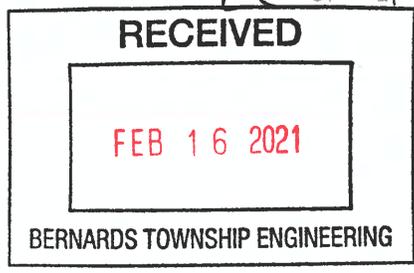
**RICHARD G. TITUS**  
 N.J. PROFESSIONAL  
 LAND SURVEYOR  
 LIC NO. G533181

*Richard G. Titus*  
**W. LELAND TITUS**  
 N.J. PROFESSIONAL  
 ENGINEER  
 LIC NO. GE31635

SHOW BUILDING JAN. 20, 2021



EC Correspondence



Delivery Projects & Construction  
Public Service Electric and Gas Company  
4000 Hadley Road, South Plainfield, New Jersey 07080



November 30, 2020

**Notice to: Construction Official, Environmental Commission, Planning Board,  
County Planning Board, and County Soil Conservation District**

**CERTIFIED MAIL**

Re: Application for an Extension of Freshwater Wetlands General Permit Number 1  
PSE&G Electric Overhead and Underground Transmission System ROWs Maintenance  
Bergen, Burlington, Camden, Essex, Gloucester, Hudson, Hunterdon, Mercer, Middlesex,  
Morris, Passaic, Salem, Somerset, Sussex, Union, and Warren Counties, New Jersey  
File No. 0000-02-0031.2, FWW160001

To Whom It May Concern:

This letter is to provide you with legal notification that an application for an Extension of a Freshwater Wetlands General Permit Number 1 (FWW GP1) has been submitted to the New Jersey Department of Environmental Protection, Division of Land Use Regulation for the maintenance of existing Public Service Electric and Gas Company (PSE&G) Electric Overhead and Underground Transmission System Rights-Of-Way, as shown on the enclosed map. A brief description of the proposed project follows:

PSE&G is required to maintain its regional electric transmission system on an ongoing basis in an effort to provide safe and reliable electric service to its approximate 2.2 million customers by the New Jersey Board of Public Utilities (BPU) and the North American Electric Reliability Corporation (NERC). This activity has been previously permitted under a "blanket" FWW GP1, issued on April 5, 2016 and set to expire on April 4, 2021 (NJDEP Permit No. 0000-02-0031.2, FWW160001). The FWW GP1 authorizes the disturbance of wetlands and State open waters necessary to perform temporary and routine maintenance and repair activities within the PSE&G Electric Overhead and Underground Transmission System Rights-of-Way including: vegetation management and maintenance; access road repair, rehabilitation or replacement; maintenance and/or reconstruction; tower and pole foundations inspections and repairs; reconductoring; and repair of underground insulation and shield tapes. The FWW GP1 also authorizes the emergency repairs within wetlands and State open waters necessary to restore service to affected areas.

The complete permit application package can be reviewed at either the municipal clerk's office or by appointment at the Department's Trenton Office. In addition, an electronic copy of the initial application can be provided via an OPRA request by contacting <https://www.nj.gov/dep/opra/opraform.html> from the Department's Trenton Office. The Department of Environmental Protection welcomes comments and any information that you may

Government Officials

November 30, 2020

Page 2

provide concerning the proposed maintenance activities. Please submit your written comments within 45 calendar days of the date of this letter to:

New Jersey Department of Environmental Protection  
Division of Land Use Regulation  
Mail Code 501-02A  
P.O. Box 420  
Trenton, New Jersey 08625  
Attention: Application Support

If you have any questions regarding this notice, please feel free to contact me.

Very truly yours,

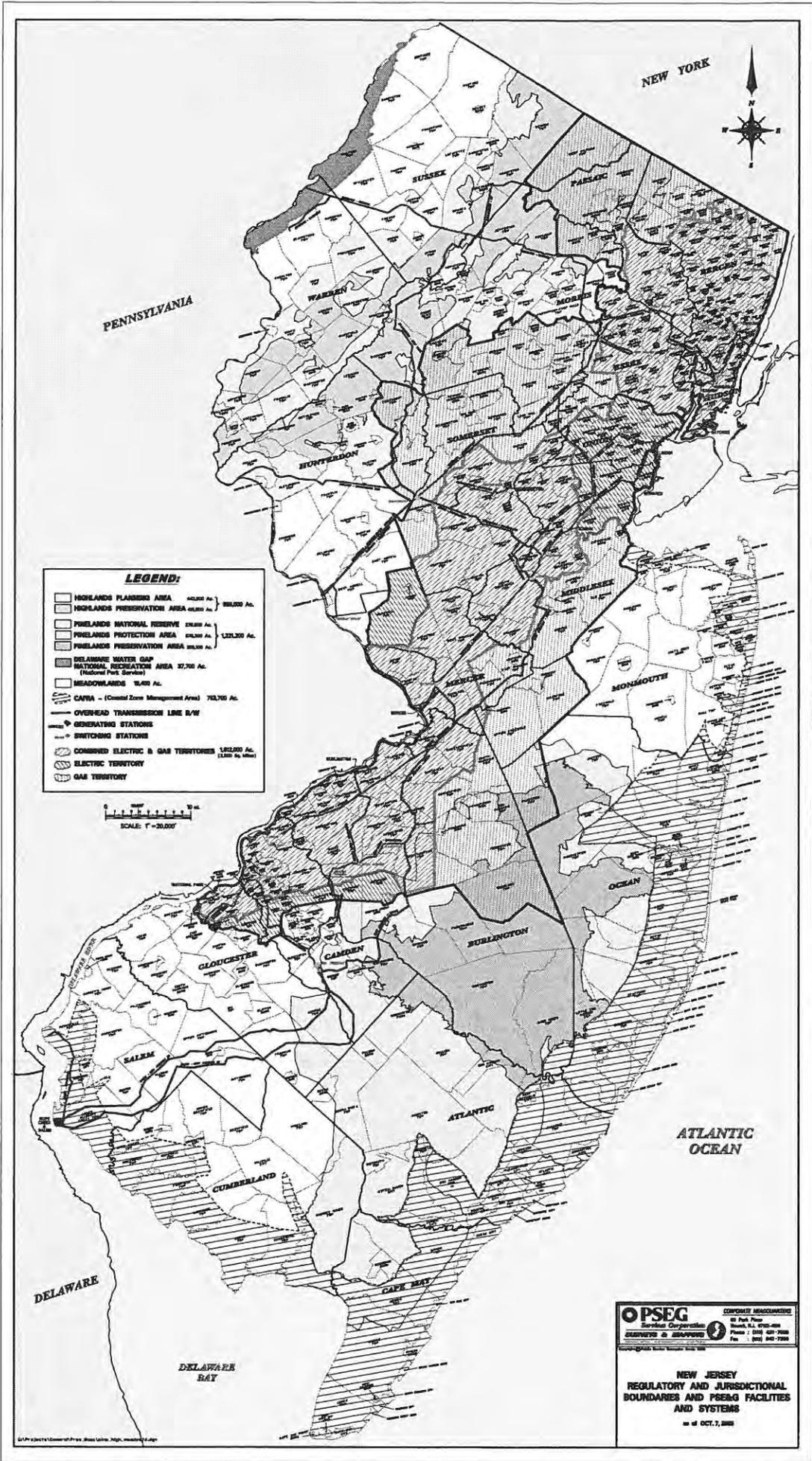
Public Service Electric and Gas Company



David W. Grossmueller, Ph.D.  
Senior Permitting Specialist  
PSE&G Delivery Projects & Construction  
4000 Hadley Road  
South Plainfield, New Jersey 07080  
(908) 412-7257

DWG/kt  
enclosures

cc: NJDEP Application Support



PENNSYLVANIA

NEW YORK



**LEGEND:**

- HIGHLANDS PLANNING AREA 46,200 Ac.
- HIGHLANDS PRESERVATION AREA 46,200 Ac.
- PINELANDS NATIONAL RESERVE 238,000 Ac.
- PINELANDS PROTECTION AREA 238,000 Ac.
- PINELANDS PRESERVATION AREA 265,500 Ac.
- DELAWARE WATER GAP NATIONAL RECREATION AREA 37,700 Ac. (National Park Service)
- MEADOWLANDS 76,400 Ac.
- CZMA - (Coastal Zone Management Area) 703,700 Ac.
- OVERHEAD TRANSMISSION LINE S/W
- GENERATING STATIONS
- SWITCHING STATIONS
- COMBINED ELECTRIC & GAS TERRITORIES 1,812,000 Ac. (1,420 sq. miles)
- ELECTRIC TERRITORY
- GAS TERRITORY

0 10 20 30 Miles  
SCALE: 1" = 20,000'

DELAWARE

DELAWARE BAY

ATLANTIC OCEAN

**PSEG**  
 PUBLIC SERVICE GROUP  
 CORPORATION  
 100 Park Plaza  
 Newark, NJ 07102-2000  
 Phone: (973) 621-7000  
 Fax: (973) 642-7300

NEW JERSEY  
 REGULATORY AND JURISDICTIONAL  
 BOUNDARIES AND PSE&G FACILITIES  
 AND SYSTEMS  
 as of OCT. 7, 2002

04-Pr-220211-000007-Proc-Basic-Info-Map\_memo-10-1-02

2/3 REVISED MATERIALS

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB20-015 Block: 1607 Lot: 2 Zone: R-7

Applicant: SILVER LIVING LLC

Address of Property: 14 NORTH MAPLE AVENUE

Description: BULK VARIANCES + MAX LOT COVERAGE  
TO RAZE EXISTING STRUCTURE, REPLACE WITH  
NEW SINGLE FAMILY DWELLING

**APPLICATION CHECKLIST**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Original + 16 copies of Application | <input checked="" type="checkbox"/> Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> W-9                                 | <input checked="" type="checkbox"/> Architectural Plans        |
| <input checked="" type="checkbox"/> Site Visit Consent (A)              | <input checked="" type="checkbox"/> Survey                     |
| <input checked="" type="checkbox"/> Ownership Form (B)                  | <input checked="" type="checkbox"/> Photographs                |
| <input checked="" type="checkbox"/> 200' Property Search List (C)       | <input type="checkbox"/> Wetlands Report/LOI                   |
| <input checked="" type="checkbox"/> Tax Certification (D)               | <input checked="" type="checkbox"/> Application Fee            |
| <input checked="" type="checkbox"/> Notice to be Served (E)             | <input checked="" type="checkbox"/> Escrow Deposit             |
| <input checked="" type="checkbox"/> Notice to be Published (F)          | <input checked="" type="checkbox"/> Imaging Fee                |
| <input checked="" type="checkbox"/> Dimensional Statistics Form (G)     | <input type="checkbox"/> Tax Map Revision Fee                  |
| <input type="checkbox"/> Contributions Disclosure Form (H)              | <input checked="" type="checkbox"/> Checklist                  |

**SCHEDULING**

8.17.20 Original Submission Date 60\*  
10.16.20 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete  
12.15.20 Time to Act (45/95/120 days)  
60\*

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
10.7.20 Public Hearing  
11.7.20 Carried to Date  
1.6.21 CARRIED TO DATE  
3.3.21 CARRIED TO DATE

**\*COVID DEADLINES  
DISTRIBUTION**

8.18.20 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

# Bisogno, Loeffler & Zelle, L.L.C.

Attorneys at Law  
88 South Finley Avenue  
Post Office Box 408  
Basking Ridge, New Jersey 07920

Telephone: (908) 766-6666  
Facsimile: (908) 766-7809

Vincent T. Bisogno  
vbisogno@baskingridgelaw.com  
Paul H. Loeffler (Member N.J. & N.Y. Bars)  
ploeffler@baskingridgelaw.com  
Frederick B. Zelle (Member N.J. & Pa. Bars)  
fzelle@baskingridgelaw.com  
Paul D. Mitchell  
pmitchell@baskingridgelaw.com

January 29, 2021

Ms. Cynthia Kiefer, Administrator  
Bernards Township Board of Adjustment  
277 South Maple Avenue  
Basking Ridge, New Jersey 07920

## Via Hand Delivery

Re: Application for Bulk Variances  
Applicant: Silver Living LLC  
Tax Block 1607, Lot 2 – 14 North Maple Avenue

Dear Ms. Kiefer:

As you know, this office represents Silver Living LLC, the Applicant in the above referenced Application, which is presently scheduled to be heard by the Board of Adjustment on Wednesday, March 3, 2021.

In view of the Board's comments at the first hearing and discussions with the objecting neighbor's attorney, our team has revised the architectural and engineering plans. The revised plans reflect improvement as to the following:

1. Proposed Impervious Coverage (decreased from 37.4% to 32.5%);
2. Proposed Rear Yard Setback (increased from 20.5' to 23.8');
3. Side Yard Setback (increased from 18.7' to 22.1'); and
4. Increase in the distance of the proposed retaining wall from the objecting neighbor's property line, from less to 5' to more than 20'.

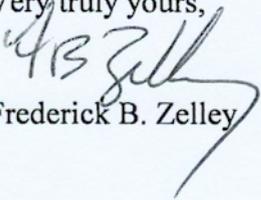
The revised plans do reflect a decrease in the North Maple Avenue Front Yard Setback (to 28.0'), but we believe this to be an acceptable setback given the fact that the proposed setbacks are East Allen Street not North Maple Avenue.

Enclosed herewith please find the following:

1. Revised Dimensional Statistics Sheet (17)
2. Revised Engineering Plans by Murphy & Hollows Associates (3 Sheets) (17 Sets)
3. Revised Architectural Plans by Battersby Architecture and Design (6 Sheets) (17 Sets)

Thank you for your attention and anticipated continued cooperation in this matter. If you have any questions or concerns, or if we may be of any further assistance, please do not hesitate to contact me.

Very truly yours,

  
Frederick B. Zelle

Somerset County Planning Board (via regular mail, w/ encl.)  
Michael Osterman, Esq. (via email and regular mail, w/ encl.)  
Silver Living LLC (via email, w/o plans)  
William G. Hollows, P.E. (via email, w/o plans)  
Douglas Battersby, R.A. (via email, w/o plans)

SUBMIT 17 COPIES TOTAL

**DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA	0.5 ac	0.19 ac	0.19 ac
LOT WIDTH	156.25'	115.89' (E. Allen)	115.89' (E. Allen)
FRONTAGE	75'	118.2' (E. Allen)	118.2' (E. Allen)
FRONT YARD SETBACK	40'	10.3' (E. Allen) 33.2' (N. Maple)	5.9' (E. Allen) 28.0' (N. Maple)
REAR YARD SETBACK	40'	30'	23.8'
COMBINED SIDE YARD	60'	N/A (Corner Lot)	N/A (Corner Lot)
SIDE YARD	20'	40.6'	22.1'
COVERAGE	20%	19.3%	32.5%
HEIGHT	35'/2.5 stories	2.5 stories	34.75'/2.5 stories
IF REQUIRED, GROSS FLOOR AREA	Not Required		
IF REQUIRED, FLOOR AREA RATIO	Not Required		
IF REQUIRED, IMPROVABLE LOT AREA	5,000 sf	4,402 sf	4,402 sf

# Proposed New Single-Family Dwelling: Silver Living LLC

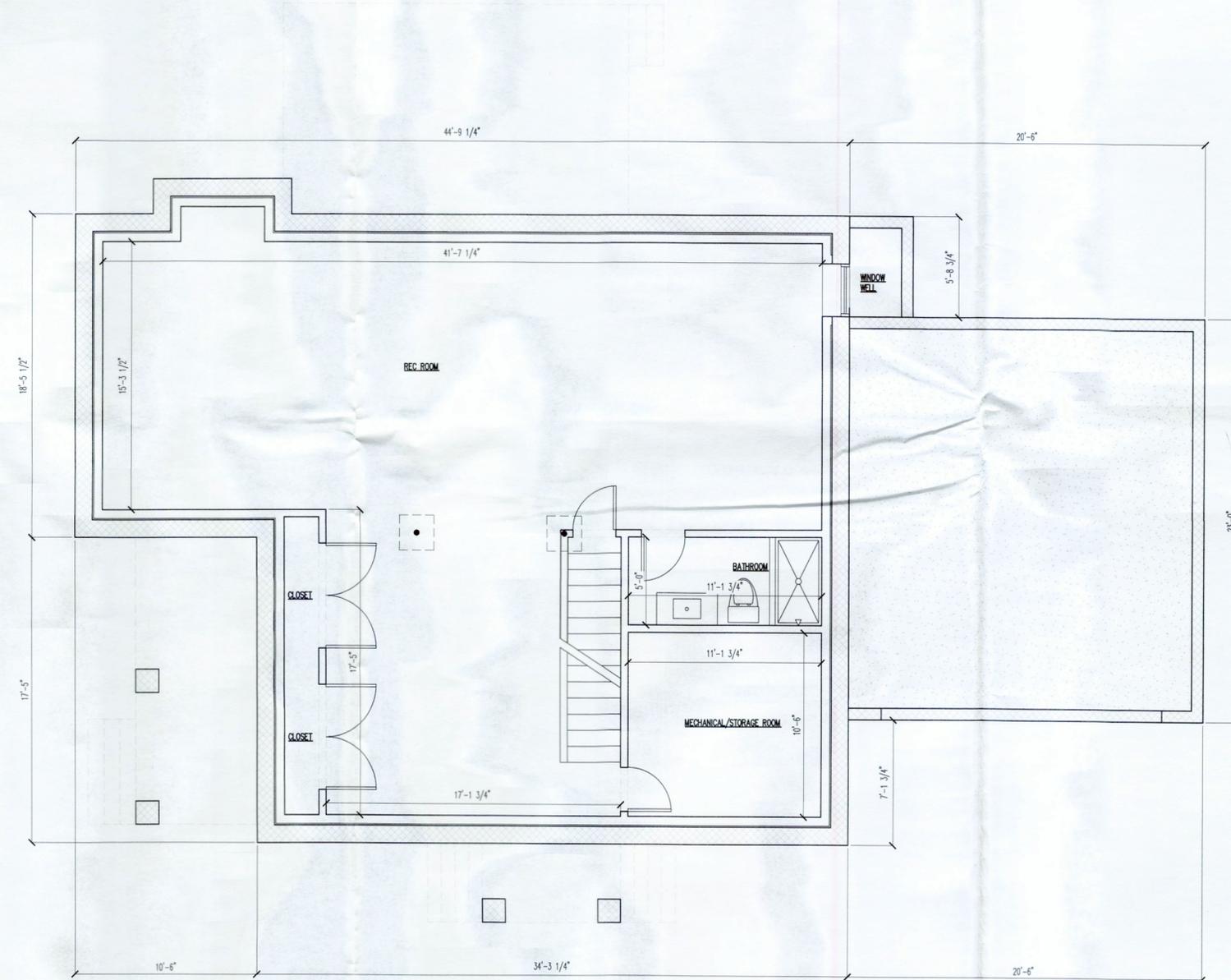
14 N. Maple Ave.  
Township of Bernards, NJ 07920

## DRAWING INDEX

SHEET NO.	SHEET NAME	VARIANCE	PERMIT	REV. 1	REV. 2	REV. 3
<b>ARCHITECTURAL</b>						
A-00	BASEMENT CONSTRUCTION PLAN	X				
A-01	1ST FLOOR CONSTRUCTION PLAN	X				
A-02	2ND FLOOR CONSTRUCTION PLAN	X				
A-03	ATTIC CONSTRUCTION PLAN	X				
A-04	EXTERIOR ELEVATIONS	X				
A-05	EXTERIOR ELEVATION	X				

BUILDING CHARACTERISTICS	
BUILDING CLASSIFICATION	SINGLE FAMILY RESIDENCE
USE GROUP	R5
CONSTRUCTION TYPE	5B
NUMBER OF STORIES	2.5
AREA OF LARGEST FLOOR	1,911 SF
NEW BUILDING AREA	4,100 SF
VOLUME OF NEW STRUCTURE	62,165 CF
HEIGHT OF STRUCTURE	34.15 FT.
MAX. LIVE LOAD	40

ATTIC: 312 SQ. FT. (W/ CLEARANCE OF 7FT.)  
2ND FLOOR: 1,877 SQ. FT.  
1ST FLOOR: 1,439 SQ. FT.  
GARAGE: 472 SQ. FT.  
BASEMENT: 1,439 SQ. FT.



1 BASEMENT CONSTRUCTION PLAN  
A-00 SCALE: 1/4" = 1'-0"

**BATTERSBY**  
ARCHITECTURE AND DESIGN

4 RAMAFO VALLEY ROAD  
P.O. BOX 370  
OAKLAND, NJ 07436

(201) 316-7478 / Doug@BattersbyAD.com

PROJECT ADDRESS:

14 N. MAPLE AVE.  
TOWNSHIP OF BERNARDS,  
NJ 07920

ARCHITECT SEAL/SIGNATURE:

DOUGLAS G. BATTERSBY  
LIC #21A102032000

## ISSUANCE

REVIEW	DATE
REVIEW	2/24/2020
VARIANCE	7/28/2020
VARIANCE	1/27/2021

PROJECT NAME:

14 N. MAPLE AVE.

PROJECT NUMBER: 009089

SHEET NAME:

BASEMENT  
CONSTRUCTION  
PLAN

SHEET NUMBER:

A-00





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14 N. MAPLE AVE.  
TOWNSHIP OF BERNARDS,  
NJ 07920

ARCHITECT SEAL/SIGNATURE:

DOUGLAS G. BATTERSBY  
LIC # 21A102032000

**ISSUANCE**

REVIEW	2/24/2020
VARIANCE	7/28/2020
VARIANCE	1/27/2021

PROJECT NAME:

14 N. MAPLE AVE.

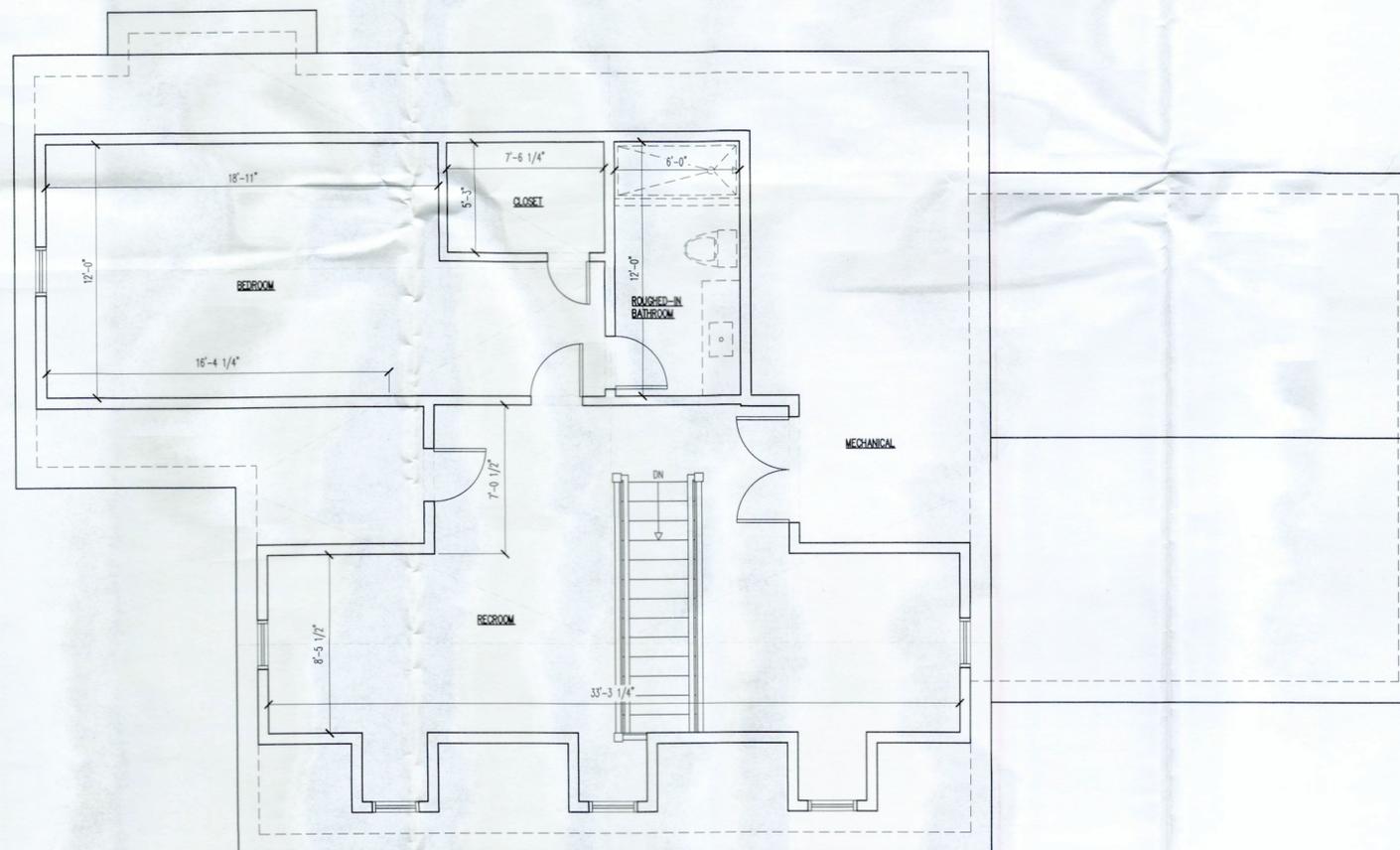
PROJECT NUMBER: 009089

SHEET NAME:

**ATTIC  
CONSTRUCTION  
PLAN**

SHEET NUMBER:

**A-03**



1 ATTIC CONSTRUCTION PLAN  
A-03 SCALE: 1/4" = 1'-0"

(N)RIDGE  
ELEV. 34.15 FT. ABOVE AVG. GRADE

(N)ATTIC CLG.  
ELEV. 7'-8" ABOVE ATTIC FL.

(N)ATTIC FLOOR  
ELEV. 9'-11 1/8" ABOVE  
2ND FL.  
(N)2ND FLOOR CLG.  
ELEV. 9'-1 1/8" ABOVE 2ND FL.

(N)2ND FLOOR  
ELEV. 10'-1 3/4" ABOVE  
1ST FL. (263.96)  
(N)1ST FLOOR CLG.  
ELEV. 9'-1 1/8"

(N)1ST FLOOR  
ELEV. 0'-0" (252.5)  
(N)BASEMENT CLG.  
ELEV. -1'-0"  
AVERAGE GRADE  
ELEV. (249.36)

(N)BASEMENT FLOOR  
ELEV. -9'-0"



3 LEFT ELEVATION  
A-04 SCALE: 1/4" = 1'-0"

(N)RIDGE  
ELEV. 34.15 FT. ABOVE AVG. GRADE

(N)ATTIC CLG.  
ELEV. 7'-8" ABOVE ATTIC FL.

(N)ATTIC FLOOR  
ELEV. 9'-11 1/8" ABOVE  
2ND FL.  
(N)2ND FLOOR CLG.  
ELEV. 9'-1 1/8" ABOVE 2ND FL.

(N)2ND FLOOR  
ELEV. 10'-1 3/4" ABOVE  
1ST FL. (263.96)  
(N)1ST FLOOR CLG.  
ELEV. 9'-1 1/8"

(N)1ST FLOOR  
ELEV. 0'-0" (252.5)  
(N)BASEMENT CLG.  
ELEV. -1'-0"  
AVERAGE GRADE  
ELEV. (249.36)

(N)BASEMENT FLOOR  
ELEV. -9'-0"



1 FRONT ELEVATION  
A-04 SCALE: 1/4" = 1'-0"

(N)RIDGE  
ELEV. 34.15 FT. ABOVE AVG. GRADE

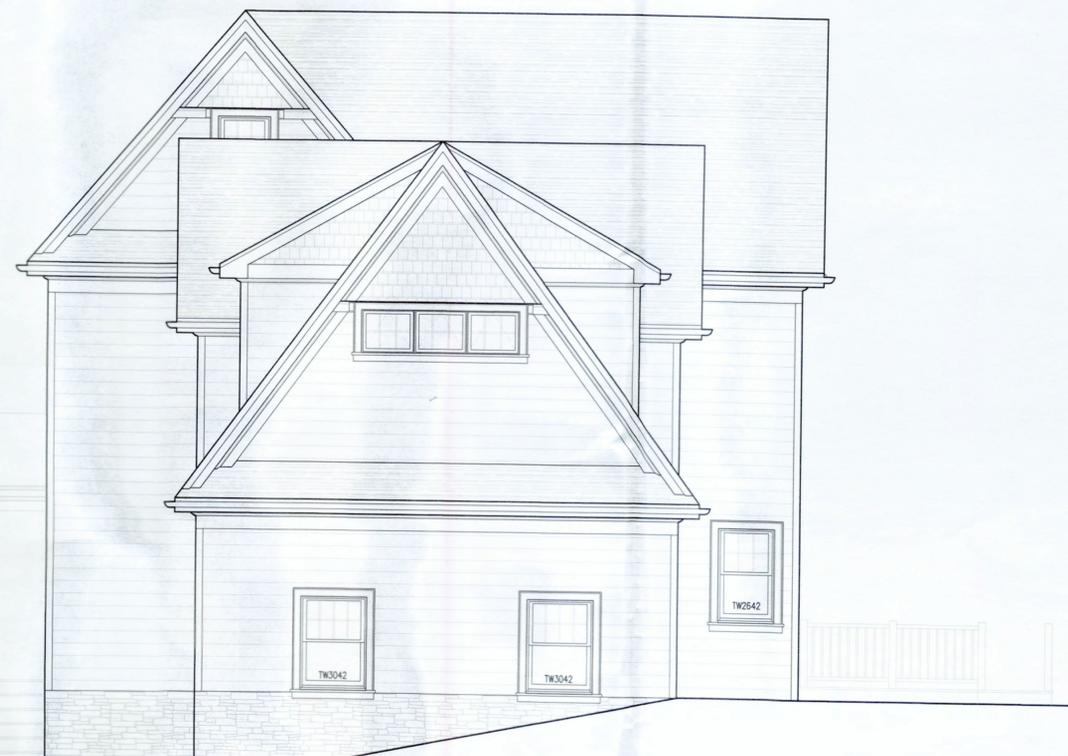
(N)ATTIC CLG.  
ELEV. 7'-8" ABOVE ATTIC FL.

(N)ATTIC FLOOR  
ELEV. 9'-11 1/8" ABOVE  
2ND FL.  
(N)2ND FLOOR CLG.  
ELEV. 9'-1 1/8" ABOVE 2ND FL.

(N)2ND FLOOR  
ELEV. 10'-1 3/4" ABOVE  
1ST FL. (263.96)  
(N)1ST FLOOR CLG.  
ELEV. 9'-1 1/8"

(N)1ST FLOOR  
ELEV. 0'-0" (252.5)  
(N)BASEMENT CLG.  
ELEV. -1'-0"  
AVERAGE GRADE  
ELEV. (249.36)

(N)BASEMENT FLOOR  
ELEV. -9'-0"



2 RIGHT ELEVATION  
A-04 SCALE: 1/4" = 1'-0"

BATTERSBY  
ARCHITECTURE AND DESIGN

4 RAMAPO VALLEY ROAD  
P.O. BOX 370  
OAKLAND, NJ 07436

(201) 316-7478 / Doug@battersbyAD.com

PROJECT ADDRESS:

14 N. MAPLE AVE.  
TOWNSHIP OF BERNARDS,  
NJ 07920

ARCHITECT SEAL/SIGNATURE:

DOUGLAS G. BATTERSBY  
LIC #21A102032000

ISSUANCE

REVIEW	2/24/2020
VARIANCE	7/28/2020
VARIANCE	1/27/2021

PROJECT NAME:

14 N. MAPLE AVE.

PROJECT NUMBER: 009089

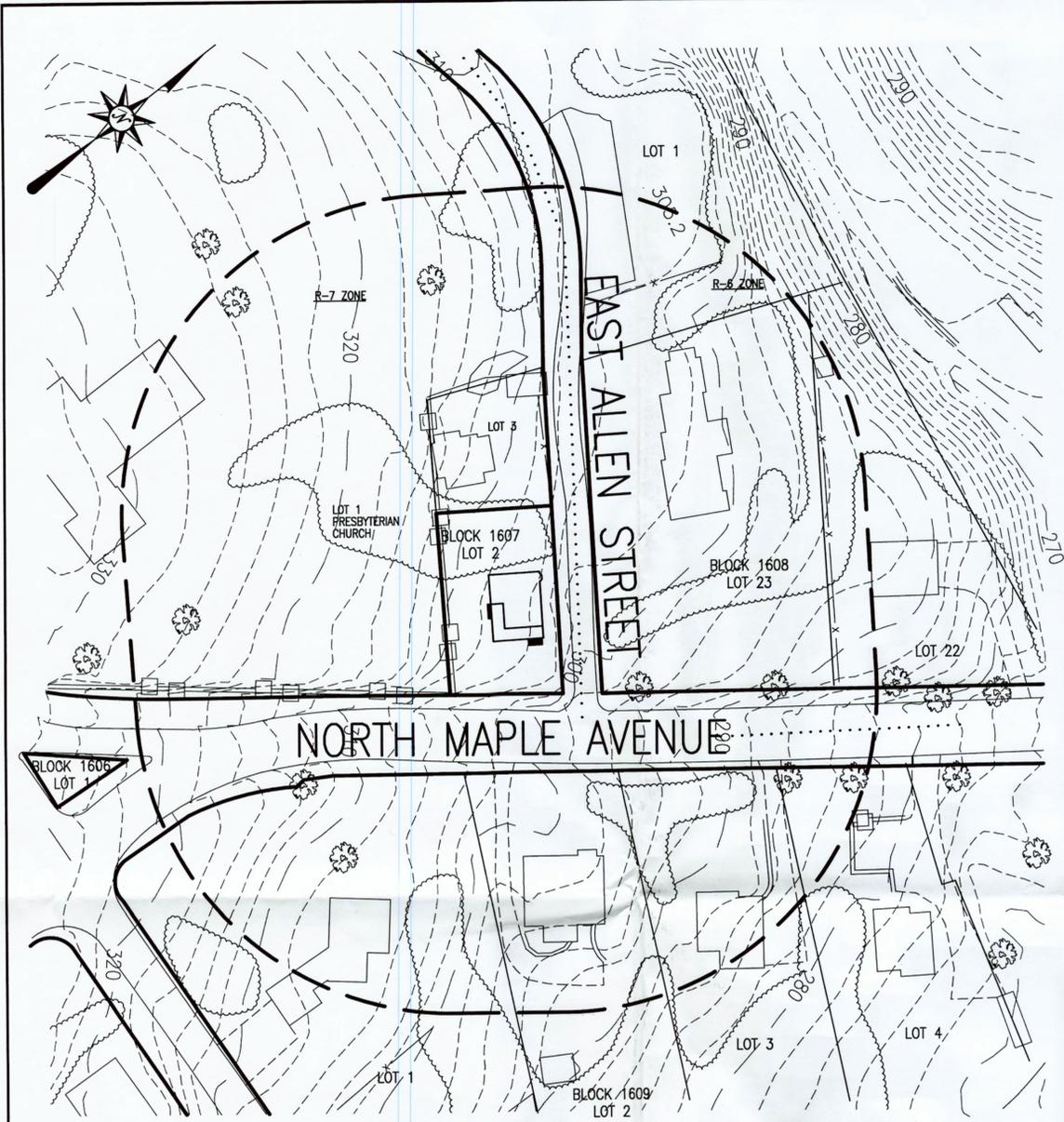
SHEET NAME:

EXTERIOR  
ELEVATIONS

SHEET NUMBER:

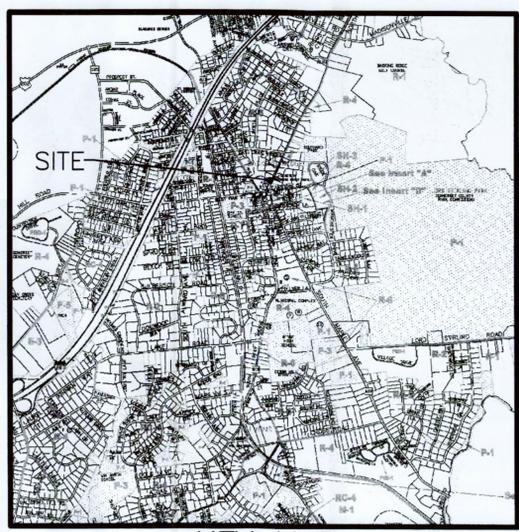
A-04





PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY

BLOCK	LOT	OWNER
1609	4	MENDIOLA, REDENTOR JR & OUTIERREZ, E 21 N. MAPLE AVENUE, BASKING RIDGE, NJ 07920
1609	3	CHARLAND, PAUL 19 N. MAPLE AVENUE, BASKING RIDGE, NJ 07920
1609	2	WICHERN, ANNE LOGAN & WALTER A. III 245 E 72ND ST; 186, NEW YORK, NY 10021
1609	1	BASKING RIDGE PRESBYTERIAN CHURCH 1 E. OAK STREET, BASKING RIDGE, NJ 07920
1608	23	MILTON, DENNIS P. & MARGARET 20 N. MAPLE AVENUE, BASKING RIDGE, NJ 07920
1608	22	PHILIPSCHICK, SUSAN 24 N. MAPLE AVENUE, BASKING RIDGE, NJ 07920
1608	1	BASKING RIDGE PRESBYTERIAN CHURCH 1 E. OAK STREET; 186, NEW YORK, NY 10021
1607	3	GRANT, KATHLEEN L 17 E. ALLEN STREET, BASKING RIDGE, NJ 07920
1607	1	BASKING RIDGE PRESBYTERIAN CHURCH 1 E. OAK STREET, BASKING RIDGE, NJ 07920



KEY MAP

GENERAL NOTES:

- SUBJECT PROPERTY KNOWN AS LOT 2, BLOCK 1607  
TAX MAP SHEET No. 16.
- AREA OF LOT 2, BLOCK 1607 = 8,416 SF; 0.19 Ac.  
TO SIDELINE
- OWNER & APPLICANT:  
MARCO & MICHELLE SCARABAGGIO  
SILVER LIVING LLC  
106 WOODBINE CIRCLE  
NEW PROVIDENCE, NJ 07974
- ATTORNEY FOR APPLICANT:  
FREDERICK B. ZELLEY, ESQ.  
BISOGNO, LOEFFLER & ZELLEY  
88 S. FINLEY AVENUE  
PO BOX 408  
BASKING RIDGE, NJ 07920  
908.766.6666
- ARCHITECT FOR APPLICANT:  
DOUGLAS BATTERSBY  
BATTERSBY ARCHITECTURE AND DESIGN  
PO BOX 370  
4 RAMAPO VALLEY ROAD  
OAKLAND, NJ 07436
- OWNERS CONSENT  
I HEREBY CONSENT TO THE FILING OF THIS PLAN WITH THE  
PLANNING BOARD OF THE TOWNSHIP OF BERNARDS

AUTHORIZED SIGNATURE \_\_\_\_\_

REQUIRED APPROVALS

- A) BERNARDS TOWNSHIP PLANNING BOARD
- B) SOMERSET COUNTY PLANNING BOARD
- C) SOMERSET/UNION SOIL CONSERVATION DISTRICT
- D) BERNARDS TOWNSHIP SEWERAGE AUTHORITY

TABLE OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	AREA MAP/ZONING SCHEDULE
2	EXISTING/PROPOSED CONDITIONS
3	DETAILS

ZONING SCHEDULE:

ZONE: R-7

REQUIREMENT

MIN. LOT AREA	156.25 FT
MIN. LOT WIDTH (CORNER)	75 FT
MIN. LOT FRONTAGE	40 FT
MIN. FRONT YARD	40 FT
MIN. REAR YARD	20 FT
MIN. SIDE YARD (ONE)	60 FT
MIN. SIDE YARD (COMBINED)	20%
MAX. LOT COVERAGE	35 FT/2 1/2 STY
MAX. BUILDING HEIGHT	5,000 SF
MIN. IMPROVABLE LOT AREA	10 FT
MIN. ACCESSORY SIDE SETBACK	10 FT
MIN. ACCESSORY REAR SETBACK	10 FT
MIN. ACCESSORY DISTANCE BETWEEN BLDGS	10 FT

REQUIRED

1/2 AC.	115.89 FT (EAST ALLEN)
75 FT	118.2 FT (EAST ALLEN)
40 FT	10.3 FT*(EAST ALLEN)
40 FT	33.2 FT*(N. MAPLE)
30.0 FT*	30.0 FT*
20 FT	40.6 FT
60	NA
20%	19.3%
35 FT/2 1/2 STY	2 1/2 STY*
5,000 SF	4402 SF*
10 FT	NA
10 FT	NA
10 FT	NA

EXISTING

0.19 AC.*	115.89 FT (EAST ALLEN)*
118.2 FT (EAST ALLEN)	118.2 FT (EAST ALLEN)
10.3 FT*(EAST ALLEN)	5.9 FT*(EAST ALLEN)
33.2 FT*(N. MAPLE)	28.0 FT*(N. MAPLE)
30.0 FT*	23.8 FT**
40.6 FT	22.1 FT**
NA	NA
19.3%	32.5%**
2 1/2 STY*	34.75 FT
4402 SF*	4402 SF*
NA	NA
NA	NA
NA	NA

PROPOSED

0.19 AC.*	115.89 FT (EAST ALLEN)*
118.2 FT (EAST ALLEN)	118.2 FT (EAST ALLEN)
5.9 FT*(EAST ALLEN)	5.9 FT*(EAST ALLEN)
28.0 FT*(N. MAPLE)	28.0 FT*(N. MAPLE)
23.8 FT**	23.8 FT**
22.1 FT**	22.1 FT**
NA	NA
32.5%**	32.5%**
34.75 FT	34.75 FT
4402 SF*	4402 SF*
NA	NA
NA	NA
NA	NA

COVERAGE CALCULATIONS

EXISTING	PROPOSED
HOUSE 985 SF	HOUSE 1910 SF
PORCH 366 SF	PORCHES 180 SF
WALK 275 SF	WALKS 281 SF
DRIVE	DRIVE 367 SF
TOTAL 1626 SF	TOTAL 2738 SF

\* DENOTES EXISTING NONCONFORMING CONDITION  
\*\* DENOTES PROPOSED NONCONFORMING CONDITION

THIS PLAN HAS BEEN APPROVED BY THE ZONING BOARD OF THE TOWNSHIP OF BERNARDS ON \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRPERSON—BRAD BRESLIN \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY — CYNDI KIEFER \_\_\_\_\_ DATE \_\_\_\_\_  
ENGINEER — THOMAS TIMKO, PE \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY: SP	CHECKED BY: WGH
JOB No. 19-104	BOOK
SCALE 1" = 50'	GRAPHIC SCALE
DATE NOVEMBER 1, 2019	REVISIONS
	APRIL 27, 2020 HOUSE
	JANUARY 25, 2021 HOUSE
CERTIFICATE OF AUTHORIZATION No. 24GA27959700	NOTES
<p><b>Murphy &amp; Hollows Associates LLC</b> CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1255 murphyhollows@gmail.com</p>	
<p>VARIANCE PLAN FOR LOT 2 BLOCK 1607 14 N. MAPLE AVENUE &amp; E. ALLEN STREET TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY</p>	
<p>AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016</p>	
<p><b>WILLIAM G. HOLLOWES</b> N.J. LIC. PROFESSIONAL ENGINEER &amp; LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530</p>	
FILE LF19-104	SHEET 1 OF 3



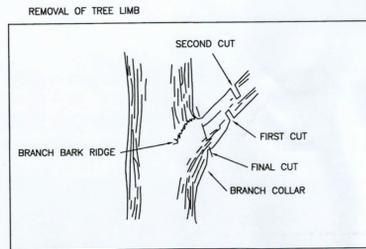
SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOT 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOT 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCE BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE TOWNSHIP/DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE TOWNSHIP.
- ALL TREES OUTSIDE OF THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE TOWNSHIP MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE TOWNSHIP MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTION FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
- TOPSOIL STOCKPILE PROTECTION
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ FT
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ FT
  - APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ FT AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ FT
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ FT
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
  - PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATION
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ FT
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ FT
  - APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ FT AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ FT
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ FT
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS
  - APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED)
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ FT AND WORK FOUR INCHES INTO SOIL.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ FT
  - APPLY HARD FESCUE SEED AT 2.7 LBS PER 1000 SQ FT AND CREEPING RED FESCUE SEED AT 0.7 LBS PER 1000 SQ FT AND PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1000 SQ FT.
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ FT.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

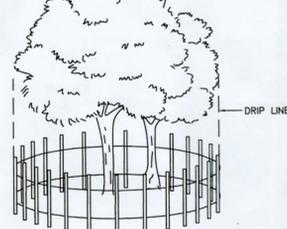
\*NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE NOTICE IN WRITING, SHALL BE GIVEN TO BERNARDS TOWNSHIP ENGINEER(INSPECTIONS) & SOMERSET COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

SEQUENCE OF CONSTRUCTION:

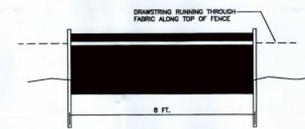
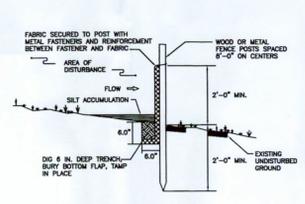
1. Clear proposed construction area	2 days
2. Install silt fence as shown on plan	1 day
3. Rough grade site & stockpile topsoil	2 days
4. Begin building addition	6 months
5. Install drainage system (if required)	2 days
6. Fine grade and seed	2 days
7. Pave drive	2 days
8. Remove silt fence	1 day



CORRECT FENCING FOR TREE PROTECTION



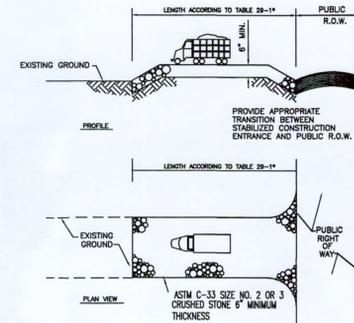
TREE PROTECTION DETAIL  
NOT TO SCALE



REQUIREMENTS FOR SILT FENCE:

- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND (FIN. 25-30) POSTS SHALL BE CONSTRUCTED OF HARBORWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
- A METAL FENCE WITH 8 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEEDMENT LOADING IS EXPECTED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BUNDLED AT LEAST 8 BUNDLES PER 1/2 MILE WORK. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. FABRIC SHALL BE SECURED TO FENCE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (WIRE MESHING, GEOMETRIC REINFORCING) PLACED BETWEEN THE FASTENERS AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POSTS. THE FABRIC SHALL INCORPORATE A OVERSTITCH IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

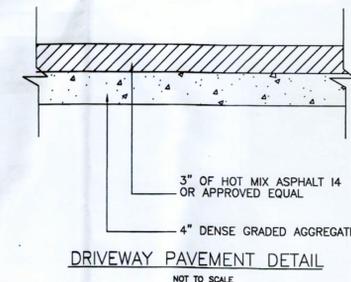
SILT FENCE  
NOT TO SCALE



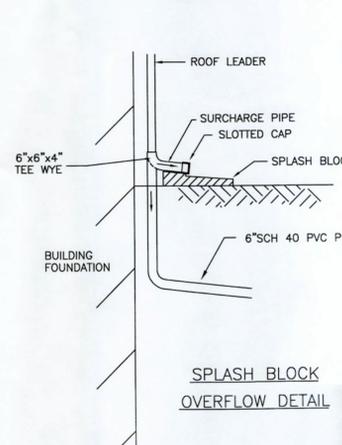
STABILIZED CONSTRUCTION ACCESS  
NOT TO SCALE

LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADSIDES

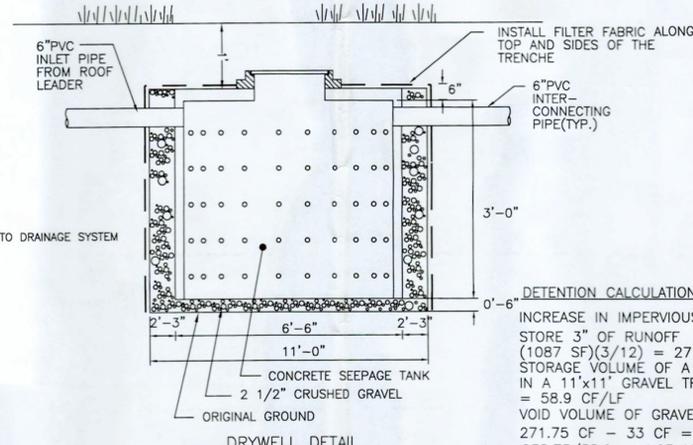
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0-2%	50 FT.	100 FT.
2-5%	100 FT.	200 FT.
>5%	ENTIRE SURFACE STABILIZED WITH FABRIC BASE COURSE	



DRIVEWAY PAVEMENT DETAIL  
NOT TO SCALE



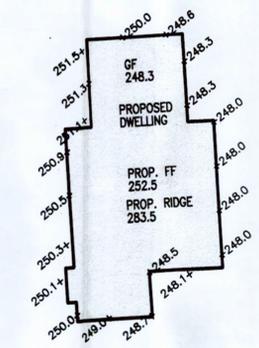
SPLASH BLOCK  
OVERFLOW DETAIL



DRYWELL DETAIL

DETENTION CALCULATIONS

INCREASE IN IMPERVIOUS = 1087 SF  
 STORE 3" OF RUNOFF  
 $(1087 \text{ SF})(3/12) = 271.75 \text{ CF}$   
 STORAGE VOLUME OF A 6' DIA. DRYWELL  
 IN A 11'x11' GRAVEL TRENCH W/33% VOID VOLUME  
 $= 58.9 \text{ CF/LF}$   
 VOID VOLUME OF GRAVEL BASE =  $(10 \times 20 \times 0.5)0.33 = 33 \text{ CF}$   
 $271.75 \text{ CF} - 33 \text{ CF} = 238.75 \text{ CF}$   
 $238.75 / 58.9 = 4.05 \text{ LF}$   
 INSTALL 2 DRYWELLS 2.5 LF BELOW INVERT  
 WITH 6" PVC INTERCONNECTION PIPES)



TOTAL  $4887.27/20 = 249.36$   
 $249.36 - 35.0 = 214.36$   
 ALLOWABLE RIDGE HEIGHT  
 PROPOSED RIDGE HEIGHT =  $252.5 + 31.0 = 283.5$   
 F.F. TO RIDGE = 31.0  
 THEREFORE BUILDING HEIGHT =  $283.5 - 249.36 = 34.15 \text{ FT}$

NOTE: THE PROPOSED DRAINAGE IS DEPENDENT UPON THE PERCOLATION RATE OF THE EXISTING SOIL AND WATER TABLE. THE APPLICANT SHALL COMPLETE AN ANALYSIS OF THE SOIL PRIOR TO THE INSTALLATION OF THE SEEPAGE PIT. A COPY OF THE RESULTS SHALL BE FORWARDED TO THE TOWNSHIP ENGINEER'S OFFICE. SHOULD THE EXISTING SOIL BE UNSUITABLE, AN ALTERNATE METHOD SHALL BE DESIGNED AND SUBMITTED TO THE TOWNSHIP ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.

DRAWN BY: SP CHECKED BY: WGH

JOB No. 19-104

BOOK

SCALE 1" = 20'



DATE NOVEMBER 1, 2019

REVISIONS APRIL 27, 2020 HOUSE JANUARY 25, 2021 HOUSE

CERTIFICATE OF AUTHORIZATION No. 24GA27959700

NOTES

**Murphy & Hollows Associates LLC**  
 CIVIL ENGINEERING AND SURVEYING  
 192 CENTRAL AVENUE, STIRLING, NJ 07980  
 908.580.1255 murphyhollows@gmail.com

VARIANCE PLAN FOR LOT 2 BLOCK 1607 14 N. MAPLE AVENUE & E. ALLEN STREET TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY

AIDAN T. MURPHY  
 N.J. L.C. PROFESSIONAL ENGINEER #21319  
 1973-2016

*William G. Hollows*  
**WILLIAM G. HOLLOWES**  
 N.J. L.C. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473  
 N.J. PROFESSIONAL PLANNER #2530

FILE LF19-104 SHEET 3 OF 3

FC

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-002 Block: 11102 Lot: 1 Zone: R-3

Applicant: ROTI, JOSEPH S. & LORI SCERBO-ROTI

Address of Property: 10 PACER COURT

Description: (C) FOR 6' FENCE IN FRONT YARD

(C) FOR 5' FENCE IN FRONT YARD

**APPLICATION CHECKLIST**

- Original + 16 copies of Application W-9
- Site Visit Consent (A)
- Ownership Form (B)
- 200' Property Search List (C)
- Tax Certification (D)
- Notice to be Served/Published (E)
- Dimensional Statistics Form (F)
- Contributions Disclosure Form (G)

- Engineering Plan/Plot Plan
- Architectural Plans
- Survey
- Photographs
- Wetlands Report/LOI
- Application Fee
- Escrow Deposit
- Imaging Fee
- Tax Map Revision Fee
- Checklist

**SCHEDULING**

1.7.21 Original Submission Date 60  
3.0.21 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete  
5.7.21 Time to Act (45/95/120 days) 60

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
2.3.21 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

1.7.21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

**TOWNSHIP OF BERNARDS  
2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input type="checkbox"/> Bulk or Dimensional ("c") Variance                  | <input type="checkbox"/> Appeal of Zoning Officer's Decision     |
| <input type="checkbox"/> Use ("d") Variance                                  | <input type="checkbox"/> Interpretation of Zoning Ordinance      |
| <input type="checkbox"/> Conditional Use ("d") Variance                      | <input type="checkbox"/> Minor Subdivision                       |
| <input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance | <input type="checkbox"/> Major Subdivision - Preliminary / Final |
| <input type="checkbox"/> Site Plan - Preliminary / Final                     | <input type="checkbox"/> Other (specify):                        |

1. APPLICANT: Joseph S. Roti / Lori Scerbo Roti

Address: 10 PACER Ct.

Phone: (home) 908 647 1029 (work) \_\_\_\_\_ (mobile) 201 921 2818

Email (will be used for official notifications): joesal100@yahoo.com

2. OWNER (if different from applicant): N/A

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

3. ATTORNEY: N/A

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: \_\_\_\_\_ Profession: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

5. PROPERTY INFORMATION: Block(s): 11102 Lot(s): 1 Zone: R3

Street Address: 10 PACER Ct. Total Area (square feet/acres): \_\_\_\_\_

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?  No  Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?  No  Yes (if yes, explain) I HAVE A SIX FT. FENCE SURROUNDING MY POOL. THIS AREA FACES RICKEY LANE & THEREFORE DEEMED A FRONT YARD.

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?  
[X] No [ ] Yes (if yes, explain) \_\_\_\_\_

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:  
Single family home. My family resides in this home. I plan to add a storage shed on my property. 12x18' in size.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):  
I seek a VARIANCE to locate this shed on a portion of my property defined as a front yard, 21-16.1. I have a six ft. fence surrounding my pool also in the front yard. 21-16.2

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:  
The unusual shape of my property has the majority of open space in the area facing Kickey Lane (front yard). Given the large population of deer that frequents my property I need a higher fence.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

**APPLICANT(S) SIGN HERE:**

I/we, Joseph, Roti and Jori, Roti hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): Joseph Roti and Jori Roti

Sworn and subscribed before me, this 6 day of JANUARY, 2021.

B. Manjuresee  
Notary

**MANJUSREE R. REVURI**  
NOTARY PUBLIC OF NEW JERSEY  
ID # 50001769  
My Commission Expires 8/13/2024

**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application,

hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary

SUBMIT ORIGINAL AND 16 COPIES

FORM A

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

Applicant: Joe + Lori Roti

Block: 11102 Lot: 1

Street Address: 10 PACER Ct.

I, Joe Roti, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:

Joseph S. Roti

Date:

1/6/2021

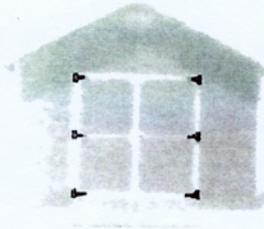
**DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA	2 ACRES	4.267 ACRES	4.2167 ACRES
LOT WIDTH	250'	360'	360'
FRONTAGE	125'	370' RICKY 639' PACER	370' RICKY 639' PACER
FRONT YARD SETBACK	N/A	105'	140'
REAR YARD SETBACK	20'	78'	232'
COMBINED SIDE YARD	N/A	N/A	N/A
SIDE YARD	N/A	N/A	70'
COVERAGE	15%	6.0%	6.1%
HEIGHT	20'	N/A	10'
IF REQUIRED, GROSS FLOOR AREA	N/A	N/A	N/A
IF REQUIRED, FLOOR AREA RATIO	N/A	N/A	N/A
IF REQUIRED, IMPROVABLE LOT AREA	N/A	N/A	N/A

**Images**



**Perspective**



**Left**

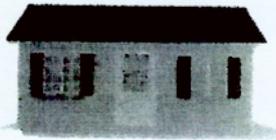


**Back**

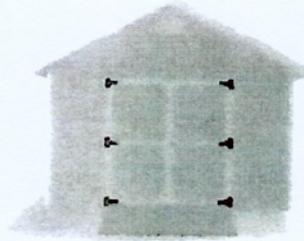
12/1/2020

Yahoo Mail - Your Custom Shed Design Has Been Submitted For A Quote (#1606156708416664-1 - Joe Rotl)

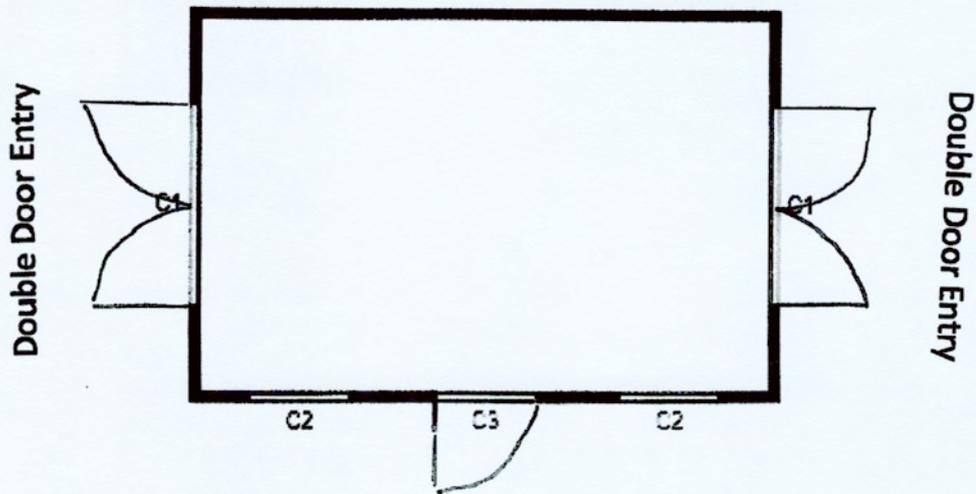
**Images**



**Front**



**Right**





Front door of shed looking North



Front door of shed looking East



Front door of shed looking South



Front door of shed looking West



View from curb of Pacer Ct.

**APPENDIX D, ARTICLE III**

**Checklist**

**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\*

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.		✓	

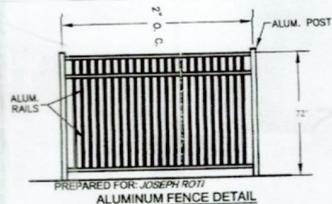


18' X 20' Crushed Stone Pad

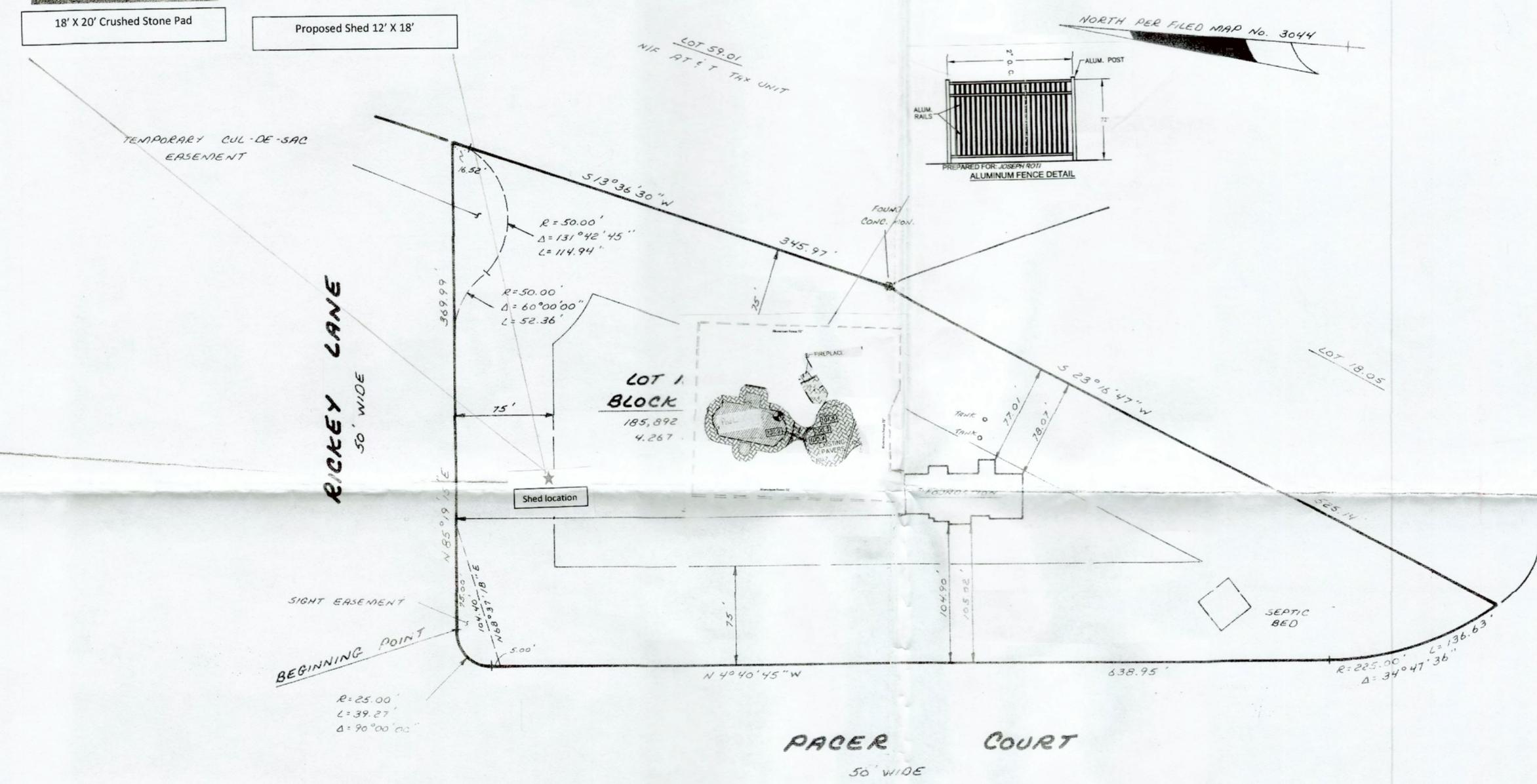


Proposed Shed 12' X 18'

NORTH PER FILED MAP No. 3044



PREPARED FOR JOSEPH ROTI  
ALUMINUM FENCE DETAIL



FILED MAP REFERENCE: MAP ENTITLED  
"FINAL MAP OF PACER ESTATES" TOWNSHIP  
OF BERNARDS, SOMERSET COUNTY, NEW JERSEY  
DATED MAR. 10, 1993, LAST REVISED 6-24-93  
WHICH MAP WAS FILED IN THE SOMERSET COUNTY  
CLERK'S OFFICE ON NOV. 4, 1994 AS MAP No. 3044

NOTES:  
1.) AS PER CONTRACTUAL AGREEMENT NO PROPERTY  
CORNERS HAVE BEEN SET.  
2.) THIS SURVEY IS SUBJECT TO ANY RESTRICTIONS,  
RESERVATIONS, EASEMENTS, UNDERGROUND UTILITIES,  
PROVISIONS AND CONDITIONS OF RECORD.

DRAWN BY: DAN P.	DATE: Nov. 2, 1995	W.O. 25898 FB 628-52,54
CHECKED BY: DJP	SCALE: 1"=60'	FILE:

**SURVEY OF**  
LOT 18.06 BLOCK 187  
BERNARDS TOWNSHIP  
SOMERSET COUNTY, NEW JERSEY

DANA J. BEHRE  
N. J. LIC. LAND SURVEYOR NO. 30079



YANNACCONI ASSOCIATES, INC.  
CIVIL ENGINEERS & SURVEYORS  
460 MAIN STREET  
P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 201-879-6646

SHEET  
1 OF 1  
REV

EC

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-005 Block: 2701 Lot: 32 Zone: R-2

Applicant: BURCAT, JOSEPH & ADRIENNE

Address of Property: 153 SPENCER ROAD

Description: (c) VARIANCE FOR FRONT YARD SETBACK  
(ADDITION) AND FOR POOL NOT LOCATED BEHIND  
REAR BUILDING LINE OF ADJACENT DWELLINGS

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input type="checkbox"/>            | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input checked="" type="checkbox"/> | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> | Imaging Fee                |
| <input type="checkbox"/>            | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

**SCHEDULING**

1.14.21 Original Submission Date 60  
3.15.21 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete 60  
5.14.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
3.3.21 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

1.14.21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

**TOWNSHIP OF BERNARDS**  
**2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance       | <input type="checkbox"/> Appeal of Zoning Officer's Decision     |
| <input type="checkbox"/> Use ("d") Variance                                  | <input type="checkbox"/> Interpretation of Zoning Ordinance      |
| <input type="checkbox"/> Conditional Use ("d") Variance                      | <input type="checkbox"/> Minor Subdivision                       |
| <input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance | <input type="checkbox"/> Major Subdivision - Preliminary / Final |
| <input type="checkbox"/> Site Plan - Preliminary / Final                     | <input type="checkbox"/> Other (specify):                        |

**1. APPLICANT:** Joseph and Adrienne Burcat

Address: 153 Spencer Road, Basking Ridge, NJ 07920

Phone: (home) 908-204-8908 (work) 732-565-5711 (mobile) \_\_\_\_\_

Email (will be used for official notifications): burcat@earthlink.net

**2. OWNER (if different from applicant):** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):**

Name: Ann Sears - ANDesign LLC Profession: Architecture - Design

Address: 36 Demarest Rd., Sparta, NJ 07871

Phone: 973-300-1100 Email (will be used for official notifications): \_\_\_\_\_

**5. PROPERTY INFORMATION:** Block(s): 2701 Lot(s): 32 Zone: R2

Street Address: 153 Spencer Rd Total Area (square feet/acres): \_\_\_\_\_

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?** [] No [] Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?** [] No [] Yes (if yes, explain) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

No  Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** Single Family 3 bedroom 2 bath Ranch with deck - add 2nd story so it becomes 2 story 4 bedroom 3.5 bath single family home with additional deck, above ground pool & hot tub on new deck

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**

- 12-15.1(D) 1+ table 501 - Required is 100' and existing is 75.7' - proposed to build on top
- 21-8.1 Pool shall be located behind rear building line of existing residential dwelling

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:**

- House currently is in the setback and we are adding a second story
- House is located on a sharp curve in Road - rear line of neighboring house is at a near 90° angle to ours.

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

**APPLICANT(S) SIGN HERE:**

I/we, Joseph Burcat and Adrienne Burcat hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): [Signatures] and [Signature]

Sworn and subscribed before me, this 13<sup>TH</sup> day of JANUARY, 2021.

[Signature]  
Notary Public - New Jersey  
Commission #2442187  
Expires 01/10/24

**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application, hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

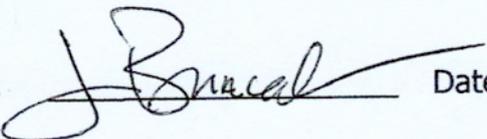
**SITE INSPECTION CONSENT FORM**

Applicant: <sup>As Adrienne</sup> Joseph<sup>h</sup> Burcat Application: \_\_\_\_\_

Block: 2701 Lot: 32

Street Address: 153 Spencer Rd

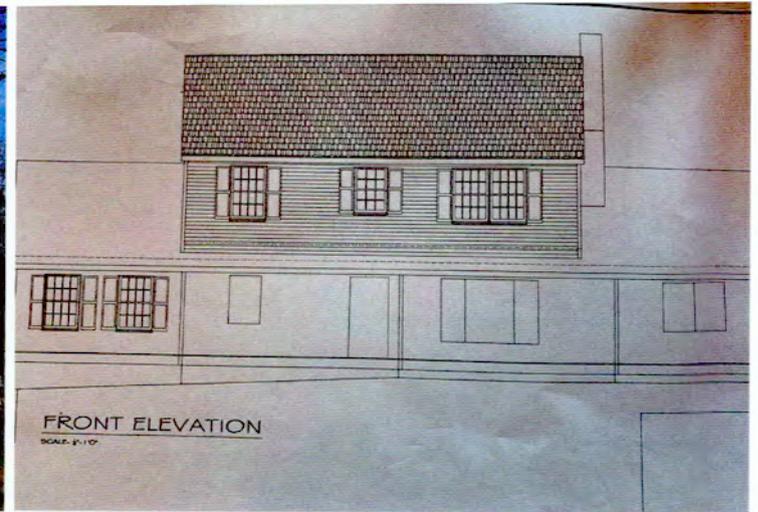
I, Joseph Burcat, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 12/29/20

	REQUIRED	EXISTING	PROPOSED
LOT AREA	87,120 S.F.	79,554 S.F.	No change
LOT WIDTH	250'	229.1'	No change
FRONTAGE	125'	154'	No change
FRONT YARD SETBACK	100.0'	75.7'	No change
REAR YARD SETBACK	100.0'	+/- 160.7	133.1'
COMBINED SIDE YARD	50' per 100' total	136.5	117.5
SIDE YARD	Rt 50' Lt 50' 100' total	Right 25.2' Left - 91.3'	No change Rt 50' Left 92.3'
COVERAGE	15% 11,993 S.F.	10.4% 8633 S.F.	
HEIGHT	35' max	22.2'	29.75'
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			



Current Front Elevation



Same View Proposed Front Elevation



Current Rear Elevation

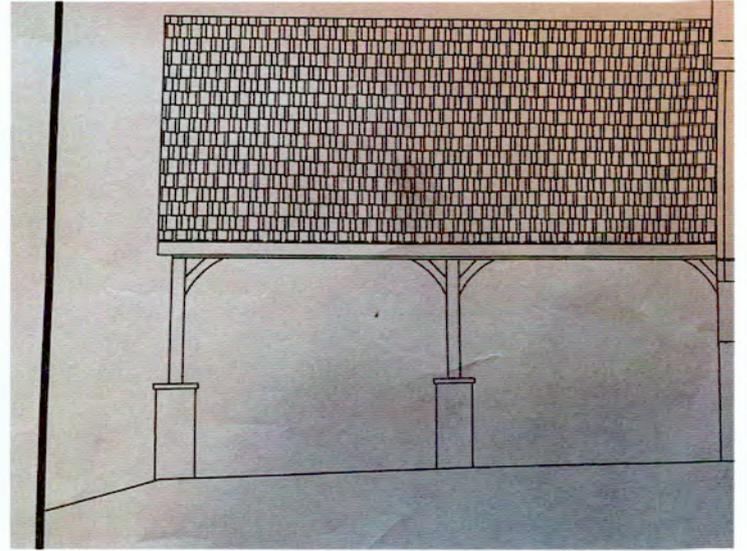


Same View Proposed Rear Elevation

Burcat - 153 Spencer Road  
Proposed 2 Car Carport in Existing Driveway



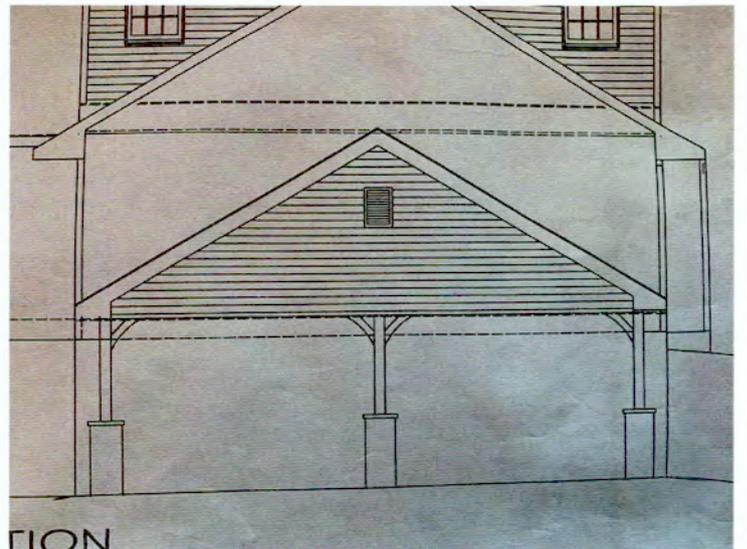
Existing Driveway on Left of House



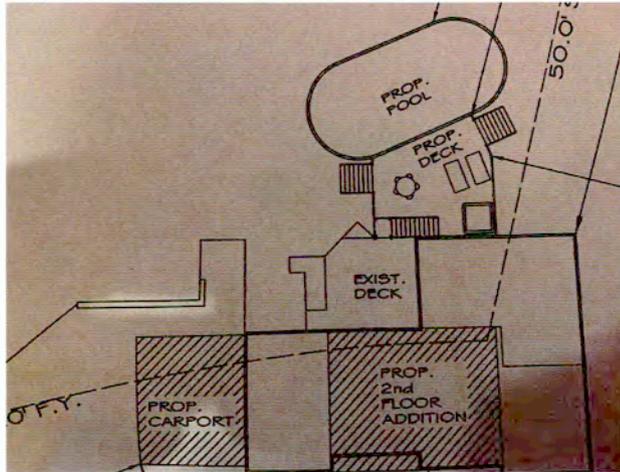
Proposed Carport in Existing Driveway



Current Elevation Driveway towards house



Proposed Elevation with Carport

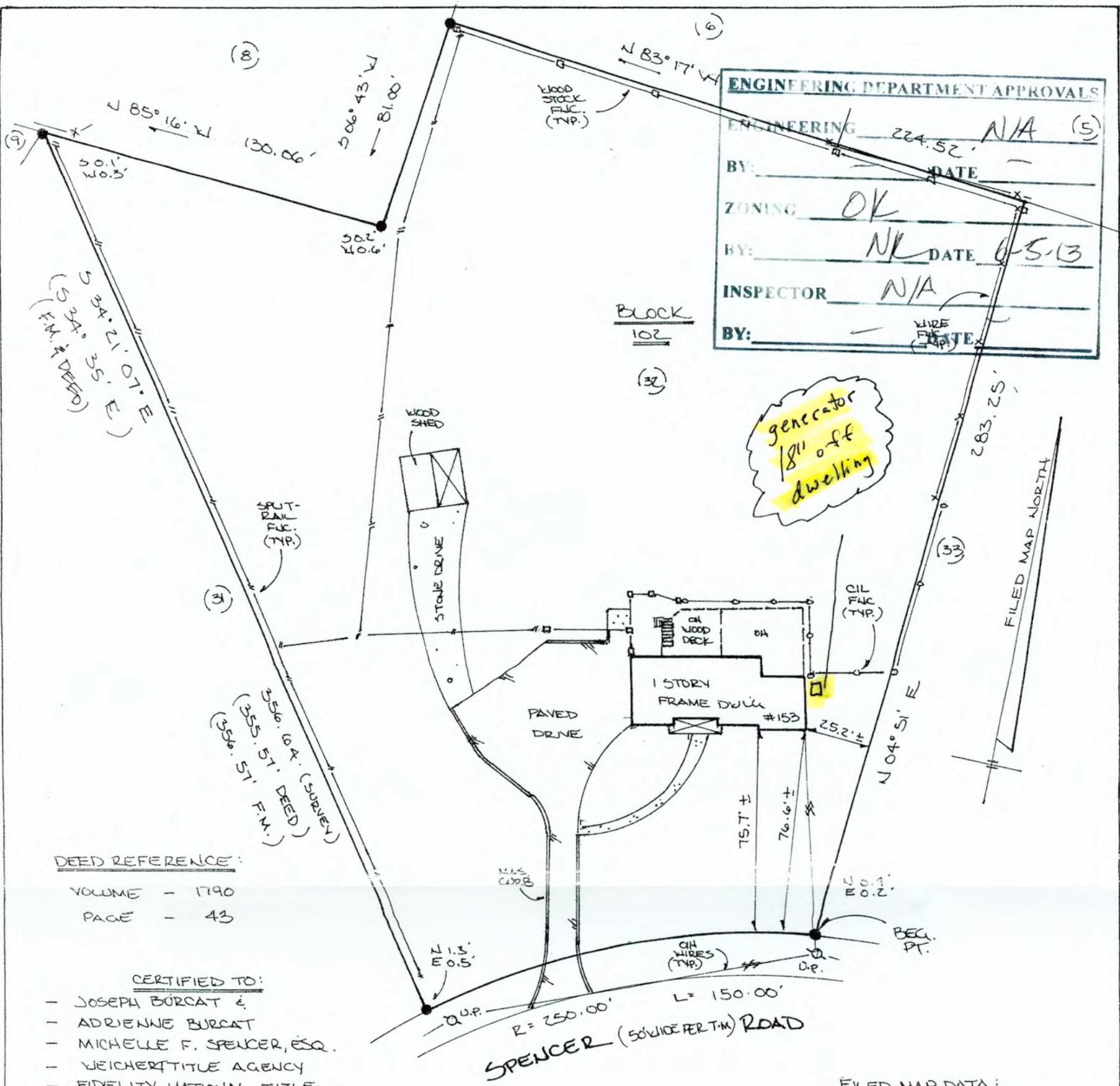


Burcat proposed above ground/in-ground pool. Photos of pools are for demonstration purposes only. This is an above ground/in-ground pool. Part of the pool will go in the ground. Pool dimensions 21'x 43'x 54" and it is a salt water pool.

ENGINEERING DEPARTMENT APPROVALS	
ENGINEERING	224.52' N/A (5)
BY:	DATE
ZONING	OK
BY:	NK DATE 6-5-13
INSPECTOR	N/A
BY:	DATE

BLOCK  
102

generator  
18" off  
dwelling



DEED REFERENCE:

VOLUME - 1790  
PAGE - 43

CERTIFIED TO:

- JOSEPH BURCAT &
- ADRIENNE BURCAT
- MICHELLE F. SPENCER, ESQ.
- VEICHERT TITLE AGENCY
- FIDELITY NATIONAL TITLE INSURANCE COMPANY
- WELLS FARGO BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

NOTE:

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 13:40.5.2

FILED MAP DATA:

LOT 20 BLOCK D  
"MAP OF LANDS LOCATED IN BASKING RIDGE"  
FILED NOV. 2, 1949  
MAP NO. 204

LEGEND... ● I.P. FND. ○ I.P. TO BE MARKED ■ MON. FND. □ MON. TO BE MARKED		
REPRODUCTION OF THIS SKETCH IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYORS SEAL. THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. SUBJECT TO ALL RESTRICTIONS AND EASEMENTS OF RECORD.		
THIS SURVEY MAY NOT SHOW UNDERGROUND UTILITIES, AND/OR EASEMENTS, WETLANDS AND/OR WATERCOURSES, NEW JERSEY TIDELANDS CLAIM LINE, SUBSURFACE AND/OR ENVIRONMENTAL CONDITIONS, LOCAL MUNICIPAL AND/OR ZONING ORDINANCES.		
THIS CERTIFICATE IS MADE ONLY TO HEREON NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY BELOW NAMED PURCHASER. NO LIABILITY WILL BE ASSUMED IF PAYMENT IS NOT RECEIVED FROM ABOVE NAMED PURCHASER OR HIS/HER AGENT(S) WITHIN 60 DAYS OF CLOSING DAY. THIS SURVEY IS NOT TO BE USED FOR LAND CLEARING, LANDSCAPING, CONSTRUCTION OF FENCES OR ANY OTHER STRUCTURES, SURVEY AFFIDAVITS, RESALE/REFINANCE OF PROPERTY OR BY ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY BELOW NAMED SURVEYOR OR A-1 LAND SURVEYS, INC., FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE THAN ITS INTENDED USE.		
 <p><b>A-1 LAND SURVEYS, INC.</b> PROFESSIONAL LAND SURVEYORS BOX 1192 TRENTON, NJ 08606</p> <p>IN NEW JERSEY: PHONE 1-800-CALL (4) A-1 1-800-225-5421 FAX 1-800-995-5421 CERT. OF AUTH. NO. GA280639</p> <p>IN PENNA: PHONE 1-215-493-9742 FAX 1-215-493-9743 45 EAST AFTON AVENUE YARDLEY, PA 19067</p>	<p>DATE 5-14-09</p> <p>SCALE 1" = 40'</p> <p>DRAWN JH</p> <p>CHECKED</p>	<p>PLAN OF SURVEY FOR <b>JOSEPH BURCAT &amp; ADRIENNE BURCAT</b></p> <p>153 SPENCER ROAD BERNARDS TOWNSHIP SOMERSET COUNTY NEW JERSEY</p>
	<p>TITLE NO. 231154</p> <p>ORDER NO. 109-4435</p>	
<p>MAX V. RAFFAELE NJ PROFESSIONAL LAND SURVEYOR</p>	<p>DATE 5-14-09 NO. 35869</p>	

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.		✓	

ADD'L MATS

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-005 Block: 2701 Lot: 32 Zone: R-2

Applicant: BURCAT, JOSEPH & ADRIENNE

Address of Property: 153 SPENCER ROAD

Description: (C) VARIANCE FOR FRONT YARD SETBACK (ADDITION) AND FOR POOL NOT LOCATED BEHIND REAR BUILDING LINE OF ADJACENT DWELLINGS

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input checked="" type="checkbox"/> | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input type="checkbox"/>            | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input checked="" type="checkbox"/> | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> | Imaging Fee                |
| <input type="checkbox"/>            | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

**SCHEDULING**

1.14.21 Original Submission Date 60  
3.15.21 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete 60  
5.14.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
3.11.21 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

1.14.21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

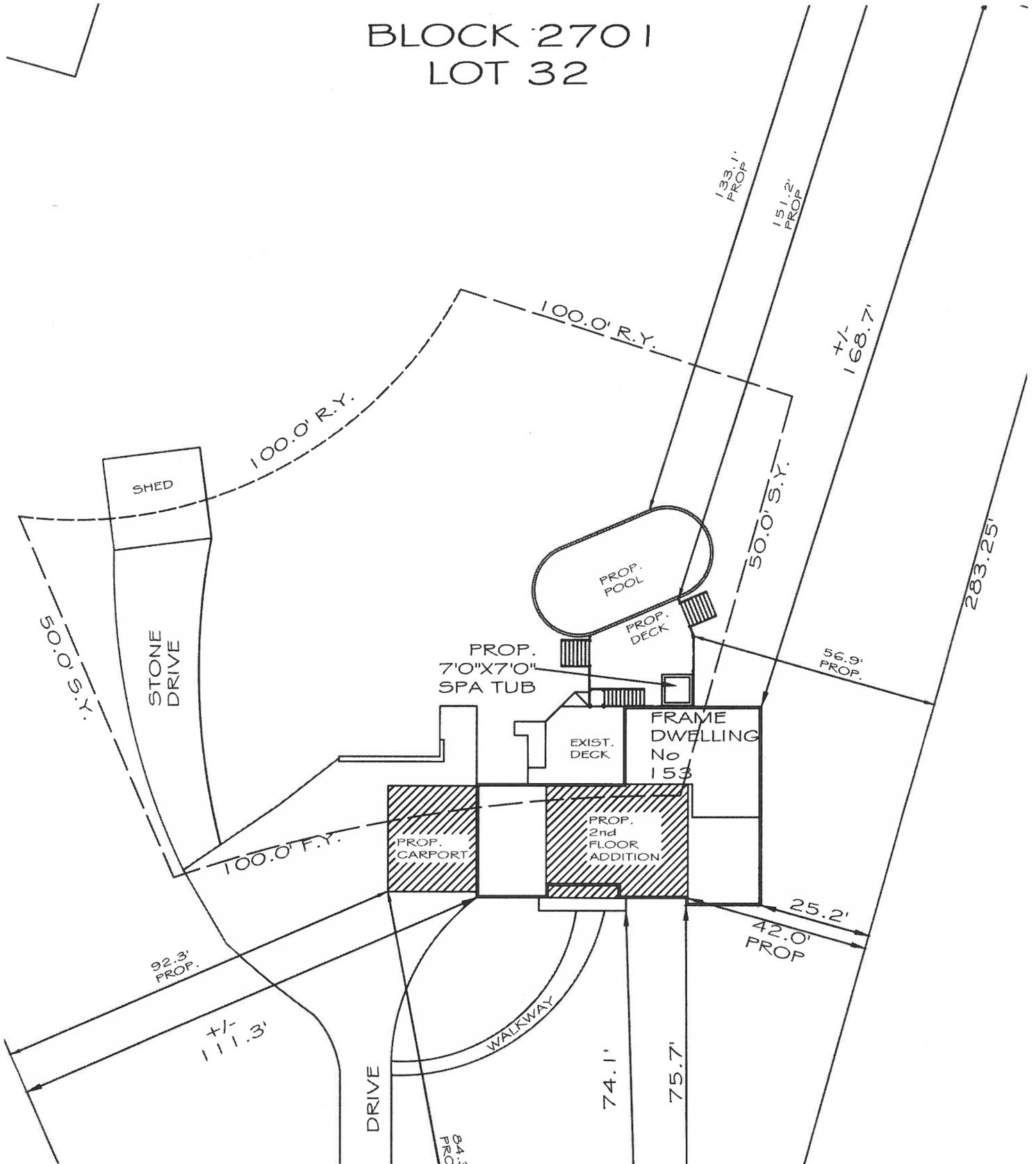
**Burcat - 153 Spencer Road.**  
**Application Addendum for Side Yard Set Back Variance**

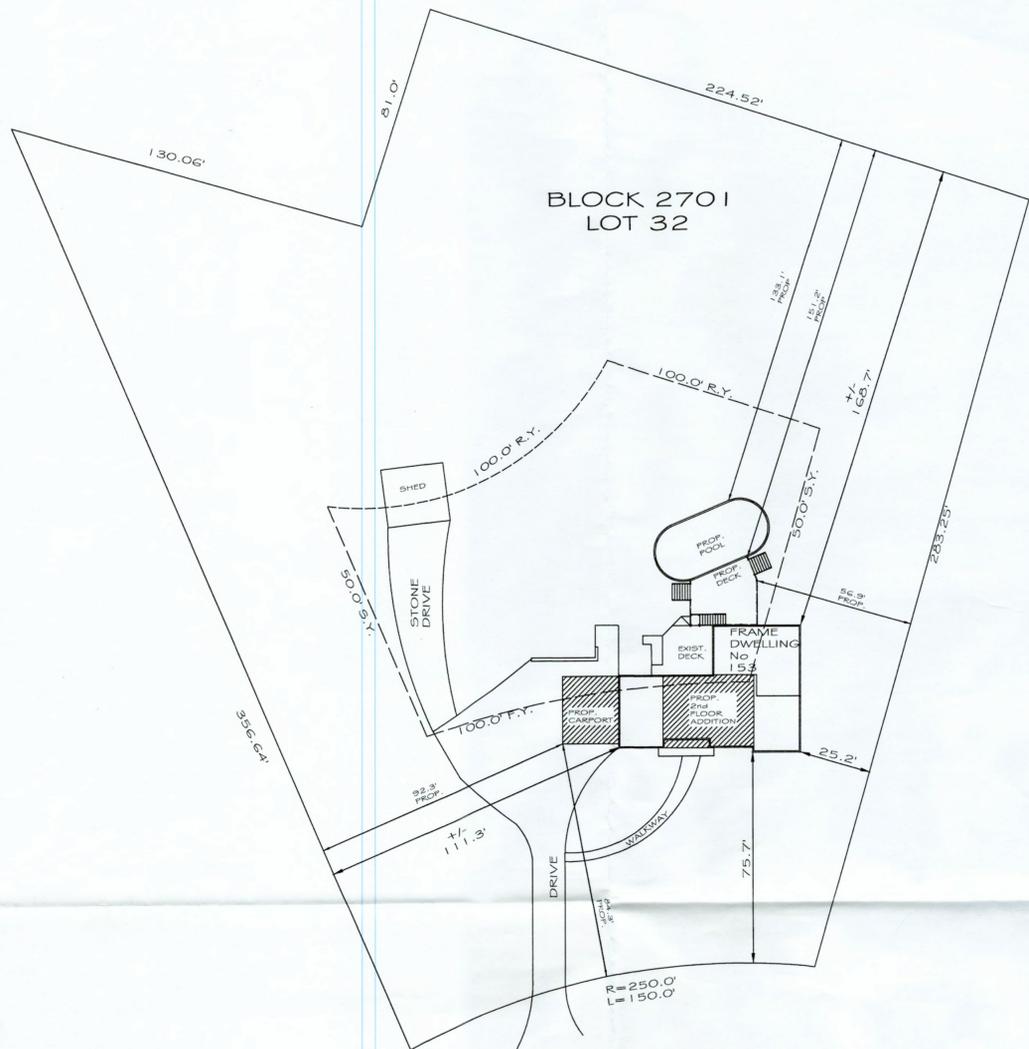
**21-15.1 (d)1 table 501 -Application Addendum for Side Yard Set Back Variance -** Required is 50', currently house is located 25.2' from east (right) side yard setback. The proposed 2nd floor addition side yard setback from the right side would be 42' thus requiring a variance.



Burcat - 153 Spencer Rd.  
Proposed Hot Tub Placement

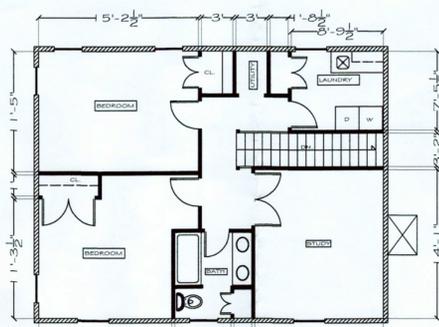
BLOCK 270 I  
LOT 32



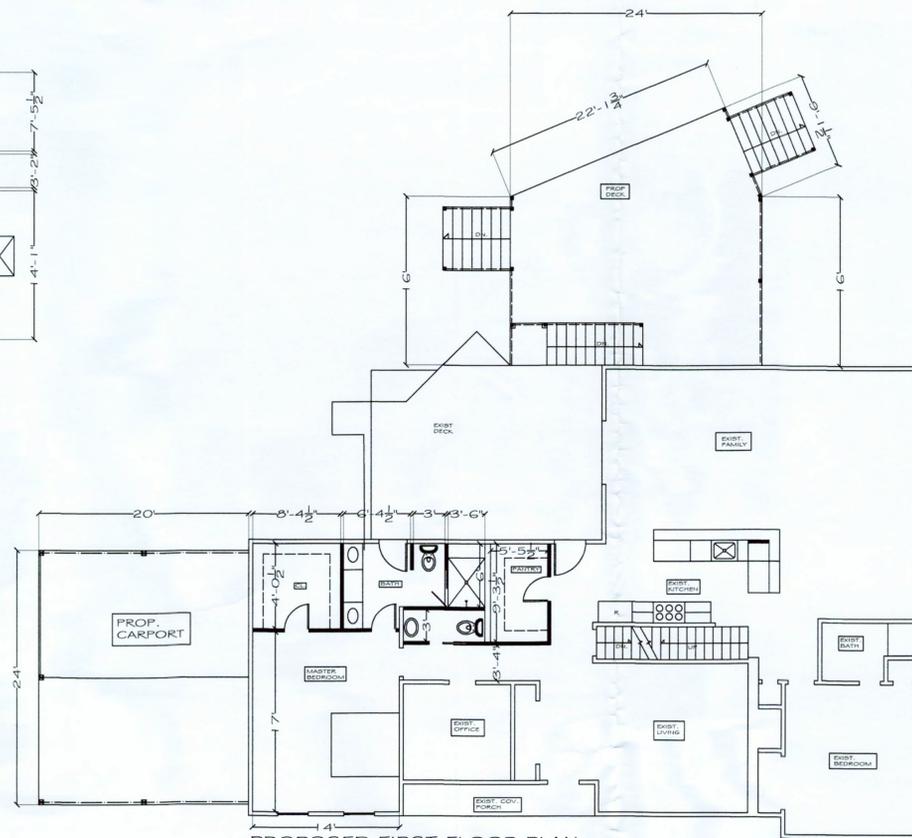


SITE PLAN  
SCALE: 1"=30.0'

INFORMATION TAKEN FROM A SURVEY  
BY A-1 LAND SURVEYORS INC. MAX V.  
RAFFAELLE, NJPLS LIC# 35869, BOX  
1192, TRENTON, NJ



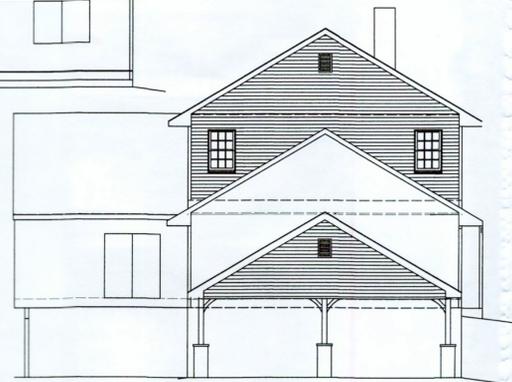
PROPOSED SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"



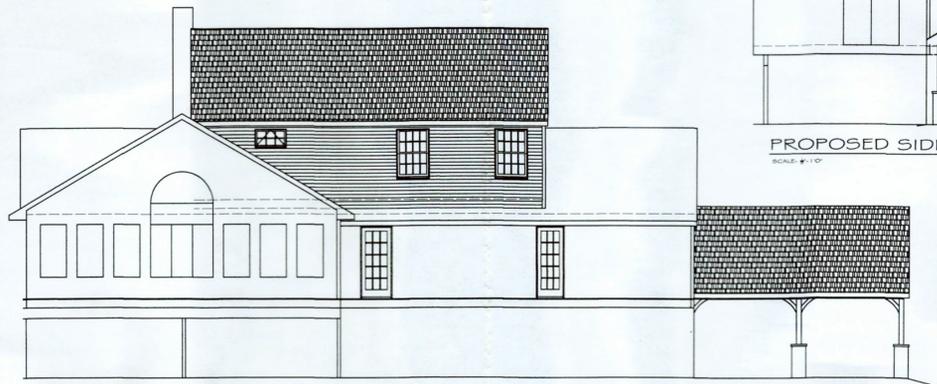
PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"



PROPOSED FRONT ELEVATION  
SCALE: 1/8"=1'-0"



PROPOSED SIDE ELEVATION  
SCALE: 1/8"=1'-0"



PROPOSED REAR ELEVATION  
SCALE: 1/8"=1'-0"

ZONING INFORMATION

ZONING			
ZONE -R-2	REQUIRED	EXISTING	PROPOSED
LOT AREA	87,120 S.F.	79,554 S.F.	NO CHANGE
FRONT YARD SETBACK	100.0'	75.7'	NO CHANGE
SIDE YARD SETBACK L	50.0	+/- 111.3'	92.3'
SIDE YARD SETBACK R	50.0	25.2'	NO CHANGE
REAR YARD SETBACK	100.0'	+/- 168.7'	NO CHANGE
LOT COVER	15% / 11,993 S.F.	10.4% / 8633 S.F.	11.4% / 9,133 S.F.
DWELLING		2212 S.F.	2692 S.F.
WALKWAYS		342 S.F.	342 S.F.
DRIVEWAY		4769 S.F.	4289 S.F.
SHED		462 S.F.	462 S.F.
PATIO		540 S.F.	540 S.F.
POOL			808 S.F.
TOTAL		8,325 S.F.	9133 S.F.



**ANDESIGN**  
L.L.Co.  
36 DEMAREST ROAD  
SPARTA  
NEW JERSEY  
07871  
973 300 1100  
CA: 21AC0007800

*Ann R.P. Sears*

ANN R.P. SEARS  
ARCHITECT  
NJ LIC-15281  
NOT VALID WITHOUT RAISED SEAL

THIS PLAN IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, TRANSMITTED, OR IN ANY MANNER DISSEMINATED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN, WHETHER SUCH DAMAGE BE CAUSED BY NEGLIGENCE OR OTHERWISE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES RENDERED BY HIM OR HER. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES RENDERED BY HIM OR HER. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

VARIANCE PLAN  
FOR  
153 SPENCER RD.  
TOWNSHIP OF BERNARDS, NEW JERSEY  
BLOCK 2701 LOT 32

DATE: NOV. 2, 2020

SCALE: AS NOTED

DRAWN BY: DAS/ARPS

PROJECT: 201024

REVISION: SHEET:

A-1

OWNER  
Mr. & Mrs. Joseph and Adrienne Burcat  
153 Spencer Rd.  
Basking Ridge, N.J. 07920  
Tel. 908 204 8908

REVISED

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-006 Block: 5001 Lot: 21 Zone: R-4

Applicant: ROSENBLATT, MARC & RACHEL

Address of Property: 30 CAMERON COURT

Description: (C) POOL NOT LOCATED BEHIND THE REAR BUILDING LINE OF ADJACENT DWELLING

**APPLICATION CHECKLIST**

- |                                     |                                     |                                     |                            |
|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------|
| <input checked="" type="checkbox"/> | Original + 16 copies of Application | <input checked="" type="checkbox"/> | Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> | W-9                                 | <input type="checkbox"/>            | Architectural Plans        |
| <input checked="" type="checkbox"/> | Site Visit Consent (A)              | <input checked="" type="checkbox"/> | Survey                     |
| <input type="checkbox"/>            | Ownership Form (B)                  | <input checked="" type="checkbox"/> | Photographs                |
| <input checked="" type="checkbox"/> | 200' Property Search List (C)       | <input type="checkbox"/>            | Wetlands Report/LOI        |
| <input checked="" type="checkbox"/> | Tax Certification (D)               | <input checked="" type="checkbox"/> | Application Fee            |
| <input checked="" type="checkbox"/> | Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> | Escrow Deposit             |
| <input checked="" type="checkbox"/> | Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> | Imaging Fee                |
| <input type="checkbox"/>            | Contributions Disclosure Form (G)   | <input type="checkbox"/>            | Tax Map Revision Fee       |
|                                     |                                     | <input checked="" type="checkbox"/> | Checklist                  |

**SCHEDULING**

- 1.14.21 Original Submission Date
- 3.15.21 Completeness Deadline (45 days)
- \_\_\_\_\_ Incomplete Date
- \_\_\_\_\_ Resubmission Date
- \_\_\_\_\_ Date Complete 60
- 5.14.21 Time to Act (45/95/120 days)

**HEARING**

- \_\_\_\_\_ Notice to Property Owners
- \_\_\_\_\_ Date of Publication
- \_\_\_\_\_ Completeness Hearing
- 33 Public Hearing
- \_\_\_\_\_ Carried to Date
- \_\_\_\_\_ Decision - Approved/Denied
- \_\_\_\_\_ Resolution Memorialized
- \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

- 1.14.21 Environmental Comm
- \_\_\_\_\_ Fire Official
- \_\_\_\_\_ LCFAS
- \_\_\_\_\_ Police

**NOTES**

**TOWNSHIP OF BERNARDS**  
**2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance<br><input type="checkbox"/> Use ("d") Variance<br><input type="checkbox"/> Conditional Use ("d") Variance<br><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance<br><input type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision<br><input type="checkbox"/> Interpretation of Zoning Ordinance<br><input type="checkbox"/> Minor Subdivision<br><input type="checkbox"/> Major Subdivision - Preliminary / Final<br><input type="checkbox"/> Other (specify): |
|--|--|

**1. APPLICANT:** MR. MARC ROSENBLATT + MRS RACHEL ROSENBLATT  
Address: 30 CAMERON COURT BASKING RIDGE, NJ 07920  
Phone: (home) 646 483 1078 (work) - (mobile) 646 207 6868  
Email (will be used for official notifications): RACHELANN.ROSENBLATT@MARC.COM

**2. OWNER (if different from applicant):** \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):**  
Name: DAVID FATINA Profession: ENGINEER  
Address: 15 SUNSET DRIVE, BERNARDSVILLE, NJ 07924  
Phone: 908-696-9598 Email (will be used for official notifications): DFATINA@FATINAENGINEERING.COM

**5. PROPERTY INFORMATION:** Block(s): 5001 Lot(s): 21 Zone: R-4  
Street Address: 30 CAMERON COURT Total Area (square feet/acres): 1.387 ACRES

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?**  No  Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?**  No  Yes (if yes, explain) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

No [ ] Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** \_\_\_\_\_

EXISTING RESIDENTIAL PROPERTY WITH EXISTING 2 STORY FRAME DWELLING SEEKING TO INSTALL A PRIVATE SWIMMING POOL

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**

\*PLEASE SEE ATTACHED

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:** \_\_\_\_\_

THE PROPOSED POOL IS TO BE CENTRALLY LOCATED WITHIN THE REAR YARD OF THE SUBJECT PROPERTY AND STORM WATER IS TO BE COLLECTED AND STORED ON-SITE THEREBY POSING NO DETRIMENT, NEITHER PHYSICAL NOR VISUAL TO ADJACENT PROPERTIES.

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

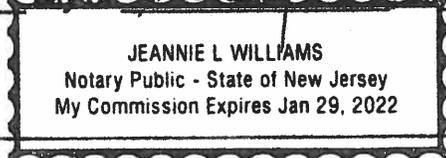
**APPLICANT(S) SIGN HERE:**

I/we, MARC ROSENBLATT and RACHEL ROSENBLATT hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): \_\_\_\_\_ and \_\_\_\_\_

Sworn and subscribed before me, this 19<sup>th</sup> day of December, 2021.

Jeannie L. Williams  
Notary



**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application,

hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary

**Township of Bernards**

**2021 Zoning Board of Adjustment Application**

**Supplementary Attachment 1**

Page 2 of 2

**Line Item #10:**

Applicant seeks relief from Ordinance Section 21.18.1 requiring swimming pools to be located behind the rear line of dwellings located on adjacent lots.

The applicant seeks relief from Ordinance Section 21-15.1(d)1 and Table 501 limiting lots in the R-4 zone to a maximum of 15% of the lot area covered with impervious surface.

**Line Item #11:**

**Variance Request #1: Ordinance Section 21.18.1**

The proposed pool has been centrally located within the rear yard of the subject property. It is to be surrounded with landscaping and all stormwater runoff resulting from the proposed increase of impervious coverage is to be collected and stored on-site. It is for these reasons that we believe the proposed improvements pose no detriment, neither physical or visual, to adjacent properties.

**Variance Request #2: Ordinance Section 21-15.1(d)1 and Table 501**

The subject property experiences an impervious coverage hardship as a direct result of the cul-de-sac located at the Westernmost end of Cameron Court being partially within the limits of the subject property. If the area of the cul-de-sac located on the subject property (354 sf) was not counted against the applicants, the proposed developments would be within the 15% maximum allowable impervious coverage limit as regulated under Section 21-15.1(d)1 and Table 501.

**TOWNSHIP OF BERNARDS**

**ZONING BOARD OF ADJUSTMENT**

**NOTICE OF HEARING ON APPEAL OR APPLICATION PLEASE TAKE NOTICE:**

That the undersigned has filed an appeal or application for development with the Board of Adjustment of the Township of Bernards for a Type 'C' Variance from the requirements of Section 21-18.1 of the Bernards Township Zoning Ordinance so as to permit: The installation of a private swimming pool in the rear yard of an existing residential lot where the pool will not be located behind the rear line of an existing dwelling located on an adjacent lot as is required by Section 21-18.1. and Section 21-15.1(d)1 and Table 501 limiting properties within the R-4 zone to 15% maximum allowable impervious coverage any other variances the Board may deem necessary, on the premises located at #30 Cameron Court and designated as Block 5001, Lot 21, on the Township Tax Map, and this notice is sent to you as an owner of property in the immediate vicinity.

A public hearing has been set for March 3, 2021, at 7:30 p.m. or as soon thereafter as the matter may be reached, in the Municipal Building, 1 Collyer Lane, Basking Ridge, New Jersey, and, when the case is called, you may appear either in person, or by Attorney, and present any objections which you may have to granting of the relief sought in the petition.

The application and maps in support thereof are on file in the office of the Secretary, Planning Offices located at 277 South Maple Avenue, Monday through Friday, 8:30 AM to 4:30 PM and are available for inspection. If possible, call to make an appointment at (908) 204-3026.

The applicant, by order of the Board of Adjustment, sends this notice to you.

Respectfully,

  
Marc and Rachel Rosenblatt

EC

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-006 Block: 5001 Lot: 21 Zone: R-4

Applicant: ROSENBLATT, MARC & RACHEL

Address of Property: 30 CAMERON COURT

Description: (C) POOL NOT LOCATED BEHIND THE REAR BUILDING LINE OF ADJACENT DWELLING

**APPLICATION CHECKLIST**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Original + 16 copies of Application W-9 | <input checked="" type="checkbox"/> Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> Site Visit Consent (A)                  | <input type="checkbox"/> Architectural Plans                   |
| <input type="checkbox"/> Ownership Form (B)                                 | <input checked="" type="checkbox"/> Survey                     |
| <input checked="" type="checkbox"/> 200' Property Search List (C)           | <input checked="" type="checkbox"/> Photographs                |
| <input checked="" type="checkbox"/> Tax Certification (D)                   | <input type="checkbox"/> Wetlands Report/LOI                   |
| <input checked="" type="checkbox"/> Notice to be Served/Published (E)       | <input checked="" type="checkbox"/> Application Fee            |
| <input checked="" type="checkbox"/> Dimensional Statistics Form (F)         | <input checked="" type="checkbox"/> Escrow Deposit             |
| <input type="checkbox"/> Contributions Disclosure Form (G)                  | <input checked="" type="checkbox"/> Imaging Fee                |
|   | <input type="checkbox"/> Tax Map Revision Fee                  |
|   | <input checked="" type="checkbox"/> Checklist                  |

**SCHEDULING**

1.14.21 Original Submission Date  
3.15.21 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete 60  
5.14.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
2.3 OR 3.3 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

1.14.21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

**TOWNSHIP OF BERNARDS**  
**2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance       | <input type="checkbox"/> Appeal of Zoning Officer's Decision     |
| <input type="checkbox"/> Use ("d") Variance                                  | <input type="checkbox"/> Interpretation of Zoning Ordinance      |
| <input type="checkbox"/> Conditional Use ("d") Variance                      | <input type="checkbox"/> Minor Subdivision                       |
| <input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance | <input type="checkbox"/> Major Subdivision - Preliminary / Final |
| <input type="checkbox"/> Site Plan - Preliminary / Final                     | <input type="checkbox"/> Other (specify):                        |

**1. APPLICANT:** MR. MARC ROSENBLATT + MRS. RACHEL ROSENBLATT

Address: 30 CAMERON COURT, BASKING RIDGE, NJ 07920

Phone: (home) 646-483-1098 (work) - (mobile) 646-207-6869

Email (will be used for official notifications): RACHEL ANN ROSENBLATT@GMAIL.COM

**2. OWNER** (if different from applicant): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**4. OTHER PROFESSIONALS** (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: DAVID FANTINA Profession: ENGINEER

Address: 15 SUNSET DRIVE, BERNARDSVILLE, NJ 07924

Phone: 908-696-9598 Email (will be used for official notifications): DFANTINA@FANTINAENGINEERING.COM

**5. PROPERTY INFORMATION:** Block(s): 5001 Lot(s): 21 Zone: R-41

Street Address: 30 CAMERON COURT Total Area (square feet/acres): 1.387 ACRES

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?**  No  Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?**  No  Yes (if yes, explain) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

No [ ] Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** \_\_\_\_\_

EXISTING RESIDENTIAL PROPERTY WITH EXISTING 2 STORY FRAME DWELLING  
SEEKING TO INSTALL A PRIVATE SWIMMING POOL THAT WILL NOT BE  
LOCATED BEHIND REAR BUILDING LINE OF ADJACENT ADJACENT DWELLINGS.

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**

REQUESTING RELIEF FROM SUBSECTION 21.18.1 STATING THAT ALL  
POOLS SHALL BE LOCATED BEHIND THE REAR BUILDING LINE  
OF DWELLINGS ON ADJACENT PROPERTIES.

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:** \_\_\_\_\_

THE PROPOSED POOL IS TO BE CENTRALLY LOCATED WITHIN THE REAR  
YARD OF THE SUBJECT PROPERTY AND STORMWATER IS TO BE COLLECTED  
AND STORED ON-SITE THEREBY POSING NO DETRIMENT, NEITHER PHYSICAL  
NOR VISUAL TO ADJACENT PROPERTIES

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

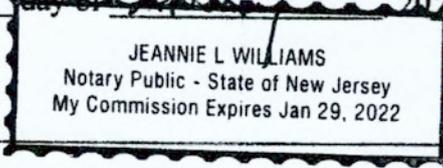
**APPLICANT(S) SIGN HERE:**

I/we, MARC ROSENBLAT and RAHEL ROSENBLAT hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): \_\_\_\_\_ and \_\_\_\_\_

Sworn and subscribed before me, this 13 day of July, 2021.

Jeannie L. Williams  
Notary



**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application,

hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

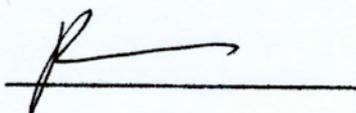
Applicant: MARC + RACHEL ROSENBLATT

Block: 5001 Lot: 21

Street Address: 30 CAMERON COURT, BASKING RIDGE, NJ 07120

I, RACHEL ROSENBLATT, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:



Date:

1-13-21

**DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA	1 ACRE	1.3872 ACRES	1.3872 ACRES
LOT WIDTH	200	164.24	164.24
FRONTAGE	100	75.29	75.29
FRONT YARD SETBACK	75	130.91	130.91
REAR YARD SETBACK	75	137.50	137.50
COMBINED SIDE YARD	50	66.75	66.75
SIDE YARD	20	22.65	22.65
COVERAGE	1590	10.8590	14.8790
HEIGHT	35	UNKNOWN	TO REMAIN
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			

**APPENDIX D, ARTICLE III**

**Checklist**

**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

**\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\***

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	X		
2	A certificate from the tax collector indicating that taxes are paid.	X		
3	All required application and escrow deposit fees.	X		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	X		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	X		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	X		
7	Calculations of existing & proposed lot coverage percentages.	X		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.			
9	Photographs of the property in the location of the proposed improvements.	X		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		X	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		X	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		X	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.	X		



EXISTING CONDITIONS PHOTO #1



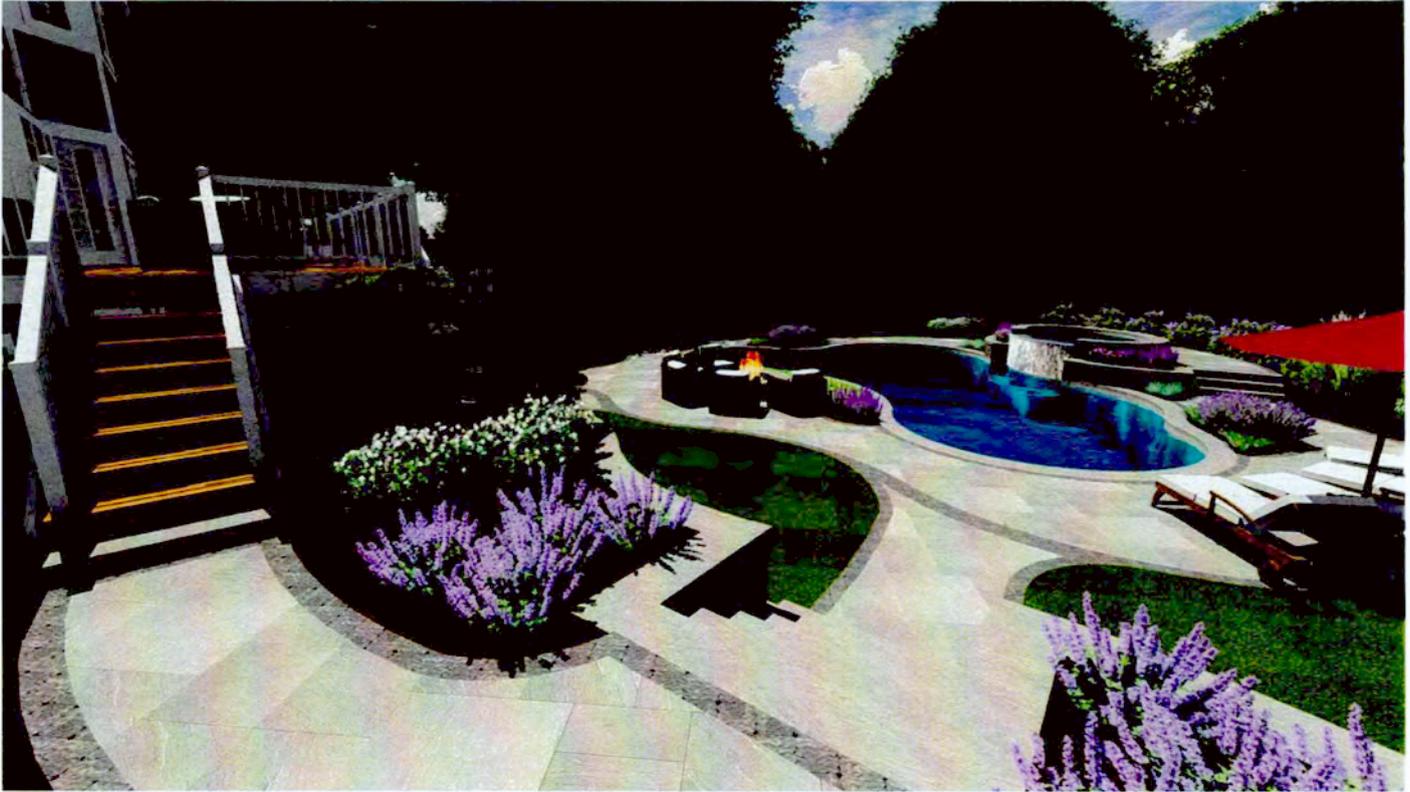
EXISTING CONDITIONS PHOTO #2



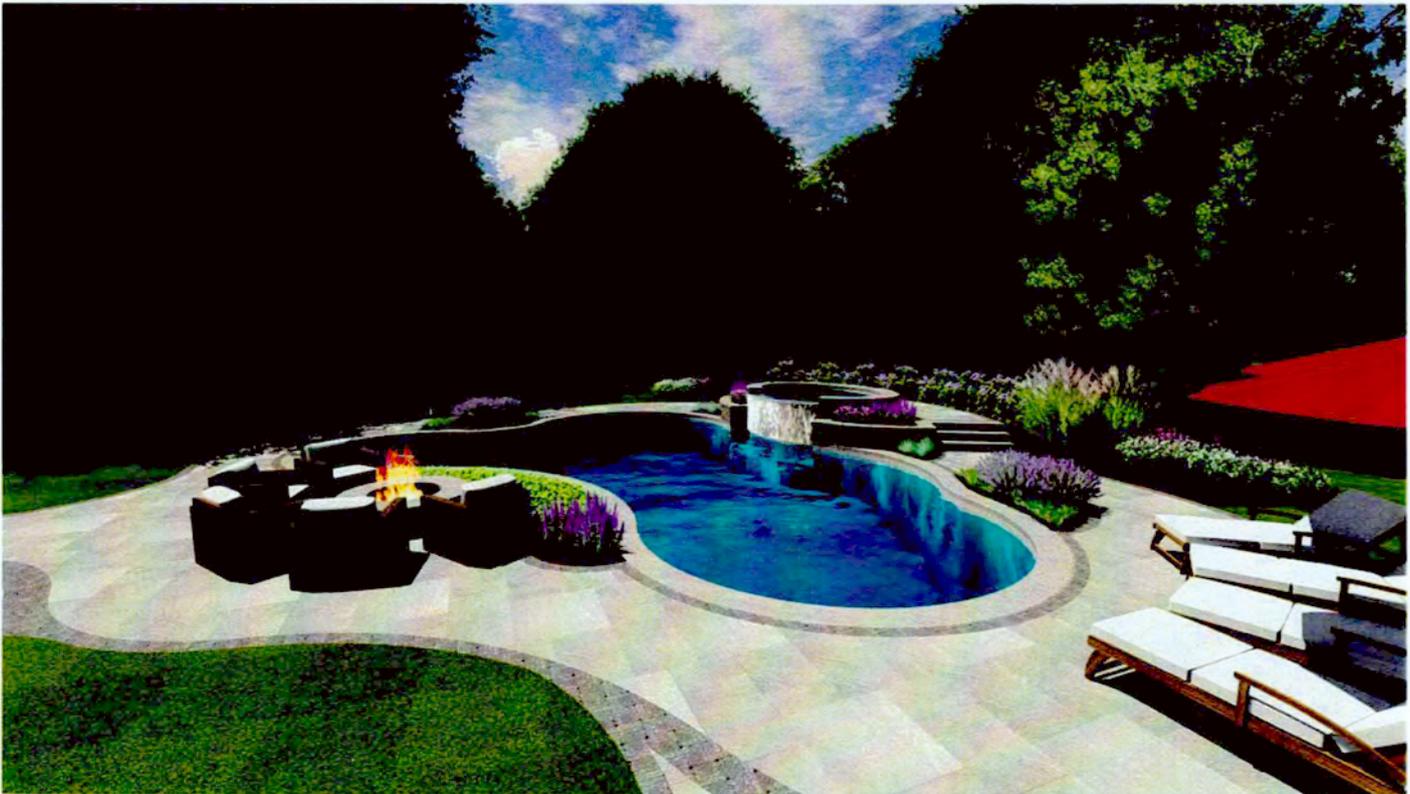
EXISTING CONDITIONS PHOTO #3



EXISTING CONDITIONS PHOTO #4



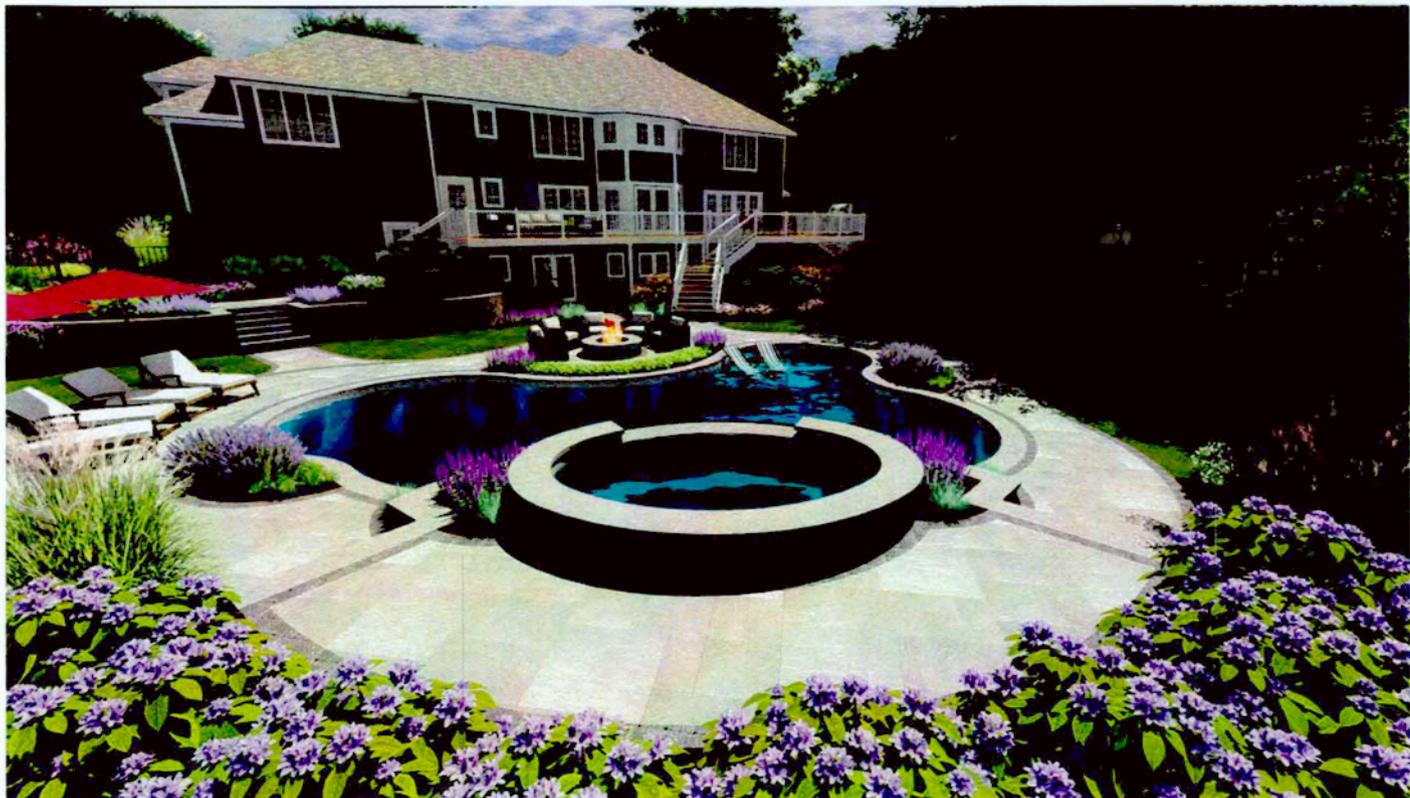
PROPOSED CONDITIONS PHOTO #1



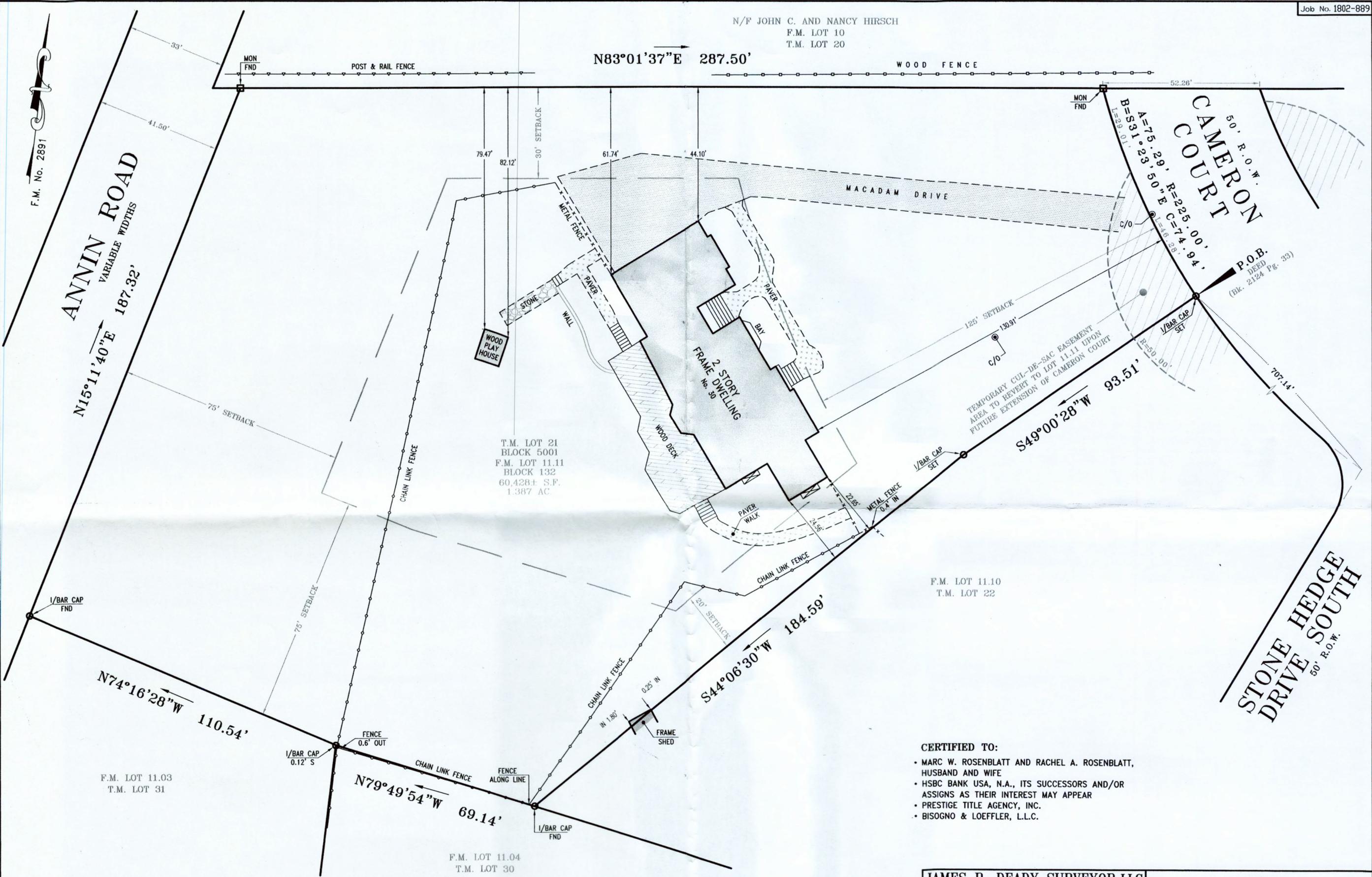
PROPOSED CONDITIONS PHOTO #2



PROPOSED CONDITIONS PHOTO #3



PROPOSED CONDITIONS PHOTO #4



**CERTIFIED TO:**

- MARC W. ROSENBLATT AND RACHEL A. ROSENBLATT, HUSBAND AND WIFE
- HSBC BANK USA, N.A., ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR
- PRESTIGE TITLE AGENCY, INC.
- BISOGNO & LOEFFLER, L.L.C.

- NOTES:**
- THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
  - SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
  - SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
  - UNDERGROUND UTILITIES ARE NOT DEPICTED, THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR EXISTENCE OF SAME.
  - DEED REFERENCE: BOOK 2124 PAGE 32, FILED IN THE SOMERSET COUNTY CLERK'S OFFICE.

**DESCRIPTION:**

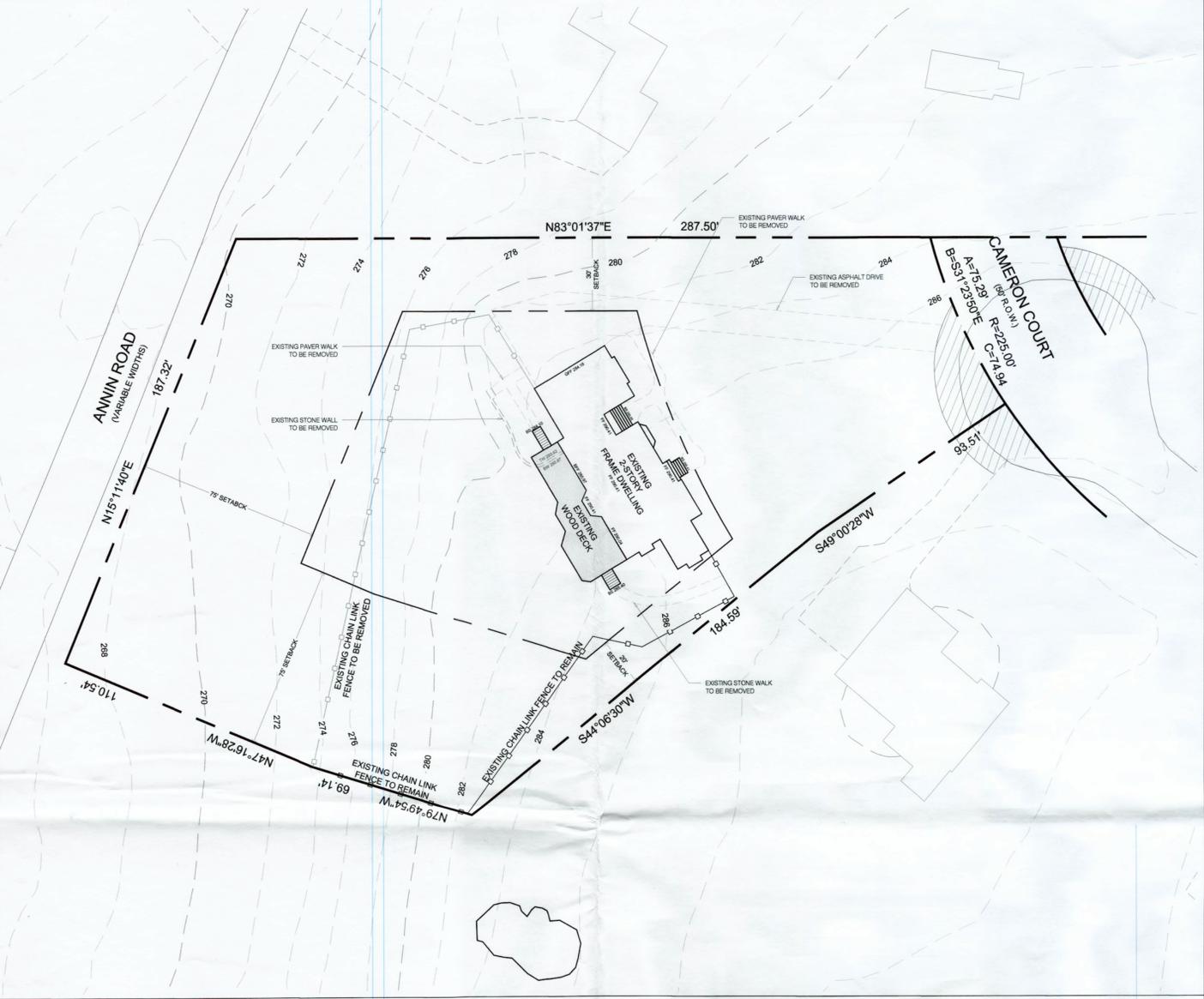
BEING KNOWN & DESIGNATED AS LOT 11.11, BLOCK 132 ON A MAP ENTITLED "FINAL MAP OF HIGHLAND WOODS, TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" DATED JULY, 1992, LAST REVISED OCTOBER 7, 1992 & FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON OCTOBER 22, 1992 AS MAP No. 2891.

**JAMES P. DEADY SURVEYOR, LLC**  
 PROFESSIONAL LAND SURVEYING SERVICES  
 admin@deadysurveying.com 295 ROUTE 22 EAST  
 (908) 534-0145 ONE SALEM SQUARE  
 (908) 534-0147 FAX SUITE 202 WEST  
 WHITEHOUSE STATION, NJ 08889

REVISIONS	DATE	Scale: 1"=20'
		Date: 07/25/12
		Dwn. By: M.M.
		Chk'd By: J.C.R.
		FILE# 1802-889-1
		BK 305 PG 10

**SURVEY**  
of  
**TAX LOT 21-BLOCK 5001**  
LOCATED IN THE  
**TOWNSHIP OF BERNARDS**  
**SOMERSET COUNTY, NEW JERSEY**

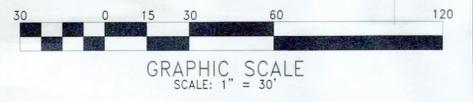
BY: *John C. Ritt*  
 John C. Ritt N.J.P.L.S. Lic. No. 24GS04324100  
 Certificate No. 24GA28199000



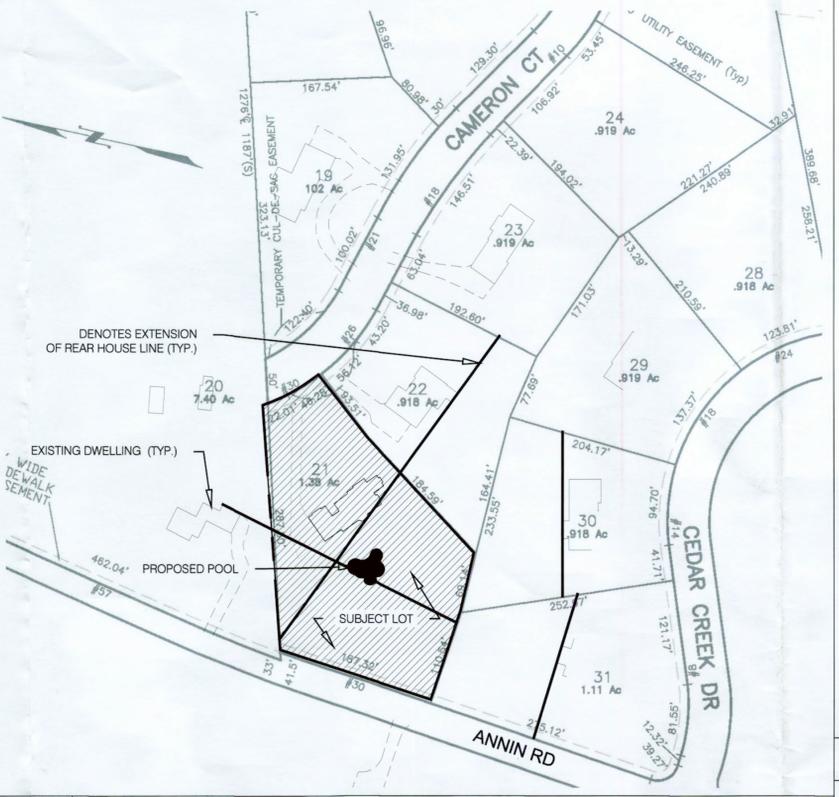
SOMERSET - UNION SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- All Soil Erosion and Sediment Control practices shall be installed prior to any major soil disturbances, or in their proper sequence and maintained until permanent protection is established.
- Any Disturbed areas that will be left exposed more than 30 Days and not subject to construction traffic, will immediately receive a temporary seeding. If this season prevents the establishment of a temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of two (2) tons per acre, according to NJ State Standards.
- Permanent Vegetation shall be seeded or sodded on all exposed areas within ten (10) days after final grading. Mulch will be used for protection until seeding is established.
- All work shall be done in accordance with the NJ State Standards for Soil Erosion and Sediment Control in New Jersey, 7th Edition last revised January 2014.
- A sub-base course will be applied immediately following rough grading and installation of improvements in order to stabilize streets, roads, driveways and parking areas. In areas where no utilities are present, the sub-base shall be installed within 15 days or preliminary grading.
- Immediately following initial disturbance or rough grading all critical areas subject to erosion (i.e.: steep slopes, roadway embankments) will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of two (2) tons per acre, according to the NJ State Standards.
- Any steep slopes receiving pipeline installation will be backfilled and stabilized daily, as the installation proceeds (i.e.: slopes greater than 3:1).
- Traffic control Standards require the installation of a 50"x30"x6" pad of 1 1/2" or 2" stone, at all construction driveways, immediately after initial site disturbance.
- The Somerset-Union Soil Conservation District shall be notified in writing 48 hours in advance of any land disturbing activity.
- At the time when the site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover, shall be removed or treated in such a way that will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites.
- In that N.J.S.A. 4:24-39 et seq., requires that no Certificate of Occupancy be issued before the provisions of the Certified Plan for Soil Erosion and Sediment Control have been complied with for permanent measures, all site work for site plans and all work around individual lots in subdivisions, will have to be completed prior to the District issuing a Report of Compliance for the issuance of a Certificate of Occupancy by the Municipality.
- Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.

- Any changes to the Certified Soil Erosion and Sediment Control Plan will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current NJ State Soil Erosion & Sediment Control Standards.
- The Somerset-Union Soil Conservation District shall be notified of any changes in ownership.
- Mulching to the NJ Standards is required for obtaining a Conditional Report of Compliance. Conditionals are only issued when the season prohibits seeding.
- Contractor is responsible for keeping all adjacent roads clean during life of construction project.
- The developer shall be responsible for remediating any erosion or sediment problems that arise as a result of ongoing construction at the request of the Somerset-Union Soil Conservation District.
- Hydro seeding is a two-step process. The first step includes seed, fertilizer, lime, etc., along with minimal amounts of mulch to promote consistency, good seed to soil contact, and give a visual indication of coverage. Upon completion of seeding operation, hydro-mulch should be applied at a rate of 1500 lbs. per acre in second step. The use of hydro-mulch, as opposed to straw, is limited to optimum seeding dates as listed in the NJ Standards.



REV 8/24/20



3 PROJECT SUMMARY

AGENCY: BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

OWNER: MR. AND MRS. ROSENBLATT

ADDRESS: #30 CAMERON COURT, BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

PROJECT SITE ADDRESS: #30 CAMERON COURT, BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

USE: PRIVATE RESIDENTIAL

ZONE: R-4

LOT / BLOCK: LOT 21 BLOCK 5001

PROJECT DESCRIPTION: REPLACEMENT OF EXISTING DRIVEWAY AND FRONT WALK, INSTALLATION OF THE PROPOSED IN-GROUND SWIMMING POOL PATIO, AND RETAINING WALL.

TOTAL PROJECT DISTURBED AREA: 23,175 SQ. FT.

4 ZONING INFORMATION

SUBJECT PROPERTY IS LOCATED IN THE R-4 ZONE OF THE TOWNSHIP OF BERNARDS.

LOT AREA 60,428 +/- SF.

GENERAL LOT	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUESTED
MINIMUM LOT AREA	1 ACRE	1.387 ACRES	1.387 ACRES	
MAXIMUM LOT COVERAGE	15%	11.43%	15.46%	YES

ACCESSORY BUILDING	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUESTED
ACCESSORY BLDG. SIDE YARD	20 FT.	NA	79.02 FT.	
ACCESSORY BLDG. REAR YARD	20 FT.	NA	105.67 FT. **	
ACCESSORY BLDG. TO OTHER STRUCTURE	10 FT.	NA	23.56 FT.	
POOL TO BE LOCATED BEHIND REAR LINE OF DWELLING ON ADJACENT PROPERTIES		NA	NOT POSSIBLE	YES

\*\* DIMENSION FROM POOL TO "REAR YARD" PROPERTY EDGE ALONG ANNIN ROAD

IMPERVIOUS COVERAGE STUDY	EXISTING AREA	PROPOSED AREA
SOURCE		
DWELLING	2,884 SF.	2,884 SF.
DRIVEWAY	2,798 SF.	3,350 SF.
CUL-DE-SAC ON PROP.	354 SF.	354 SF.
PORCH	118 SF.	118 SF.
FRONT WALK	405 SF.	478 SF.
LEFT SIDE WALK	198 SF.	0 SF.
REAR WALK	154 SF.	140 SF.
POOL PATIO	0 SF.	958 SF.
POOL WATER	0 SF.	871 SF.
POOL COPING	0 SF.	154 SF.
POOL EQUIPMENT PAD	0 SF.	28 SF.
TOTAL COVERAGE	6,911 SF.	9,345 SF.
COVERAGE PERCENTAGE	11.43%	15.46%

PROPOSED INCREASE IN IMPERVIOUS COVERAGE = 2,434 SF.  
AREA OF DISTURBANCE = 23,175 SQ. FT.

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND UNDER MUNICIPAL SUPERVISION.
- ALL SPECIFICATIONS, WHETHER NOTED OR NOT, TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AS THEY EXIST AT THE TIME OF CONSTRUCTION.
- ALL UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE, BASED UPON SURFACE STRUCTURES VISIBLE ON THE DATE OF BOUNDARY AND TOPOGRAPHIC SURVEY. THE LOCATION OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES AND STRUCTURES MAY BE ENCOUNTERED. ALL SUBSURFACE UTILITY LOCATIONS MUST BE VERIFIED AND FIELD MARKED BY THE APPROPRIATE UTILITY AUTHORITIES PRIOR TO EXCAVATION/CONSTRUCTION. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF BURIED UTILITIES SHOWN NOR THE LACK THEREOF.
- ANY DISCREPANCIES IN REFERENCED COORDINATES, ELEVATIONS, EXISTING DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.
- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON SURVEY COMPLETED BY JOHN C. RITT NJ PLS LIC NO. 24GS04324100 OF JAMES P. DEADY SURVEYOR DATED JULY 25th 2012.
- ALL PROPOSED GRADING CAN TIE INTO EXISTING TOPOGRAPHIC CONTOURS ON THE SUBJECT PROPERTY WITHOUT AN ADVERSE GRADING OR DRAINAGE IMPACT TO ADJOINING LOTS.
- ALL DISTURBANCE AND GRADING IS TO BE LIMITED TO THE SUBJECT PROPERTY.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS DIRECTED BY THE TOWNSHIP ENGINEER.
- ALL EXCESS SOILS ARE TO REMAIN ON SITE. SEE CUT AND FILL CALCULATIONS BELOW.
- REFER TO SOIL EROSION AND SEDIMENT CONTROL PLANS FOR DETAILS AND NOTES.
- DEVIATIONS FROM THE PLAN MUST BE APPROVED BY THE TOWNSHIP ENGINEER IN WRITING PRIOR TO CHANGE. ANY DEVIATIONS WITHOUT PRIOR APPROVAL WILL RENDER THE PERMIT NULL AND VOID.
- ANY DAMAGE TO THE PUBLIC ROAD SHALL BE REPAIRED BY THE CONTRACTOR AT THE DIRECTION OF THE TOWNSHIP ENGINEER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THERE WILL BE NO BURYING OF STUMPS, CONSTRUCTION DEBRIS, OR GARBAGE. ALL WASTE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.
- NO REGULATED SLOPES ARE TO BE DISTURBED AS PART OF THIS PROJECT.
- POOL IS TO BE SURROUNDED ON ALL SIDES WITH POOL CODE FENCING. ALL GATES ARE TO BE POOL CODE SELF-CLOSING AND LATCHING. ALL DOUBLE GATES SHALL HAVE KEYPED LOCKS.

6 CONSTRUCTION SCHEDULE

CONSTRUCTION SCHEDULE

OPERATION	ESTIMATED TIME TO COMPLETE
NOTIFY THE BERNARDS TOWNSHIP ENGINEERING DEPARTMENT 72 HOURS PRIOR TO COMMENCING ON SITE WORK.	
PHASE 1: REAR YARD	
INSTALL SILT FENCE	1 DAY
REMOVE PORTION OF DRIVEWAY/INSTALL STABILIZED ACCESS	1 DAY
STRIP AND STOCKPILE TOPSOIL	1 DAY
INSTALL DRYWELL FIELD #1	1 DAY
INSTALL POOL	4 WEEKS
INSTALL PATIOS AND WALLS	3 WEEKS
FINISH GRADE AND INSTALL SPRINKLER SYSTEM	2 DAYS
PLANTING INSTALLATION	2 DAYS
FINISH GRADE AND INSTALL PERMANENT STABILIZATION	2 DAYS
PHASE 2: FRONT YARD	
REMOVE EXISTING DRIVEWAY AND WALK	1 DAY
STRIP AND STOCKPILE TOPSOIL	1 DAY
INSTALL DRYWELL FIELD #2	1 DAY
ROUGH GRADE	1 DAY
INSTALL DRIVEWAY	4 DAYS
INSTALL WALKWAY	4 DAYS
FINISH GRADE AND INSTALL SPRINKLER SYSTEM	2 DAYS
PLANTING INSTALLATION	2 DAYS
FINISH GRADE AND INSTALL PERMANENT STABILIZATION	2 DAYS
CLEAN SITE, REMOVE DEBRIS AND EXIT	1 DAY
TOTAL ESTIMATED PROJECT DURATION	14 WEEKS

7 CUT/FILL CALCULATIONS

CUT/FILL CALCULATIONS

SOURCE/OPERATION	CUT	FILL
POOL EXCAVATION	175 CY	
DRYWELL EXCAVATION	76 CY	
GRADING	36 CY	287 CY
TOTAL	287 CY	287 CY

NO SOIL IS TO BE REMOVED FROM OR IMPORTED TO THE SITE

8 SHEET INDEX

- C1.0 TITLE SHEET
- S1.0 SOIL EROSION AND SEDIMENT CONTROL PLAN
- S1.1 ANTICOMPACTION AND SOIL STABILIZATION NOTES
- S1.2 GRADING AND DRAINAGE PLAN
- D1.0 PROJECT DETAILS AND NOTES

COVER SHEET  
LOT 21 in BLOCK 5001  
#30 Cameron Court, Bernards Township  
Somerset County New Jersey

DAVID E. FANTINA, P. E.  
Professional Engineer  
15 Sunset Drive, Bernardsville, NJ 07924

Scale	Date	File	Sheet
AS NOTED	12/28/20	ROSENBLATT.dwg	C1.0

Date	Item(s)	By
1-18-21	PER COMMENTS OFFERED BY LETTER DATED 1-15-21	DF

Revisions

NJPE Lic#32395



STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

Methods and Materials

1. Site Preparation

- A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standard for Land Grading.
- B. Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading .
- C. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.
- D. Install needed erosion control practices or facilities such as diversions, grade-stabilization structures, channel stabilization measures, sediment basins, and waterways.

2. Seedbed Preparation

- A. Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil sample mailers are available from the local Rutgers Cooperative Extension offices (http://njaes.rutgers.edu/county/). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.
- B. Work lime and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc, spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
- C. High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seedbed preparation. See Standard for Management of High Acid-Producing Soils for specific requirements.

3. Seeding

- A. SEE SEEDING SPECIFICATIONS ON THIS SHEET.  
Seed germination shall have been tested within 12 months of the planting date. No seed shall be accepted with a germination test date more than 12 months old unless retested.
  - 1. Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage with the specified seed mixture for the seeded area and mowed once.
  - 2. Warm-season mixtures are grasses and legumes which maximize growth at high temperatures, generally 85° F and above. See Table 4-3 mixtures 1 to 7. Planting rates for warm-season grasses shall be the amount of Pure Live Seed (PLS) as determined by germination testing results.
  - 3. Cool-season mixtures are grasses and legumes which maximize growth at temperatures below 85°F. Many grasses become active at 65°F. See Table 4-3, mixtures 8-20. Adjustment of planting rates to compensate for the amount of PLS is not required for cool season grasses.

- B. Conventional Seeding is performed by applying seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil within 24 hours of seedbed preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse-textured soil.
- C. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.
- D. Hydroseeding is a broadcast seeding method usually involving a truck, or trailer-mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Shortfibred mulch may be applied with a hydroseeder following seeding. (also see Section 4-Mulching below). Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. When poor seed to soil contact occurs, there is a reduced seed germination and growth.

- 4. Mulching  
Mulching is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.

- A. Straw or Hay. Unrotted small grain straw, hay free of seeds, to be applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed.  
Application - Spread mulch uniformly by hand or mechanically so that at least 85% of the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square feet sections and distribute 70 to 90 pounds within each section. Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs.
  - 1. Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.
  - 2. Mulch Nettings. Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.
  - 3. Crimper (mulch anchoring couler tool) - A tractor-drawn implement, somewhat like a disc harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.
  - 4. Liquid Mulch-Binders - May be used to anchor salt hay, hay or straw mulch.
    - a. Applications should be heavier at edges where wind may catch the mulch, in valleys, and at crests of banks. The remainder of the area should be uniform in appearance.
    - b. Use one of the following:
      - (1) Organic and Vegetable Based Binders - Naturally occurring, powder-based,

hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turf grass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.

(2) Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and, following application of mulch, drying and curing, shall no longer be soluble or dispersible in water. Binder shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

Note: All names given above are registered trade names. This does not constitute a recommendation of these products to the exclusion of other products.

- B. Wood-fiber or paper-fiber mulch - shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder. Mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.
- C. Pelletized mulch - compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers, and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturer's recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs/1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weedseed free mulch is desired, or on sites where straw mulch and tackifier agent are not practical or desirable. Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.
- 5. Irrigation (where feasible)  
If soil moisture is deficient supply new seeding with adequate water (a minimum of 1/4 inch applied up to twice a day until vegetation is well established). This is especially true when seedlings are made in abnormally dry or hot weather or on droughty sites.
- 6. Topdressing  
Since soil organic matter content and slow release nitrogen fertilizer (water insoluble) are prescribed in Section 2A - Seedbed Preparation in this Standard, no follow-up of topdressing is mandatory. An exception may be made where gross nitrogen deficiency exists in the soil to the extent that turf failure may develop. In that instance, topdress with 10-10-10 or equivalent at 300 pounds per acre or 7 pounds per 1,000 square feet every 3 to 5 weeks until the gross nitrogen deficiency in the turf is ameliorated.
- 7. Establishing Permanent Vegetative Stabilization  
The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rates in Table 4-3 are required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the district. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once. Note this designation of mowed once does not guarantee the permanency of the turf should other maintenance factors be neglected or otherwise mismanaged.

SEEDING SPECIFICATIONS

TEMPORARY STABILIZATION SPECIFICATIONS

- 1. Apply ground limestone at a rate of 90 lbs/1000 SF.
- 2. Apply fertilizer (10-20-10) at a rate of 11 lbs/1000 SF, and work into the soil 4" deep.
- 3. Apply seed mixture: Perennial ryegrass at 100 lbs/acre and annual ryegrass at 100 lbs/acre or approved equal.
- 4. Mulch with unrotted, seed free salt hay or small grain straw immediately after seeding. Apply at a rate of 70 to 90 lbs/1000 SF.
- 5. Plant seed between March 1 & May 15 or between August 15 & October 1, if possible.

PERMANENT STABILIZATION SPECIFICATIONS

- 1. Apply topsoil to a depth of 5" (unsettled) on all graded areas.
- 2. Apply ground limestone at a rate of 90 lbs/1000 SF.
- 3. Apply fertilizer (10-10-10) at a rate of 11 lbs/1000 SF.
- 4. Apply seed mixture: Hard fescue 130 lbs/acre, Chewings Fescue at 45 lbs/acre, Strong Creeping Red Fescue at 45 lbs/acre, and Perennial Ryegrass at 10 lbs/acre.
- 5. Fescue at 45 lbs/acre, and Perennial Ryegrass at 10 lbs/acre.
- 6. Mulch with unrotted seed free salt hay or small grain straw immediately after seeding. Apply at a rate of 70 to 90 lbs/1000 SF, according to NJ Standards.
- 7. Anchor mulch with organic, vegetable-based or synthetic binders. Other approved methods (i.e. peg and twine, or mulch netting) may be used. If possible, plant between March 1 & May 15 or between August 15 & October 1, if possible.

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

Methods and Materials

1. Site Preparation

- A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, pg. 19-1.
- B. Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.
- C. Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).

2. Seedbed Preparation

- A. Apply ground limestone and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample mailers are available from the local Rutgers Cooperative Extension offices. Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply limestone at the rate of 2 tons/acre unless soil testing indicates otherwise. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes.
- B. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
- C. Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retiled in accordance with the above.
- D. Soils high in sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1.

3. Seeding

- A. SEE SEEDING SPECIFICATIONS ON THIS SHEET.
- B. Conventional Seeding. Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil, to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil.
- C. Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibred mulch may be applied with a hydroseeder following seeding. (also see Section IV Mulching) Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed germination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, stumps, etc.
- D. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

4. Mulching

- Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.
  - A. Straw or Hay. Unrotted small grain straw, hay free of seeds, applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed. Application. Spread mulch uniformly by hand or mechanically so that approximately 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square feet sections and distribute 70 to 90 pounds within each section. Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs.
    - 1. Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.
    - 2. Mulch Nettings. Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.
  - 3. Crimper (mulch anchoring tool). A tractor-drawn implement, somewhat like a disc harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.
  - 4. Liquid Mulch-Binders. - May be used to anchor hay or straw mulch.
    - a. Applications should be heavier at edges where wind may catch the mulch, in valleys, and at crests of banks. The remainder of the area should be uniform in appearance.
    - b. Use one of the following:
      - (1) Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.
      - (2) Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

Note: All names given above are registered trade names. This does not constitute a commendation of these products to the exclusion of other products.

- B. Wood-fiber or paper-fiber mulch. Shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the project manufacturer) and may be applied by a hydroseeder. This mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.
- C. Pelletized mulch. Compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturers recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs/1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-seed free mulch is desired or on sites where straw mulch and tackifier agent are not practical or desirable. Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

- 1. Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
- 2. Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
- 3. **Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
- 4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is **not required** if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

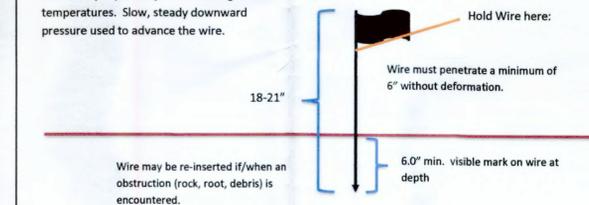
Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

**Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth)** where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

Simplified Testing Methods

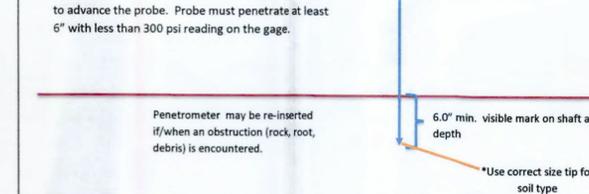
Probing Wire Test- 15.5 ga steel wire (survey flag)

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



Handheld Soil Penetrometer Test

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" with less than 300 psi reading on the gage.



STABILIZATION AND COMPACTION MITIGATION NOTES AND DETAILS

LOT 21 in BLOCK 5001  
#30 Cameron Court, Bernards Township  
Somerset County New Jersey

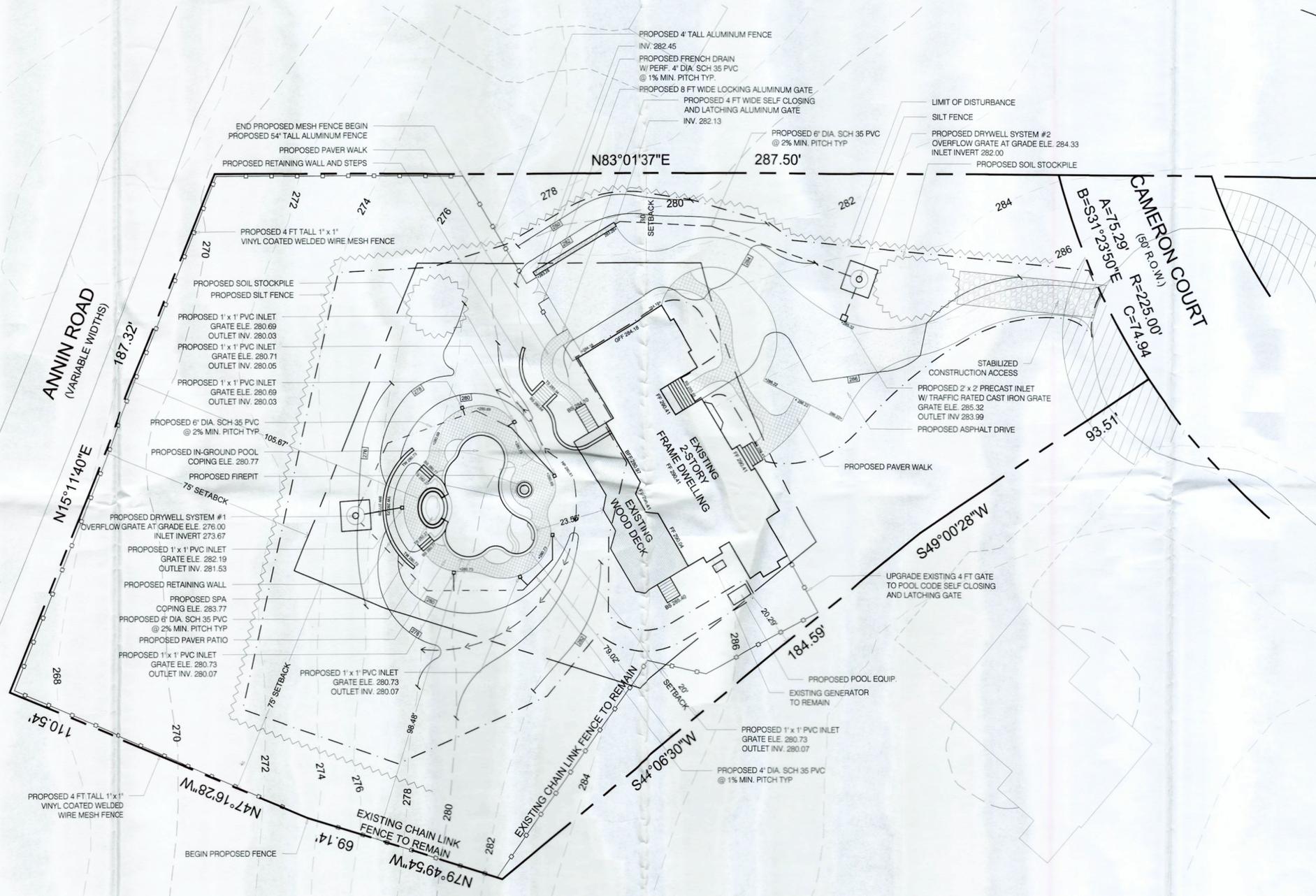
DAVID E. FANTINA, P. E.

Professional Engineer  
15 Sunset Drive, Bernardsville, NJ 07924

Scale	Date	file	Sheet
AS NOTED	12/28/20	ROSENBLATT.dwg	S1.1

1-18-21	PER COMMENTS OFFERED BY LETTER DATED 1-15-21	DF
Date	Item(s)	By
Revisions		

*(Signature)*  
NJPE Lic#32395

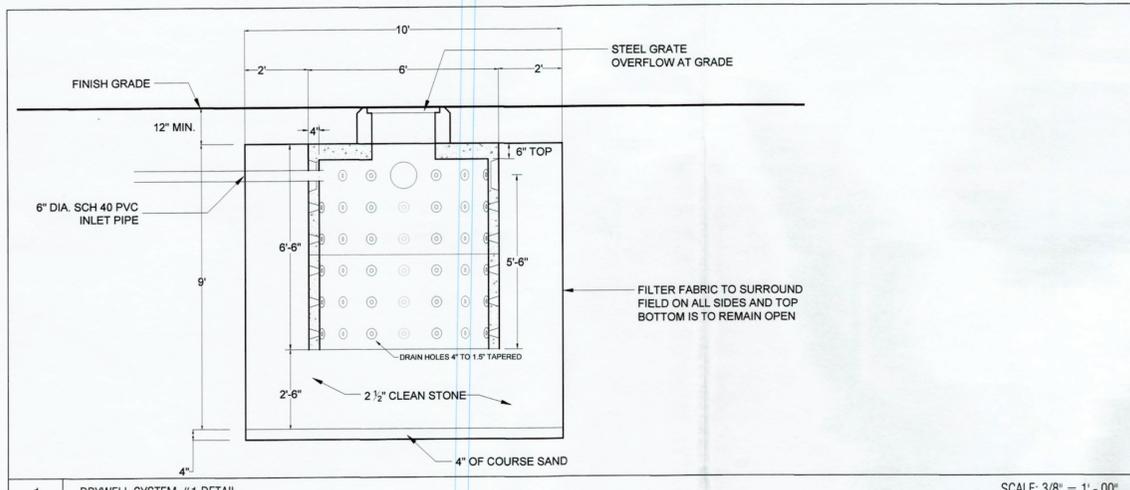


GRADING AND DRAINAGE PLAN  
 LOT 21 in BLOCK 5001  
 #30 Cameron Court, Bernards Township  
 Somerset County New Jersey

**DAVID E. FANTINA, P. E.**  
 Professional Engineer  
 15 Sunset Drive, Bernardsville, NJ 07924

Date	Item(s)	By
1-18-21	PER COMMENTS OFFERED BY LETTER DATED 1-18-21	DF

Scale	Date	File	Sheet
AS NOTED	12/28/20	ROSENBLATT.dwg	S1.2
NJPE Lic#32395			



**1 DRYWELL SYSTEM #1 DETAIL** SCALE: 3/8" = 1' - 00"

**DRYWELL SYSTEM 1: STORAGE VOLUME CALCULATIONS**  
 DRYWELL SYSTEM IS DESIGNED TO PROVIDE STORAGE FOR A 3" STORM OVER THE 1,831 SF. NET INCREASE OF IMPERVIOUS COVERAGE IN THE REAR YARD LESS THE 871 SF. WATER SURFACE OF THE POOL AND SPA WHICH IS STORMWATER NEUTRAL.

TOTAL REQUIRED STORAGE = 240 FT<sup>3</sup>

DRYWELL SYSTEM TO BE COMPOSED OF A 8' WIDE x 8' LONG x 8' DEEP CLEAN STONE BED WITH 1 - 6'-0" DIAMETER x 5'-6" DEEP (BELOW OVERFLOW) PRECAST CONCRETE SEEPAGE TANK.

DISPLACEMENT VOLUME OF SEEPAGE TANKS:  
 $3.14 \times R^2 \times H = 3.14 \times (3')^2 \times 6 = 169.56 \text{ FT}^3$

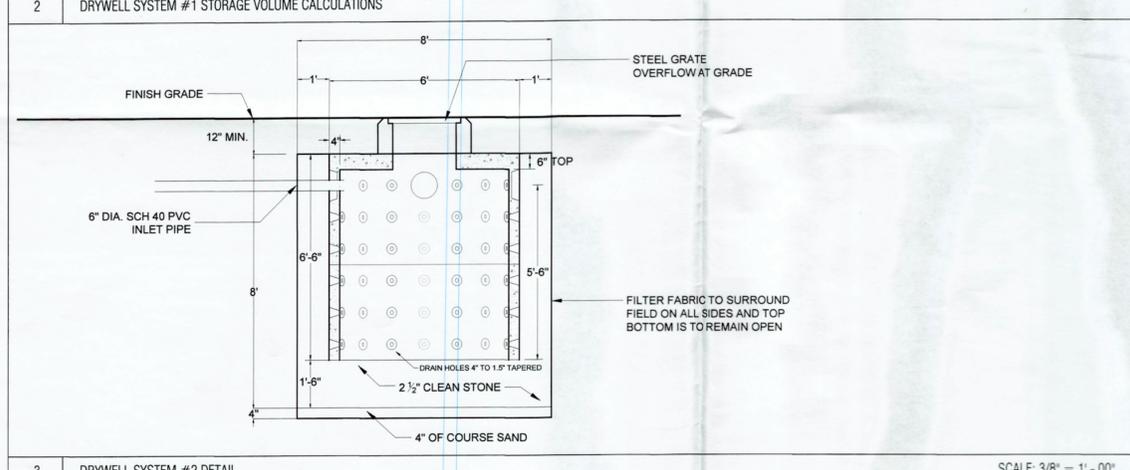
STORAGE VOLUME OF SEEPAGE TANKS:  
 $3.14 \times R^2 \times H = 3.14 \times (2.67')^2 \times 5.5 = 123.12 \text{ FT}^3$

VOLUME OF STONE BED:  
 $L \times W \times H = 8' \times 8' \times 8' = 512 \text{ FT}^3$

STORAGE VOLUME OF STONE BED:  
 (VOL. OF BED - DISP. VOL. OF TANKS) x 40% VOID RATIO  
 $(512 \text{ FT}^3 - 169.56 \text{ FT}^3) \times 40 = 136.97 \text{ FT}^3$

STORAGE VOLUME OF DRYWELL:  
 STORAGE VOL. OF STONE BED + STORAGE VOL. OF TANKS  
 $136.97 \text{ FT}^3 + 123.12 \text{ FT}^3 = 260.09 \text{ FT}^3$

TOTAL STORAGE VOLUME REQUIRED = 240 FT<sup>3</sup>  
 TOTAL STORAGE VOLUME PROVIDED = 260.09 FT<sup>3</sup>  
 SURPLUS VOLUME = 20.09 FT<sup>3</sup>



**2 DRYWELL SYSTEM #1 STORAGE VOLUME CALCULATIONS** SCALE: 3/8" = 1' - 00"

**DRYWELL SYSTEM 2: STORAGE VOLUME CALCULATIONS**  
 DRYWELL SYSTEM IS DESIGNED TO PROVIDE STORAGE FOR A 3" STORM OVER THE 625 SF. NET INCREASE OF IMPERVIOUS COVERAGE IN THE FRONT YARD.

PLEASE NOTE: THE DRAINAGE SYSTEM FOR THE DRIVEWAY HAS BEEN DESIGNED TO COLLECT RUNOFF FROM THE ENTRY COURT AND GARAGE PARKING AREAS. THIS AREA EXCEEDS THE REQUIRED 625 SF NET IMPERVIOUS INCREASE. AS SUCH DRYWELL SYSTEM 1 HAS BEEN OVER DESIGNED TO ACCOMMODATE RUNOFF FROM THE TOTAL AREA COLLECTED.

TOTAL REQUIRED STORAGE = 156.25 FT<sup>3</sup>

DRYWELL SYSTEM TO BE COMPOSED OF A 10' WIDE x 10' LONG x 9' DEEP CLEAN STONE BED WITH 1 - 6'-0" DIAMETER x 5'-6" DEEP (BELOW OVERFLOW) PRECAST CONCRETE SEEPAGE TANK.

DISPLACEMENT VOLUME OF SEEPAGE TANKS:  
 $3.14 \times R^2 \times H = 3.14 \times (3')^2 \times 6 = 169.56 \text{ FT}^3$

STORAGE VOLUME OF SEEPAGE TANKS:  
 $3.14 \times R^2 \times H = 3.14 \times (2.67')^2 \times 5.5 = 123.12 \text{ FT}^3$

VOLUME OF STONE BED:  
 $L \times W \times H = 10' \times 10' \times 9' = 900 \text{ FT}^3$

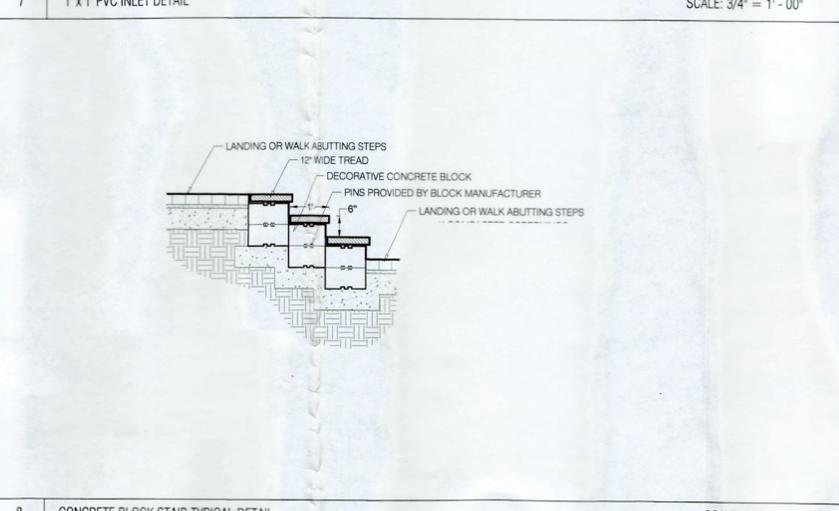
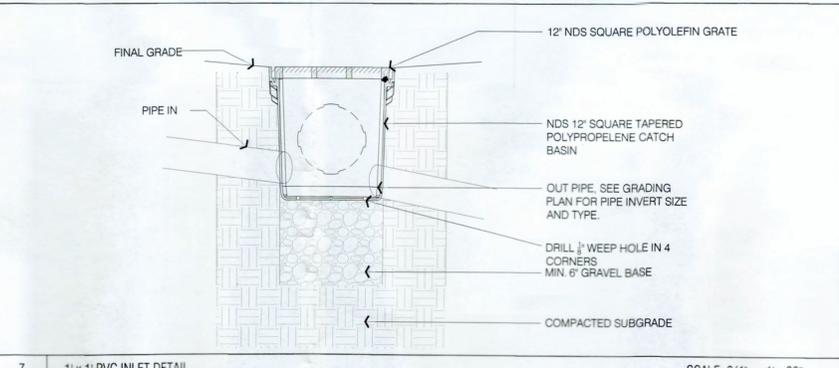
STORAGE VOLUME OF STONE BED:  
 (VOL. OF BED - DISP. VOL. OF TANKS) x 40% VOID RATIO  
 $(900 \text{ FT}^3 - 169.56 \text{ FT}^3) \times 40 = 292.17 \text{ FT}^3$

STORAGE VOLUME OF DRYWELL:  
 STORAGE VOL. OF STONE BED + STORAGE VOL. OF TANKS  
 $292.17 \text{ FT}^3 + 123.12 \text{ FT}^3 = 415.29 \text{ FT}^3$

TOTAL STORAGE VOLUME REQUIRED = 156.25 FT<sup>3</sup>  
 TOTAL STORAGE VOLUME PROVIDED = 415.29 FT<sup>3</sup>  
 SURPLUS VOLUME = 259.04 FT<sup>3</sup>



**3 DRYWELL SYSTEM #2 DETAIL** SCALE: 3/8" = 1' - 00"



**7 1' x 1' PVC INLET DETAIL** SCALE: 3/4" = 1' - 00"

**8 CONCRETE BLOCK STAIR TYPICAL DETAIL** SCALE: 3/4" = 1' - 00"

**Dust Control Notes**

The following methods should be considered for controlling dust:

**Mulches** - See Standard for Stabilization with Mulches Only (pg. 5-1)

**Vegetative Cover** - See Standard for Temporary Vegetative Cover (pg. 7-1), Permanent Vegetative Cover for Soil Stabilization (pg. 4-1), and Permanent Stabilization with Sod (pg. 6-1)

**Spray-On Adhesives** - On mineral soils (not effective on muck soils). Keep traffic off these areas.

**Table 16-1: Dust Control Materials**

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
Anionic asphalt emulsion	7:1	Coarse Spray	1200
Latex emulsion	12.5:1	Fine Spray	235
Resin in water	4:1	Fine Spray	300
Polyacrylamide (PAM) - spray on Polyacrylamide (PAM) - dry spray	Apply according to manufacturer's instructions. May also be used as an additive to sediment basins to flocculate and precipitate suspended colloids. See Sediment Basin standard (pg. 26-1)		
Acidulated Soy Bean Soap Stick	None	Coarse Spray	1200

**Tillage** - To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment which may produce the desired effect.

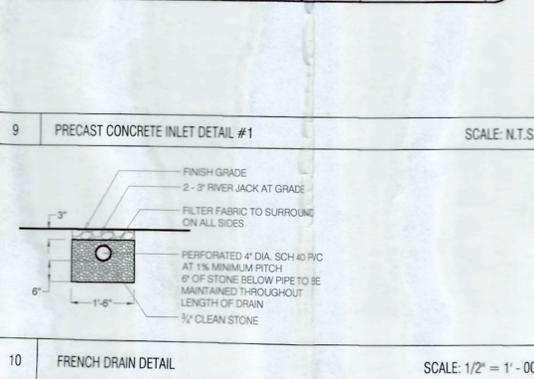
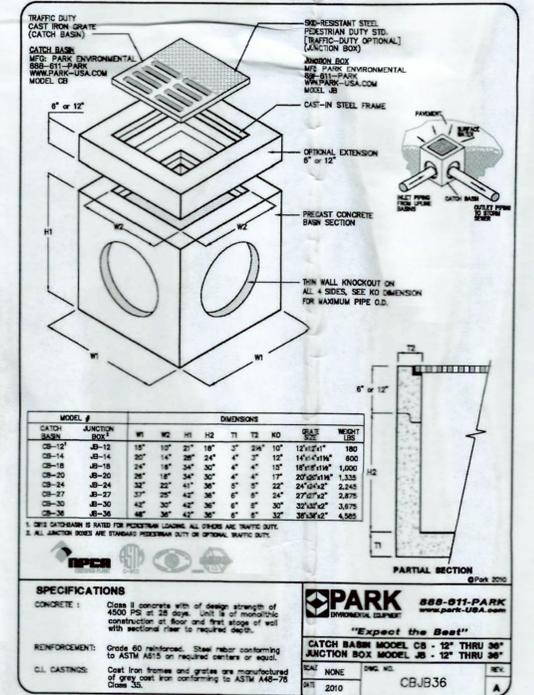
**Sprinkling** - Site is sprinkled until the surface is wet.

**Barriers** - Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar material can be used to control air currents and soil blowing.

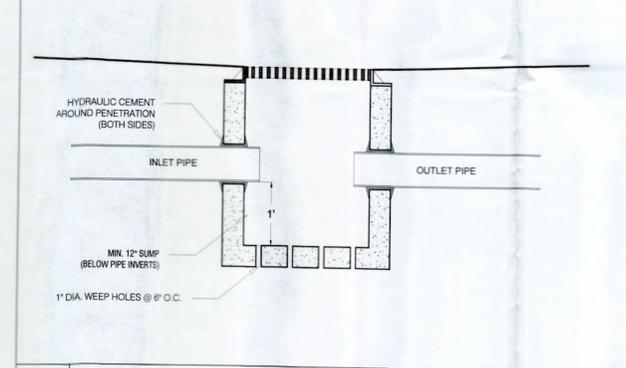
**Calcium Chloride** - Shall be in the form of loose, dry granulates of flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams, or accumulation around plants.

**Stone** - Cover surface with crushed stone or coarse gravel.

Standards for SE&SC in NJ 16-1.2 July 1999



**9 PRECAST CONCRETE INLET DETAIL #1** SCALE: N.T.S.



**11 PRECAST CONCRETE INLET DETAIL #2** SCALE: 3/4" = 1' - 00"

**PROJECT DETAILS**

LOT 37 in BLOCK 9501  
 #22 High Meadow Lane, Bernards Township  
 Somerset County New Jersey

**DAVID E. FANTINA, P. E.**  
 Professional Engineer  
 15 Sunset Drive, Bernardsville, NJ 07924

Scale AS NOTED Date 12/28/20 file ROSENBLATT.dwg Sheet D1.0

1-18-21 PER COMMENTS OFFERED BY LETTER DATED 1-15-21 DF  
 Date Item(s) By