

BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION

Regular Meeting of January 24, 2022-7 pm

The Environmental Commission meeting for January 24, 2022, will be conducted using Zoom Video Conferencing. The public will be able to view the meeting live by clicking on this link at 7:00 PM.

<https://us02web.zoom.us/j/82956402153?pwd=Ml96eU5tOWt5U2xldHhHMjhlZWVhZz09>

Or by calling 1-646-558-8656 and entering Meeting ID: **829 5640 2153** and Passcode:
277364.

Meeting Agenda

- 1. Call to Order**
- 2. Open Public Meeting Statement**
- 3. Flag Salute**
- 4. Roll Call**
- 5. Approval of EC meeting minutes regular – [November 22, 2021](#)**
- 6. Reports and Miscellaneous Correspondence**
 - a. [EcolSciences, Inc.](#) – Application for an Extension of Letter of Interpretation
 - b. [Roux](#) - Freshwater Wetlands Letter
 - c. [Jan 25 GSWA Plant Sale](#) – Jersey Friendly Yard
- 7. Discussion**
 - a. Subcommittees
 - b. Applications
 - c. ANJEC
 - i. Do we do and who will lead
 - d. Native Pollinator Group / Plant Sale
 - e. Charter Day
 - Community Outreach – Tips of the Week
 - f. AmeriCorps Watershed Project
- 8. Old Business**
 - a. Status on Current Projects:
 - i. Public Outreach
 - ii. Liaison – Regional Native Pollinator Working Group – Meeting held 12/9/21
- 9. New Business**
 - a. Applications
 - i. [Birkhold / Kostinas – ZB 21-033 – 33 Springhouse Lane](#) – Addition over existing – Variance for maximum floor area allowed.
 - ii. [Heymann – ZB 21-034 – 24 Woodstone Rd](#) - Maximum lot coverage – Patio & covered breezeway.
 - iii. [Fetchko – ZB 21-035 – 103 Washington Ave](#) - Front yard setback relief for addition.
 - iv. [B3 Church Street LLC – ZB 21-036 – 15 Church Street](#) - Variance to allow (2) Apartments when only (1) is allowed.
 - v. [Faizan / Kirkwood – PB 21-005 – 62/48 Wisteria Way](#) – Amended Prel/Final Subdivision Condition, which resulted in creation of an emergency access easement.

- 10. Comments by Public**
- 11. Comments by Members**
- 12. Adjournment**

Ellen Houlihan, Secretary



Please call (908) 204 - 3000 seventy-two (72) hours in advance if accommodations are required, including assistive listening devices (ALD).



Bernards Township Environmental Commission



BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION MINUTES – November 22, 2021 – 7pm

CALL TO ORDER

called the meeting to order at 7:01 pm via Zoom conference call in accordance with the Open Public Meeting Act of 1975.

FLAG SALUTE

All those assembled saluted the flag.

ROLL CALL

Present: John Crane, Nancy Cook, Debra DeWitt, James LaMaire, Jason Roberts, Alice Smyk, Sarah Wolfson

Absent: Joan Bannan, Jane Conklin, Corey Fischer

Also Present: Kaitlin Cartoccio – Recording Secretary, Sydney Abraham – Americorps Watershed Ambassador.

APPROVAL OF MEETING MINUTES

Motion to approve EC regular meeting minutes – October 25, 2021 by Nancy Cook, second by James LaMaire . All in favor, motion carried.

REPORTS & MISCELLANEOUS CORRESPONDENCE

- a. **Application for NJDEP Freshwater Wetlands General Permit 17 – Fellowship Senior Living**

No comment.

- b. **TWA Application – Braemar**

No comment.

DISCUSSION

- a. **Intro/Americorps Watershed Ambassador – Sydney Abraham**

Sydney is the Americorp Watershed Ambassador. 10-month term of service, assigned to a watershed region, 20 in NJ. Area #6 – mostly Morris County area – Rockaway river, Whippany, Upper Passaic. Water quality monitoring, water assessment, presentations for local groups. Projects that help communities implement best practices for water management. Rain barrel, stream assessments, etc. Nancy Cook asked – how the program is funded. EC would be responsible for materials cost but not the workshop leading. 50% Americorps, 50% NJDEP. Deb DeWitt mentioned issues with Harrison Brook flooding. The Watershed program could help with tree planting or educational awareness campaign for homeowners. Nancy Cook inquired about composting – Sydney replied that if there was link to water quality it could work. Rain barrels – rainwater harvesting barrel. Put it under your downspout and collect water to help mediate flooding. Conversations



Bernards Township Environmental Commission



surrounding a rain barrel workshop for the spring or advertising at Charter Day.

b. 2022 EC Meeting Dates

Deb asked for people to put the EC meetings for 2022 on your calendar. There was also discussion for the December 2021 meeting. The discussion was made to cancel the December 2021 meeting. The EC will discuss in January 2022 about in-person meetings.

OLD BUSINESS

c. Status on Current Projects

i. Public Outreach

Nancy Cook created a one-page flyer on how to recycle batteries. That will be sent out for distribution. Alice Smyk suggested a post on how to properly dispose of Christmas trees.

ii. Pumpkin Smash

Over 150 people and over 80 pumpkins smashed. Nancy Cook, Debra DeWitt, Rachel Talbert from the BT Library and Gabe Troconis from REACH volunteering. Lots of happy pigs at English Farm. Make a note at the Pumpkin Smash location that there will be a Pumpkin Smash there after Halloween.

iii. Farmers Meeting

Deb hosted the meeting. Farmers from all over town attended and spoke on topics like deer and other wildlife management.

iv. Guerilla Gardening

Update on cold sowing seeds.

NEW BUSINESS

a. Applications

i. Faizan – ZB 21-030 62 Wisteria Way – Variance for steep slope disturbance to construct new single-family dwelling.

Jim LaMaire left at 7:58 pm. Sarah Wolfson left 8:03 pm.

For this property, the required improvable lot coverage is a minimum of 25,000 sf. On the form for Dimensional Statistics for Zoning, next to the required improvable lot coverage of 25,000 sf, the existing is listed as 12,866 sf and proposed 20,658 sf. Yet on the Steep Slope map, next to the required 25,000 sf improvable lot coverage, the



Bernards Township Environmental Commission



proposed lists 41,659 sf. The applicant should provide clarity with respect to the two different numbers proposed.

The Environmental Commission notes that due to the site and surrounding topography storm water best management practices should be given extra consideration during site work and as part of final site grading and restoration. In addition, implementation of best management practices to preserve and protect trees during the site work should be considered.

The Commission would ask the Board to remind the applicants that they are virtually at capacity on lot coverage and that any future additions such as patios, sheds, pools or any other impervious surface coverage items would put them over the limit. The Commission suggests they discuss this with the applicant and perhaps the applicant may want to consider reducing the amount of impervious surface coverage.

Regarding this application, the Environmental Commission would like to see a tree removal and replacement plan. Long-term tree survivability should be the goal of any tree replacement plan and native hardwood species should be selected whenever practical.

Regarding this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season, or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.

Motion by Alice Smyk, seconded by Nancy Cook.

All in favor, motion carried.

- ii. **Finley Real Estate LLC – ZB 21-031** – Prelim/final site plan/ “C” variances to make temporary outside dining area & associated structures permanent.

No comment.

Motion by John Crane , seconded by Alice Smyk .

All in favor, motion carried.

- iii. **Liason – Regional Native Pollinator Working Group – next meeting 12/9 at 4 pm via Zoom**

Tabled until January 2022.



Bernards Township Environmental Commission



PUBLIC COMMENT

No comments.

COMMENTS BY MEMBERS

Alice Smyk commented that the EC should consider doing a project with the Watershed Ambassador, especially the rain barrel. Debra DeWitt thanked Jason Roberts for his time on the Environmental Commission. Leave the Leaves project for the future– don't blow the leaves off your yard and haul them off to the landfill. Mulcher. Parks and Rec is doing a Trex Challenge.

ADJOURNMENT

Meeting was adjourned at 8:26 pm. Motion by Jason Roberts, seconded by Debra DeWitt . All in favor, motion carried.

Respectfully submitted,
Kaitlin Cartoccio, Meeting Secretary



Bernards Township Environmental Commission

TO: Zoning Board Chairperson and Members

FROM: Deb Dewitt, Chairperson
Bernards Township Environmental Commission

DATE: December 1, 2021

RE: Applications review

The Environmental Commission reviewed these applications at their November 22, 2021 meeting and forwards the following comments:

Faizan – ZB21-030, 62 Wisteria Way

For this property, the required improvable lot coverage is a minimum of 25,000 sf. On Form F, Dimensional Statistics for Zoning, next to the required improvable lot area of 25,000 sf, the existing is listed as 12,866 sf and proposed **20,658 sf**. Yet on the Steep Slope map, next to the required 25,000 sf improvable lot area, the proposed lists **41,659 sf**. The Board may want to have the applicant provide clarity with respect to the two different numbers proposed.

The Commission notes that due to the site and surrounding topology, storm water best management practices should be given extra consideration during site work and as part of final site grading and restoration.

We ask the Board to remind the applicants that they are virtually at capacity on lot coverage and that any future additions of impervious surface coverage would likely put them over the limit. The applicant may want to consider reducing the amount of coverage to provide relief for future plans.

The Commission notes the lack of a tree removal plan and asks that the applicant discuss with the Zoning Board what trees, if any, will be removed and if any will be replaced. The Commission recommends native hardwood species should be planted whenever practical. Implementation of best practices to preserve and protect existing trees during site work should be considered.

We note from this application an existing pool. Pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.

Finley Real Estate LLC - ZB21-031

The Environmental Commission has no comments on this application.

Cc: David Schley, Township Planner
Cyndi Kiefer, Secretary; for distribution to BOA members



EcolSciences, Inc.

Environmental Management & Regulatory Compliance

November 15, 2021

Ms. Rhonda Pisano, Clerk
Township of Bernards
1 Collyer Lane
Basking Ridge, New Jersey 07920

RECEIVED

NOV 18 2021

BERNARDS TOWNSHIP ENGINEERING

CERTIFIED MAIL

Re: Application for an Extension of Letter of Interpretation: Line Verification
Block 9601, Lot 5.01
Township of Bernards
Somerset County, New Jersey
File No. 1802-05-0008.1

Dear Ms. Pisano:

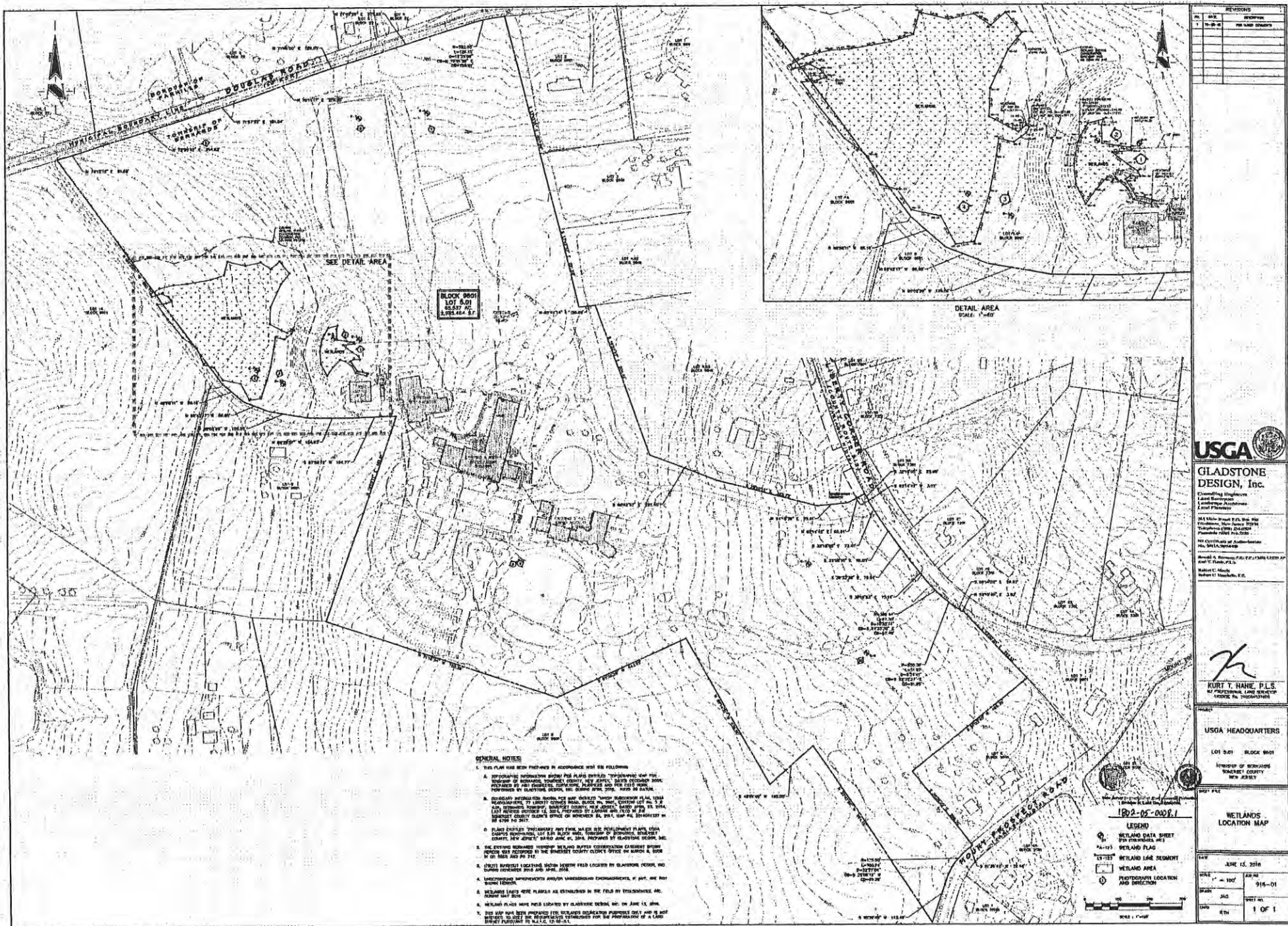
This letter is to inform you that United States Golf Association (USGA) is applying to the New Jersey Department of Environmental Protection, Division of Land Resource Protection for an Extension of a Letter of Interpretation (LOI) for the above-referenced site. A Letter of Interpretation (LOI): Line Verification was issued on December 28, 2016 and classified the wetlands as intermediate and exceptional resource values (File No. 1802-05-0008.1). The NJDEP issued a LOI Clarification on January 10, 2017, which removed the reference to on-site State open waters. The 68.54±-acre parcel is located on Douglas Road and Liberty Corner Road. The property is occupied by the USGA Headquarters and is characterized by upland woodlands, successional field, maintained lawn, and wetlands.

Enclosed, please find a CD containing a complete copy of the application. If you would like a paper copy of the application, please let me know. Below please find the legal notice.

This letter is to provide you with legal notification that an application for an extension of a previously issued letter of interpretation has been submitted to the New Jersey Department of Environmental Protection, Division of Land Resource Protection for the site shown on the enclosed survey.

The complete permit application package can be reviewed at either the municipal clerk's office in the municipality in which the site subject to the application is located, or by appointment at the Department's Trenton Office. The Department of Environmental Protection welcomes comments and any information that you may provide concerning the proposed development and site. Please submit your written comments within 15 calendar days of receiving this letter to:

New Jersey Department of Environmental Protection
Division of Land Resource Protection
P.O. Box 420, Code 501-02A
Trenton, New Jersey 08625
Attention: "Township of Bernards Supervisor"

[illegible]

The logo for the United States Golf Association (USGA), featuring the letters "USGA" in a bold, serif font, with a circular seal to the right containing a golf ball and a golfer.

**GLADSTONE
DESIGN, Inc.**

Consulting Engineers
Land Surveyors
Landscaping Architects
Land Planners

[illegible]

Harold A. Korman; F.R. F.P. F.B.I. 1973 AP
Karl V. Hahn, F.R. F.P.
Robert C. Albrecht
Robert L. Blumhagen, F.R.

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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✓

KURT T. HANE, P.L.S.

77 PROFESSIONAL LAND SURVEYOR
LICENSE NO. 240266037400

10/1/2011

USGA HEADQUARTERS
LOT 5.01 BLOCK 9601

DEPARTMENT OF TREASURY
SOMERSET COUNTY
NEW JERSEY

WETLANDS
LOCATION MAP

APR 13 2016

SCALE 1" = 100'	ACB NO. 915-01
DRAWN JAC	SHEET NO.

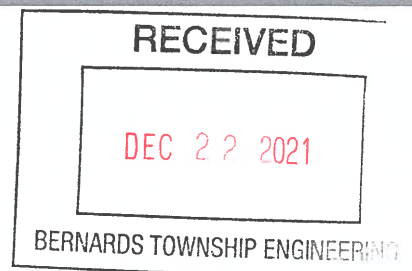
1 OF 1

December 17, 2021

To: Municipal Official, County Official or Property Owner

From: Meredith Harris, Roux Associates, Inc.

Re: Freshwater Wetlands Letter of Interpretation: Presence/Absence Footprint of Disturbance (LOI
P/A FOD) E-Submission
Regarding property at Block 803 Lot 2
Bernards Township, Somerset County, New Jersey



To Whom It May Concern:

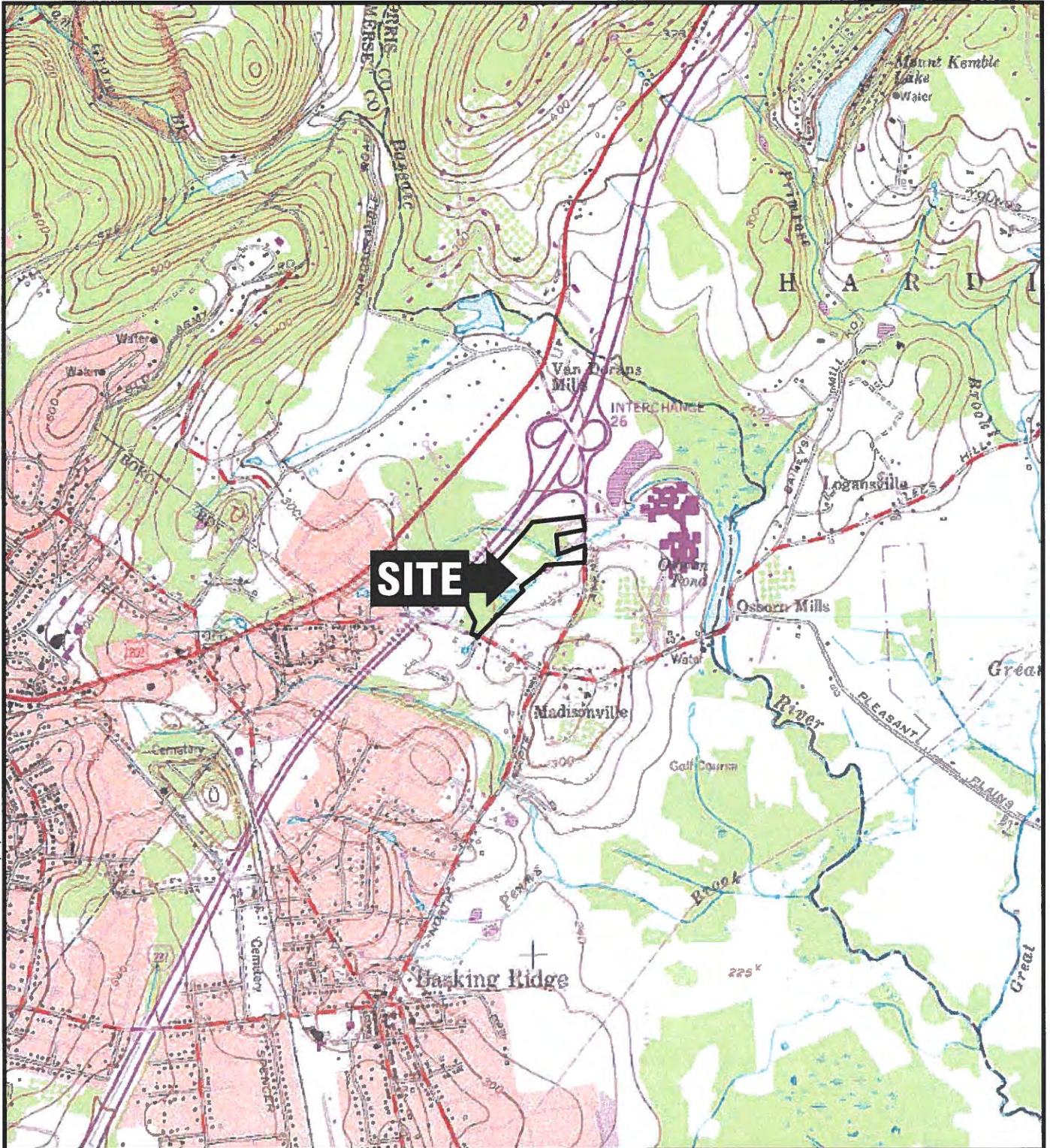
This letter is to provide you with legal notification that an application for letter of interpretation has been submitted to the New Jersey Department of Environmental Protection, Division of Land Use Regulation for the site shown on the enclosed plan(s). A brief description of the proposed project follows: The applicant has submitted to the NJDEP for a Letter of Interpretation: Presence/Absence Footprint of Disturbance to establish the presence or absence of any regulated freshwater wetlands, open waters, or transition areas within the footprint of disturbance on the property above and if freshwater wetlands are present, to identify their resource value. Approval is not being requested for any regulated activities.

The complete permit application package can be reviewed at either the municipal clerk's office in the municipality in which the site subject to the application is located, or by appointment at the Department's Trenton Office. The Department of Environmental Protection welcomes comments and any information that you may provide concerning the proposed development and site. Please submit your written comments within 15 calendar days of receiving this letter to:

New Jersey Department of Environmental Protection
Division of Land Use Regulation
P.O. Box 420, Code 501-02A
Trenton, New Jersey 08625
Attn: The Township of Bernards Supervisor

You can also contact Meredith Harris, acting as an agent for Bohler Engineering at (856) 423-8800 with questions.

Enclosed: Site Location Map



QUADRANGLE LOCATION



NOTES
 EASTING (X): 480483.02
 NORTHING (Y): 688540.20



Title:

SITE LOCATION MAP

300 N MAPLE AVE
 BASKING RIDGE, SOMERSET COUNTY, NEW JERSEY

Prepared for:

VERIZON CORPORATE SERVICES GROUP INC



Compiled by: KAN	Date: 09/03/21
Prepared by: KAN	Scale: AS SHOWN
Project Mgr: KAN	Project: 2578.0028J000
File: F1(AP)	

FIGURE

1



Title: Landscaping for a Healthy Environment – Jersey-Friendly Yards

Date/Time: Tuesday, January 25, 2022, 7 p.m.

Cost: Free. Zoom link with Sign up

Text:

Do you want a Jersey-Friendly Yard?

We believe that by helping you to have a healthy yard, we all are taking one more step towards a healthier environment. During this webinar you will learn how building a Jersey-Friendly Yard creates a healthy foundation of soil, conserves water, attracts and supports wildlife, and adds beauty and interest to your home landscape. Join GSWA and Becky Laboy – from the Ocean County Soil Conservation District and the Jersey-Friendly Yards initiative – for helpful information on how to put these ideas into practice to create a “Jersey-Friendly Yard”. Becky will also discuss great ways to prepare for creating new native beds this spring.

This is GSWA's kickoff webinar (first of three) for our Native Plants for Pollinators Sale happening April 1st-22nd, 2022!

The GSWA Native Plant Sale will offer a full selection of attractively priced native perennials and grasses with simple guidance for planting delightfully alive pollinator gardens that will thrive with minimal care. Contact plantsale@greatswamp.org to request ongoing Native Plants Sale email updates and reminders.

URL/Signup Link: <https://www.greatswamp.org/event/landscaping-for-a-healthy-environment/>
###

Nancy Rago

Membership and Social Media Manager

Great Swamp Watershed Association

The Passaic River WATERKEEPER® ALLIANCE Affiliate

(973) 538-3500, x 11

greatswamp.org



A monarch butterfly with orange and black wings is in flight, positioned in the upper center of the frame. Below it, a dense garden of pink flowers, likely Joe-Pye-weed, fills the foreground and middle ground. In the background, there are green leaves and some yellow flowers, with a blurred view of a house and a fence.

Do you want a Jersey-Friendly Yard?

**Sign up for a FREE Zoom Webinar
on 1/25/22 @ 7 p.m. and
learn how to make your yard work**

12/1 REVISED MAT'Ls

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB21-033 Block: 3901 Lot: 58 Zone: RC-4

Applicant: BIRKHOLD ADAM/KOSTINAK, LAUREN

Address of Property: 33 SPRINGHOUSE LANE

Description: ADDITION OVER EXISTING - VARIANCE
FOR MAXIMUM FLOOR AREA ALLOWED

APPLICATION CHECKLIST

<input checked="" type="checkbox"/>	Original + 16 copies of Application	<input checked="" type="checkbox"/>	Engineering Plan/Plot Plan
<input checked="" type="checkbox"/>	W-9	<input checked="" type="checkbox"/>	Architectural Plans
<input checked="" type="checkbox"/>	Site Visit Consent (A)	<input checked="" type="checkbox"/>	Survey
<input type="checkbox"/>	Ownership Form (B)	<input checked="" type="checkbox"/>	Photographs
<input checked="" type="checkbox"/>	200' Property Search List (C)	<input type="checkbox"/>	Wetlands Report/LOI
<input checked="" type="checkbox"/>	Tax Certification (D)	<input checked="" type="checkbox"/>	Application Fee
<input checked="" type="checkbox"/>	Notice to be Served/Published (E)	<input checked="" type="checkbox"/>	Escrow Deposit
<input checked="" type="checkbox"/>	Dimensional Statistics Form (F)	<input checked="" type="checkbox"/>	Imaging Fee
<input type="checkbox"/>	Contributions Disclosure Form (G)	<input type="checkbox"/>	Tax Map Revision Fee
		<input checked="" type="checkbox"/>	Checklist

SCHEDULING

11.1.21 Original Submission Date
12.16.21 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete
4.15.22 Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
2.9.22 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

11.1.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

Bisogno, Loeffler & Zelle, L.L.C.

Attorneys at Law
88 South Finley Avenue
Post Office Box 408
Basking Ridge, New Jersey 07920

Vincent T. Bisogno

vbisogno@baskingridgelaw.com

Paul H. Loeffler (Member N.J. & N.Y. Bars)

ploffler@baskingridgelaw.com

Frederick B. Zelle (Member N.J. & Pa. Bars)

fzelle@baskingridgelaw.com

Paul D. Mitchell

pmitchell@baskingridgelaw.com

Telephone: (908) 766-6666

Facsimile: (908) 766-7809

November 27, 2021

Ms. Cynthia Kiefer, Administrator
Bernards Township Board of Adjustment
277 South Maple Avenue
Basking Ridge, New Jersey 07920

Via Hand Delivery

Re: Application for Bulk Variance
Applicants: Adam Birkhold and Lauren Kostinas
Tax Block 3901, Lot 58 – 33 Springhouse Lane, Basking Ridge

Dear Ms. Kiefer:

As you may recall, this office represents Adam Birkhold and Lauren Kostinas, the Applicants in the above referenced Application.

In accordance with Mr. Schley's November 2, 2021 completeness memorandum, enclosed herewith please seventeen (17) revised copies of the first page of Mr. Andricsak's plans.

If any additional documentation is needed in order to make this application complete, kindly advise our office accordingly. If not, kindly advise us when the application has been deemed to be complete and of the scheduled hearing date. Needless to say, our client would like to have the application heard as soon as possible.

BIRKHOLD/KOSTINAS RESIDENCE

SECOND FLOOR ADDITION

33 SPRINGHOUSE LANE
BASKING RIDGE, NJ

ZONING & BUILDING DATA:

ADDRESS: 33 SPRINGHOUSE LANE BASKING RIDGE, NJ OWNERS: MR. ADAM BIRKHOLD AND MRS. LAUREN KOSTINAS (609) 577-0838

LOT	58
BLOCK	3901

THE PROPOSED ADDITION IS LOCATED OVER THE EXISTING GARAGE FOOTPRINT AND WILL NOT EXTEND PAST THAT FOOTPRINT.

BUILDING DATA	
CONSTRUCTION CODE	NJ IRC 2018
USE GROUP	R5
CONSTRUCTION CLASSIFICATION	VB
ZONE	RC-4

BULK REQUIREMENTS - ZONE-RC-4

RC-4 ZONE BULK REQUIREMENTS			
CATEGORY	MIN REQ	EXISTING	PROPOSED
MIN LOT WIDTH	125 FT	131 FT	NO CHANGE
FRONT YARD SETBACK	50 FT	±61.55 FT	NO CHANGE
SIDE YARD SETBACK	25 FT	± 33.94 FT	NO CHANGE
REAR YARD SETBACK	50 FT	± 57.66 FT	NO CHANGE
MAX. BLDG HEIGHT	2 1/2 ST (35 FT)	2 1/2 ST (±28'-6")	NO CHANGE
TOTAL LOT COVERAGE	20% X 29,868 SF = (5,973 SF)	21% (± 6478 SF)**	NO CHANGE
FLOOR AREA RATIO	20xLOT WIDTH @ + 10%= 3311 SF	± 3268 SF	± 4033 SF *

FLOOR AREA RATIO CALCULATION

20 x 150'-6" = 3010 SF
3010 SF x 10% = 301 SF
3010 + 301 SF = 3311 SF ALLOWABLE FLOOR AREA
LOT WIDTH 150'-6" TAKEN FROM 61.8FT FRONT YARD BUILDING LINE

* VARIANCE IS REQUIRED FOR THE ADDITIONAL 722 SF OF FLOOR AREA

** EXISTING NON-CONFORMING CONDITION

SQUARE FOOTAGE CALCULATIONS NEW ADDITION ONLY

SECOND FLOOR	765 SF
--------------	--------

VOLUME CALCULATIONS NEW ADDITION ONLY

SECOND FLOOR	± 5,845 CF
ATTIC	± 3,150 CF
TOTAL	± 8,995 CF

Block-Lot: 5502-7

WALL, DAVID JOHN TRUSTEE
40 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 40 SPRING HOUSE LN

Block-Lot: 5502-6

MACEY, JONATHAN & JEANNE
34 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 34 SPRING HOUSE LN

Block-Lot: 5502-5

PECZAK, PAWEŁ & DOROTA SZEWC-
30 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 30 SPRING HOUSE LN

Block-Lot: 5502-4

BRUZZICHESI, ROBERT J & AURORA R A-
20 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 20 SPRING HOUSE LN

Block-Lot: 3901-60

HENCHMAN, RUSSEL & CHRISTINA
41 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 41 SPRING HOUSE LN

Block-Lot: 3901-61

BERNARDS, TOWNSHIP OF
ONE COLLYER LN
BASKING RIDGE NJ 07920
RE: 95 SPRING HOUSE LN

Block-Lot: 3901-59

CIRACO, VITO N & HANNAH M
35 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 35 SPRING HOUSE LN

Block-Lot: 3901-57

YIP, CHEE PUNG & NAN JIANG
2 COOPER LN
BASKING RIDGE NJ 07920
RE: 2 COOPER LN

Block-Lot: 3901-56

MADDALI, SARALA K & KUMAR B
10 COOPER LN
BASKING RIDGE NJ 07920
RE: 10 COOPER LN

Block-Lot: 3901-55

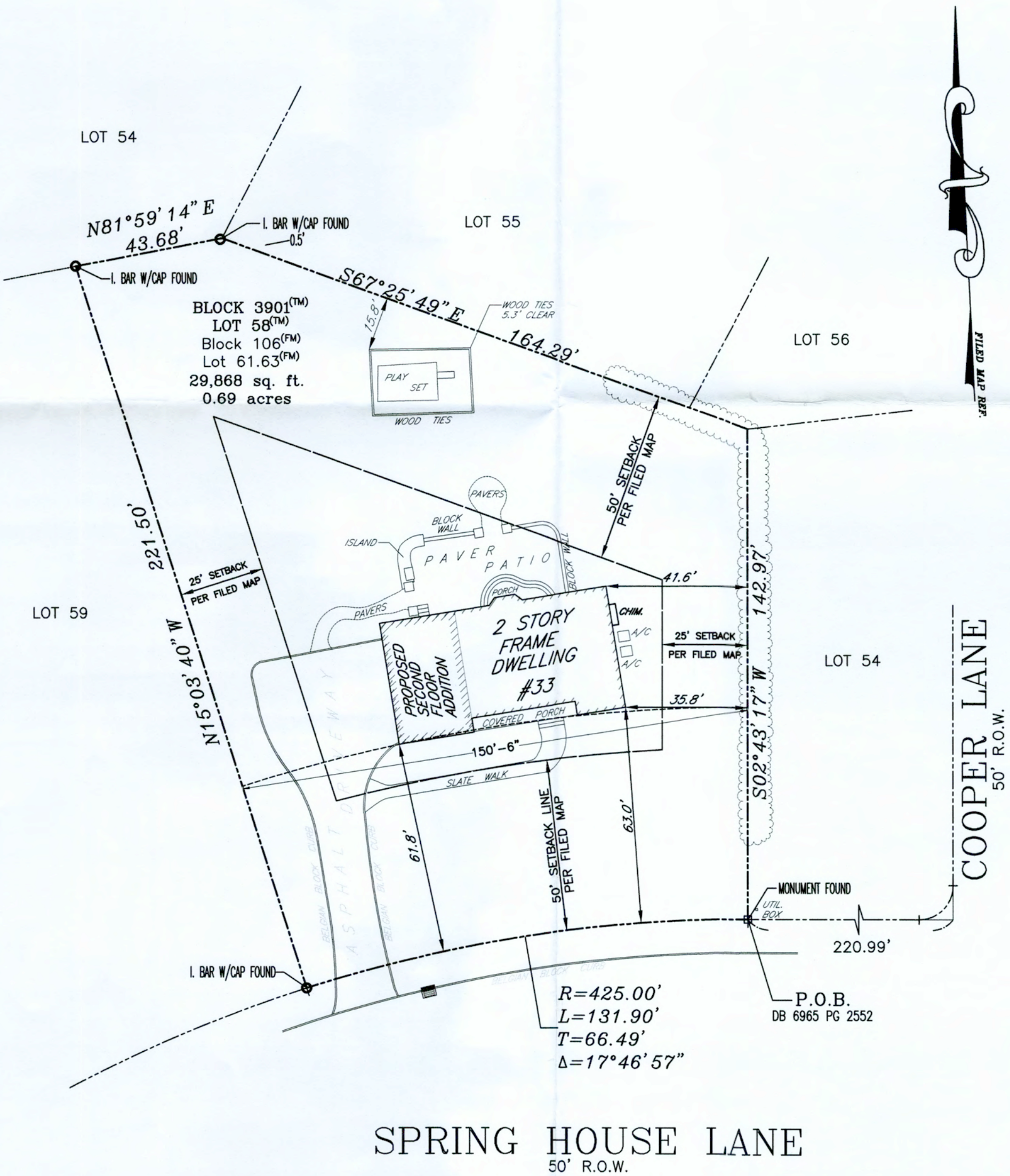
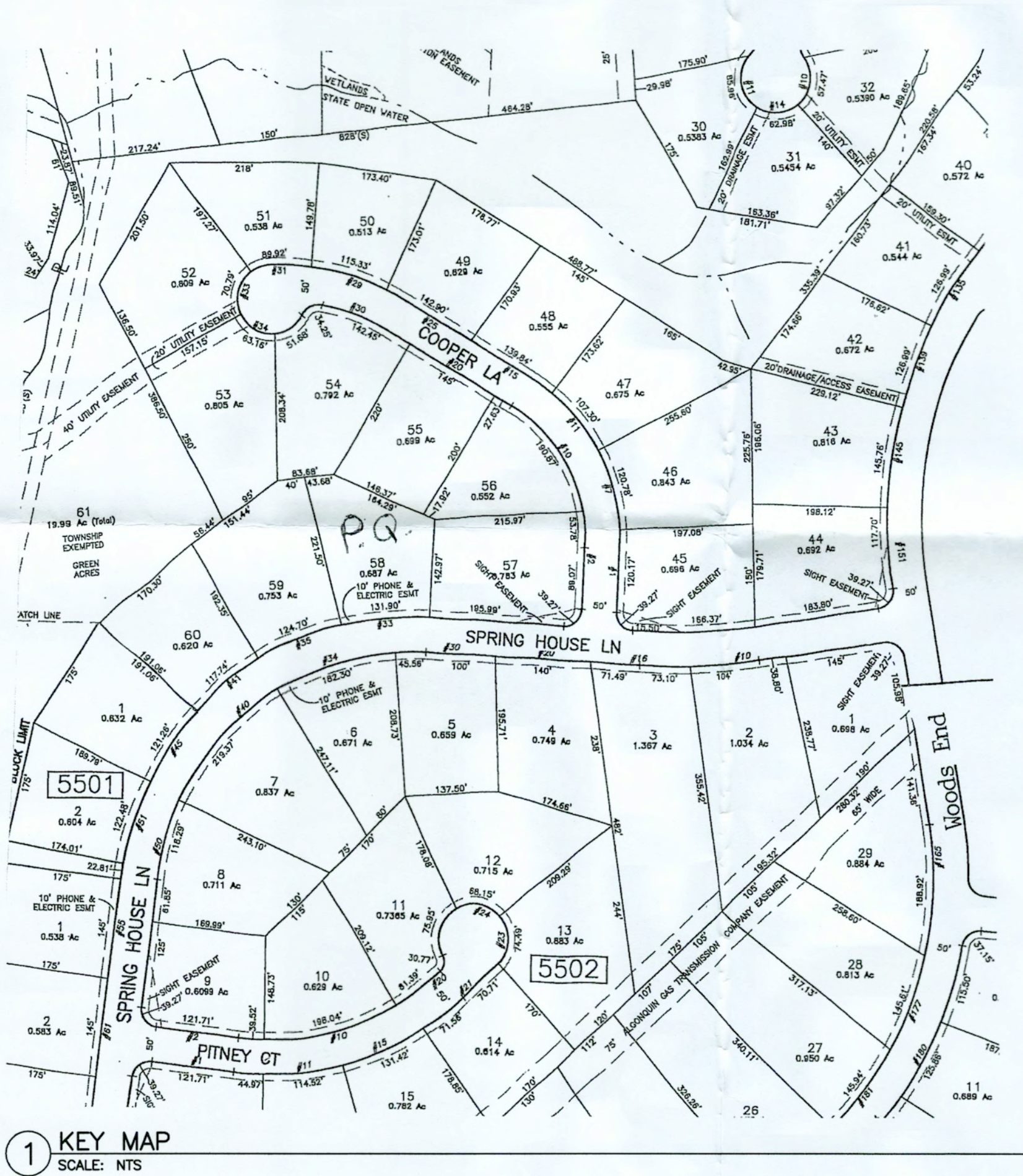
WADEYKA, KAREN A
20 COOPER LN
BASKING RIDGE NJ 07920
RE: 20 COOPER LN

Block-Lot: 3901-54

MICHAEL, KELLY M TRUSTEE
30 COOPER LN
BASKING RIDGE NJ 07920
RE: 30 COOPER LN

Block-Lot: 3901-53

FATELY, ANDREW D & JULIE ANNE
34 COOPER LN
BASKING RIDGE NJ 07920
RE: 34 COOPER LN



② SITE SURVEY
SCALE: 1"=30'

SITE PLAN PROVIDED BY CONTROL LAYOUTS, INC. 271
CLEVELAND AVENUE HIGHLAND PARK, NJ 08904 -
732-846-9100

DRAWING DATE

JUNE 18, 2021 PS

PROJECT NAME

COVER SHEET / ZONING AND BUILDING DATA / DRAWINGS LIST

BIRKHOLD/KOSTINAS ADDITION CS-1.0

SCALE:

1/4"=1'-0"

PROJECT ADDRESS

33 SPRINGHOUSE LANE BASKING RIDGE, NJ

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PLANS, SECTIONS AND DATA SHOWN ARE THE PROPERTY OF D2A ARCHITECTURE AND DESIGN, LLC FOR THEIR USE & SALE AND SHALL NOT BE USED OR

REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF D2A ARCHITECTURE AND DESIGN, LLC.

D2A ARCHITECTURE AND DESIGN, LLC

P.O. Box 578 Martinsville, NJ 08836 Ph: 908-306-9900

DEAN A. ANDRUSAK, AIA, LIC. NO. 21A01416400, RA403956
D2A ARCHITECTURE AND DESIGN, LLC, LIC. NO. 21AC00073300
DEAN A. ANDRUSAK, AIA, LIC. NO. RA403956

REVISIONS:

EC

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB21-033 Block: 3901 Lot: 58 Zone: RC-4

Applicant: BIRKHOLD ADAM/KOSTINAK, LAUREN

Address of Property: 33 SPRINGHOUSE LANE

Description: ADDITION OVER EXISTING - VARIANCE
FOR MAXIMUM FLOOR AREA ALLOWED

APPLICATION CHECKLIST

<input checked="" type="checkbox"/>	Original + 16 copies of Application	<input checked="" type="checkbox"/>	Engineering Plan/Plot Plan
<input checked="" type="checkbox"/>	W-9	<input checked="" type="checkbox"/>	Architectural Plans
<input checked="" type="checkbox"/>	Site Visit Consent (A)	<input checked="" type="checkbox"/>	Survey
<input type="checkbox"/>	Ownership Form (B)	<input checked="" type="checkbox"/>	Photographs
<input checked="" type="checkbox"/>	200' Property Search List (C)	<input type="checkbox"/>	Wetlands Report/LOI
<input checked="" type="checkbox"/>	Tax Certification (D)	<input checked="" type="checkbox"/>	Application Fee
<input checked="" type="checkbox"/>	Notice to be Served/Published (E)	<input checked="" type="checkbox"/>	Escrow Deposit
<input checked="" type="checkbox"/>	Dimensional Statistics Form (F)	<input checked="" type="checkbox"/>	Imaging Fee
<input type="checkbox"/>	Contributions Disclosure Form (G)	<input type="checkbox"/>	Tax Map Revision Fee
		<input checked="" type="checkbox"/>	Checklist

SCHEDULING

11.1.21 Original Submission Date
12.16.21 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete
4.15.22 Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
2.9.22 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

11.1.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

Bisogno, Loeffler & Zelley, L.L.C.

Attorneys at Law
88 South Finley Avenue
Post Office Box 408
Basking Ridge, New Jersey 07920

Vincent T. Bisogno

vbisogno@baskingridgelaw.com

Paul H. Loeffler (Member N.J. & N.Y. Bars)

ploeffler@baskingridgelaw.com

Frederick B. Zelley (Member N.J. & Pa. Bars)

fzelley@baskingridgelaw.com

Paul D. Mitchell

pmitchell@baskingridgelaw.com

Telephone: (908) 766-6666

Facsimile: (908) 766-7809

October 31, 2021

Ms. Cynthia Kiefer, Administrator
Bernards Township Board of Adjustment
277 South Maple Avenue
Basking Ridge, New Jersey 07920

Via Hand Delivery

Re: Application for BulkVariance
Applicants: Adam Birkhold and Lauren Kostinas
Tax Block 3901, Lot 58 – 33 Springhouse Lane, Basking Ridge

Dear Ms. Kiefer:

This office represents Adam Birkhold and Lauren Kostinas, the Applicants in the above referenced Application.

Enclosed herewith please find the following:

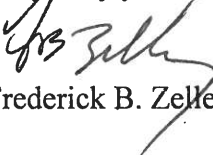
1. Bernards Township Zoning Board of Adjustment Application (O+16)
2. Addendum to Application (O+16)
3. C Variance Checklist (17)
4. Dimensional Statistics Sheet (17)
5. Site Inspection Consent Form (17)

6. Proposed Notice of Hearing (17)
7. 200' Property Owners List (17)
8. Property Tax Certification
9. Copy of Applicants' Deed (17)
10. Site Photographs (# photos) (17 sets)
11. Survey by Control Layouts, Inc. dated 11/10/2020 (17)
12. Architectural Plans by D2A Architecture and Design, LLC (5 Sheets) (17 Sets)
13. Our client's checks in the respective amounts of \$100.00 for the application fees, \$1,500.00 for the escrows and \$25.00 for the document imaging fee.
14. Form W-9

If any additional documentation is needed in order to make this application complete, kindly advise our office accordingly. If not, kindly advise us when the application has been deemed to be complete and of the scheduled hearing date. Needless to say, our client would like to have the application heard as soon as possible.

Thank you for your attention and anticipated continued cooperation in this matter. Should you have any questions or concerns, or if we may otherwise be of any further assistance, please do not hesitate to contact me.

Very truly yours,



Frederick B. Zelley

FBZ/wp

Enclosures

cc: Mr. Adam Birkhold and Ms. Lauren Kostinas

TOWNSHIP OF BERNARDS
2019 ZONING BOARD OF ADJUSTMENT APPLICATION

- | | |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance
<input type="checkbox"/> Use ("d") Variance
<input type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify): _____ |
|--|--|

1. APPLICANT: Adam Birkhold and Lauren Kostinas

Address: 33 Springhouse Lane, Basking Ridge, New Jersey 07920

Phone: (home) _____ (work) _____ (mobile) (609) 577-0838

Email (will be used for official notifications): abirkhold@adambirkholdlaw.com lauren.birkhold@gmail.com

2. OWNER (if different from applicant): (Same as applicant)

Address: _____

Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: Frederick B. Zelley / Bisogno, Loeffler & Zelley, L.L.C.

Address: 88 South Finley Avenue, P.O. Box 408, Basking Ridge, New Jersey 07920

Phone: (908) 766-6666 Email (will be used for official notifications): fzelley@baskingridgelaw.com

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: Dean A. Andricsak Profession: Architect

Address: D 2 Arichitecture, P.O. Box 578 Martinsville, New Jersey 08836

Phone: (908) 306-9900 Email (will be used for official notifications): dean@d2adesign.com

5. PROPERTY INFORMATION: Block(s): 3901 Lot(s): 58 Zone: RC-4

Street Address: 33 Springhouse Lane Total Area (square feet/acres): 29,868sf / .69ac

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) _____

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

[✓] No [] Yes (if yes, explain and attach copy) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: _____

Property hosts a single family residence with no accessory buildings. Proposal is to add a second story above the existing garage, with no change in the footprint of the home. This would increase the floor area from 3,268 sf to 4,033 sf where only 3,439 sf is permitted. The proposed addition would host two new bedrooms with full baths and a TV Lounge area with wet bar.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.): _____

Please see Addendum

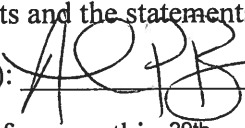

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION: _____

Please see Addendum

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Adam Birkhold and Lauren Kostinas hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s):  and 

Sworn and subscribed before me, this 29th day of September, 2021.

Frederick B. Zelley, Attorney at Law of the State of New Jersey

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 2019.

Notary

ADDENDUM TO BOARD OF ADJUSTMENT APPLICATION

Applicants: Adam Birkhold and Lauren Kostinas

Property: Tax Block 3901, Lot 58 – 33 Springhouse Lane, Basking Ridge

The following are responses to the respective Application Items noted “Please see Addendum”:

10. [Description of Requested Variances or Exceptions]

This is an application for a variance for excessive floor area in a single family residence. The operative section of the zoning ordinance is Section 21-32.3 (“Maximum Floor Area”). A variance from a maximum floor area ordinance is a “C” bulk variance, not a “D-4” use variance for excessive floor area *ratio*. See Rumson Est. v. Mayor Fair Haven, 177 N.J. 338 (2003), and Sections 35-1.2 and 35-2 of Cox.

With the exception of the aforementioned variance, the Applicant believes that no other variance, waiver or exception is required in order to grant the approval requested. However, if the Board directs that additional variance(s), waiver(s) or exception(s) is/are needed, the Applicant may seek the same in accordance with such direction.

11. [Arguments in Support of Application]

The subject property is part of the Prince Edward Pointe section of the Township, which was developed in the late 1980s. It is in the RC-4 Residential Cluster Zone. Most of the homes in the neighborhood, when initially constructed, were of similar size and structure. Various roof designs, exterior materials and other architectural features were implemented to achieve variety/diversity in curb appearance, but the basic design and size of the homes were similar. The lot sizes in the neighborhood, however, vary significantly, from just over a half acre to in excess of an acre. This disparity in lot sizes imposes a hardship upon the owners of the smaller lots, as they are unable to expand their homes in the same fashion as can their neighbors with larger lots, even though they have similar homes. At less than 0.7 acres, the subject property is among the smaller of the neighborhood’s lots.

The variance requested can be classified as a “C-1” variance, based upon the hardship created by the smaller size of the Applicants’ lot compared with other lots in neighborhood with similar homes.

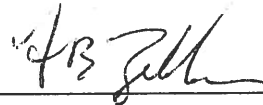
The variance can also be classified as a “C-2” “flexible C” variance, in that the purposes of the Municipal Land Use Law, N.J.S.A. 40:55D-1, *et seq.*, would be advanced by a deviation from the zoning ordinance requirements and the benefits of the deviation would substantially outweigh any detriment. The proposed modification of the Applicants’ home would assist in conserving

property values in the neighborhood as whole, which remains a purpose of land use regulation even though that goal is not expressly stated in N.J.S.A. 40:55D-2. Home Builders League of S. Jersey, Inc. v. Township of Berlin, 81 N.J. 127, 144-45 (1979). The proposed addition is also designed to preserve light, air and open space by not enlarging the footprint of the home and only modestly increasing its height, in satisfaction of purpose “c” of the MLUL. The addition is further designed to promote a desirable visual environment through creative development techniques and good civic design and arrangement, which satisfies purpose “i” of the MLUL.

The Negative Criteria are also satisfied, as the variance can be granted without substantial detriment to the public good and without substantial impairment of the intent and the purpose of the zone plan and zoning ordinance. Numerous homes in the Applicants’ neighborhood have been expanded without converting them into “monster homes”, which maximum floor area ordinances are designed to prevent. See Rumson Est., supra. The Applicants’ proposed expansion will not enlarge the home’s footprint and therefore will not increase impervious coverage. The expansion will also not cause significantly increased massing, particularly from the most important street perspective, as it is being accomplished by simply raising the existing roofline of the garage portion of the home. Moreover, the proposed inclusion of windows on the gable end directly facing the street, and windowed dormer features on the less visible side facade, would soften any massing effect.

Respectfully Submitted,

BISOGNO, LOEFFLER & ZELLEY, LLC

A handwritten signature in dark ink, appearing to read "FB Zelley", is written over a horizontal line.

By: Frederick B. Zelley, Esq.
Attorneys for the Applicants
Adam Birkhold and Lauren Kostinas

Dated: October 28, 2021

Adam Birkhold and Lauren Kostinas
Tax Block 3901, Lot 58 – 33 Springhouse Lane, Basking Ridge

APPENDIX D, ARTICLE III

Checklist

Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	X		
2	A certificate from the tax collector indicating that taxes are paid.	X		
3	All required application and escrow deposit fees.	X		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	X		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	X		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.			X (no footprint change proposed)
7	Calculations of existing & proposed lot coverage percentages.			X (no change in coverage proposed)
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	X		
9	Photographs of the property in the location of the proposed improvements.	X		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.			X (no change in footprint proposed)
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		X	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		X	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.			X (no site work proposed)

Adam Birkhold and Lauren Kostinas
Tax Block 3901, Lot 58 – 33 Springhouse Lane, Basking Ridge

DIMENSIONAL STATISTICS


	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000 SF	29,868 SF	NO CHANGE
LOT WIDTH	125 FT	131.9 FT	NO CHANGE
FRONTAGE	50 FT	131 FT	NO CHANGE
FRONT YARD SETBACK	50 FT	+/- 61.55 FT	NO CHANGE
REAR YARD SETBACK	50 FT	+/- 57.66 FT	NO CHANGE
COMBINED SIDE YARD	N/A	+/- 83.94 FT	NO CHANGE
SIDE YARD	25 FT	+/- 33.94 FT	NO CHANGE
COVERAGE	20% (5,973 SF)	15.8% (+/-4740 SF)	NO CHANGE
HEIGHT	2.5 ST (35 FT)	2.5 ST (+/- 28'-6")	NO CHANGE
IF REQUIRED, GROSS FLOOR AREA	NOT REQ'D.		
IF REQUIRED, FLOOR AREA RATIO	3,439 SF	+/- 3268 SF	+/- 4033 SF
IF REQUIRED, IMPROVABLE LOT AREA	N/A		

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: Adam Birkhold and Lauren Kostinas Application: Bulk Variance
Block: 3901 Lot: 58 Street Address: 33 Springhouse Road

I, Adam Birkhold and Lauren Kostinas, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection shall be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 9/29/2021
Adam Birkhold

Signature:  Date: 9/29/2021
Lauren Kostinas

NOTICE OF PUBLIC HEARING
BERNARDS TOWNSHIP BOARD OF ADJUSTMENT

YOU ARE HEREBY NOTIFIED that the undersigned Applicant has filed an application with the Bernards Township Board of Adjustment for variance relief relative to the Applicant's property known as Tax Block 3901, Lot 58, 33 Springhouse Lane, Basking Ridge, which is located in the RC-4 Residential Zone.

The Applicants propose to add a second story above their existing garage, with no change in the footprint of the home. The proposed addition would host two new bedrooms with full baths and a TV Lounge area with wet bar. This would increase the floor area from 3,268 sf to 4,033 sf where only 3,439 sf is permitted. Approval will require a variance for excessive floor area in a single family residence.

With the exception of the aforementioned variances, the Applicant believes that no other variance, waiver or exception is required in order to grant the approvals requested. However, if the Board of Adjustment directs that additional variance(s), waiver(s) or exception(s) is/are needed, the Applicant may seek the same in accordance with such direction.

A copy of the proposed plans and application are on file with the Secretary to the Board of Adjustment and are open for inspection during regular business hours at the office of said Secretary, which is located at 277 South Maple Avenue, Basking Ridge, New Jersey.

The application will be considered by the Bernards Township Board of Adjustment on Wednesday, _____, 20____ at 7:30 p.m. at the Bernards Township Municipal Building, Courtroom, 1 Collyer Lane, Basking Ridge, New Jersey 07920. A hearing will be held by the Board at that time during which members of the public will be heard on the matter. The public will also be able to view the meeting live on Optimum/Cablevision TV - Channel 15 and Verizon FIOS TV - Channel 35. The meeting will also be streamed live for those interested in watching on their computers. The link will be available at 7:30 PM by clicking on the "Watch the Meeting Live" icon on the Bernards Township homepage. Any interested party may participate in said hearing in accordance with the rules of the Board of Adjustment.

Adam Birkhold and Lauren Kostinas /s/

Dated: October 31, 2021

Submitted by:
Frederick B. Zelle, Esq.
Bisogno, Loeffler & Zelle, L.L.C.
88 South Finley Avenue
P.O. Box 408
Basking Ridge, New Jersey 07920
(908) 766-6666 / FAX: (908) 766-7809
Email: fzele@baskingridgelaw.com



OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE

BASKING RIDGE, NJ 07920

(908) 204-3082 Fax (908) 766-1644

*** 200 Foot Property Search ***

** VALID FOR 90 DAYS **

Date: 09/29/2021

Block: 3901 **Lot(s):** 58 **Qual:**

Property Location: 33 Spring House Ln

Applicant: Frederick B. Zelle, Esq.

Phone : (908) 766-6666 **Fax:** (908) 766-7809 **Email:** fzele@baskingridgelaw.com

PROPERTY OWNER INFORMATION

Name: Adam & Lauren Birkhold

Address: 33 Spring House Ln

City, State, Zip: Basking Ridge, NJ 07920

Due to the location of the referenced
Block and Lot, the following
Fire Company Should be notified:



Liberty Corner Fire Company
P.O. Box 98, Church St.
Liberty Corner, NJ 07938

Search To Be Picked Up

Notify When Complete: Frederick B. Zelle, Esq.
(908) 766-6666

CERTIFIED BY:

David Centrelli, Assessor - Township Of Bernards

Amount Paid: \$10.00

Paid By: Check (No. 14983)

Bernards Township

Parcel Offset List

Target Parcel(s): Block-Lot: 3901-58
BIRK HOLD, ADAM & LAUREN
33 SPRING HOUSE LN

12 parcels fall within 200 feet of this parcel(s).

Block-Lot: 5502-7

WALL, DAVID JOHN TRUSTEE
40 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 40 SPRING HOUSE LN

Block-Lot: 5502-6

MACEY, JONATHAN & JEANNE
34 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 34 SPRING HOUSE LN

Block-Lot: 5502-5

PECZAK, PAWEŁ & DOROTA SZEWC-
30 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 30 SPRING HOUSE LN

Block-Lot: 5502-4

BRUZZICHESI, ROBERT J & AURORA R A-
20 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 20 SPRING HOUSE LN

Block-Lot: 3901-60

HENCHMAN, RUSSEL & CHRISTINA
41 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 41 SPRING HOUSE LN

Block-Lot: 3901-61

BERNARDS, TOWNSHIP OF
ONE COLLYER LN
BASKING RIDGE NJ 07920
RE: 95 SPRING HOUSE LN

Block-Lot: 3901-59

CIRACO, VITO N & HANNAH M
35 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 35 SPRING HOUSE LN

Block-Lot: 3901-57

YIP, CHEE PUNG & NAN JIANG
2 COOPER LN
BASKING RIDGE NJ 07920
RE: 2 COOPER LN

Block-Lot: 3901-56

MADDALI, SARALA K & KUMAR B
10 COOPER LN
BASKING RIDGE NJ 07920
RE: 10 COOPER LN

Block-Lot: 3901-55

WADEYKA, KAREN A
20 COOPER LN
BASKING RIDGE NJ 07920
RE: 20 COOPER LN

Block-Lot: 3901-54

MICHAEL, KELLY M TRUSTEE
30 COOPER LN
BASKING RIDGE NJ 07920
RE: 30 COOPER LN

Block-Lot: 3901-53

FATELY, ANDREW D & JULIE ANNE
34 COOPER LN
BASKING RIDGE NJ 07920
RE: 34 COOPER LN



OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE

BASKING RIDGE, NJ 07920

(908)-204-3082 FAX (908)-766-1644

200 FOOT PROPERTY SEARCH

List of names and addresses of all owners of property as shown on the current tax duplicate located within 200 feet of any part of the property affected by this application. The Township of Bernards accepts no liability for errors hereon. ***The attached list was compiled by the Engineering Department.***

If the property is within 200 feet of an adjoining municipality, the Township Clerk of that municipality should be notified. In addition, the applicant must also obtain the names and addresses of the owners of the land in such adjoining municipalities that are located within 200 feet of the subject premises.

The following is a list of utility companies located within Bernards Township. It is not to be construed as utilities being on or within 200 feet of the property being searched.

- | | | |
|--|---|---|
| 1. ALGONQUIN GAS TRANSMISSION CO
1 Lindbergh Rd
Stony Point, NY 10980
(908) 757-1212 | 6. NEW JERSEY AMERICAN WATER CO
Donna Short, GIS Supervisor
NJ-American Water Company, Inc.
1025 Laurel Oak Rd
Voorhees, NJ 08043 | 10. NEW JERSEY BELL TELEPHONE CO
Edward D. Young III, Secretary
Verizon Legal Dept.
540 Broad St – Room 2001
Newark, NJ 07101
(201) 649-2233 |
| 2. BELL ATLANTIC CORPORATION
Secretary, 46 th Floor
1717 Arch
Philadelphia, PA 19102 | 7. CABLEVISION OF RARITAN VALLEY
275 Centennial Ave; CN6805
Piscataway, NJ 08855
Attn: Margurite Prenderville
Construction Dept | 11. TRANSCONTINENTAL GAS PIPELINE
Division Office
3200 S Wood Ave
Linden, NJ 07036 |
| 3. JCP & L/ GPU
Service Tax Dept
PO Box 1911
Morristown, NJ 07962-1911 | 8. BERNARDS TWP SEWERAGE AUTHORITY
1 Collyer Ln
Basking Ridge, NJ 07920
(908) 204-3002 | 12. VERIZON BUSINESS/MCI
Right of Way Dept.
2400 N Glenville Dr
Richardson, TX 75082 |
| 4. PUBLIC SERVICE ELECTRIC & GAS
Manager – Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102 | 9. ENVIRONMENTAL DISPOSAL CORP
William Halsey, President
601 State Hwy 202/206
Bedminster, NJ 07921
(908) 234-0677 | |
| 5. VERIZON COMMUNICATIONS
Engineering
290 W Mt Pleasant Ave; Ste 1400
Livingston, NJ 07039-2763 | | |

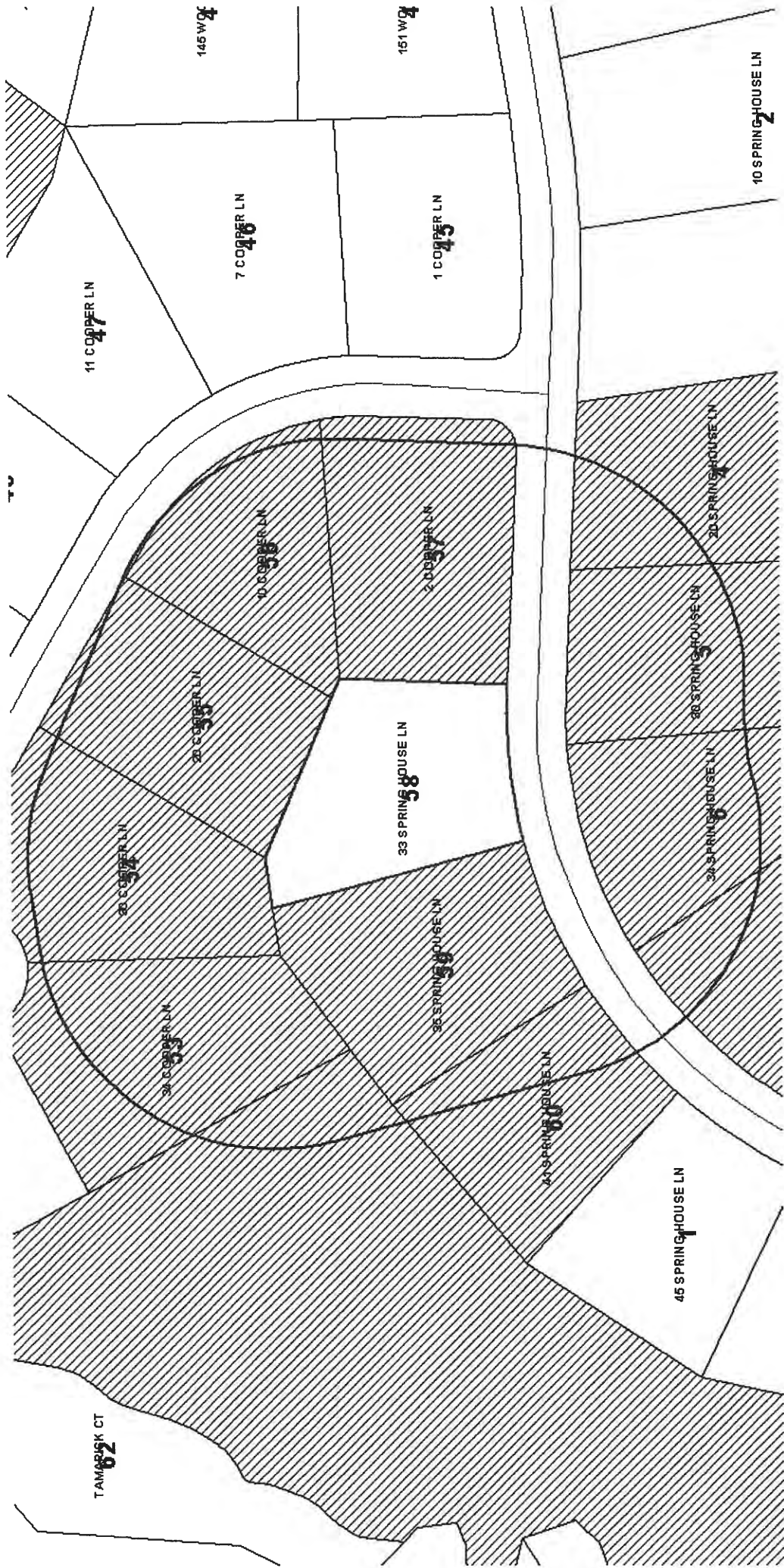
PLEASE NOTE:
Numbers 1,3,4,5 and 7 are
registered with the Township and
REQUIRE NOTIFICATION

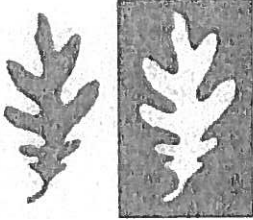
If the property is adjacent to a State Highway, the
COMMISSIONER OF TRANSPORTATION
must be notified at

NEW JERSEY DEPT OF TRANSPORTATION
1035 Parkway Ave., CN600
Trenton, NJ 08625

If the property is adjacent to a County Road, the
SOMERSET COUNTY PLANNING BOARD
must be notified at

SOMERSET COUNTY PLANNING BOARD
PO Box 3000
Somerville, NJ 08876





Township of Bernards

Kevin Sant'Angelo, Tax Collector
1 Collyer Lane, Basking Ridge, NJ 07920
Phone: 908-204-3080; Fax: 908-766-1941; Website: www.bernards.org

September 27, 2021

This is to certify that the property located at Block 3901 Lot 58, otherwise known as 33 Spring House Ln, Basking Ridge, NJ is assessed to Birkhold, Adam & Lauren, and the property taxes are paid current through 3rd Quarter 2021.

Very truly yours,

Kevin Sant'Angelo
Tax Collector



SOMERSET COUNTY
DOCUMENT COVER SHEET

HON. STEVE PETER
SOMERSET COUNTY CLERK
PO BOX 3000
20 GROVE STREET
SOMERVILLE, NJ 08876

WWW.CO.SOMERSET.NJ.US

Steve Peter, County Clerk
Electronically Recorded Somerset County, NJ
2021 Apr 21 12:09 PM
BK: 7334 PGS: 1069-1074
Instrument # 2021025634
Doc Type: DEED Fee: \$93.00
Consideration: \$1,160,000.00
Exemption: No Exemption
RTF: \$11511.00
Total RTF: \$11,511.00 Mansion Tax: \$11,600.00

(Official Use Only)

DATE OF DOCUMENT: 2021-03-22	TYPE OF DOCUMENT: DEED
FIRST PARTY <i>(Grantor, Mortgagor, Seller or Assignor)</i>	SECOND PARTY <i>(Grantee, Mortgagee, Buyer, Assignee)</i>
STEPHEN R. ALLEN	ADAM BIRKHOLO
ADDITIONAL PARTIES:	
CHRISTI M. ALLEN; LAUREN BIRKHOLO A/K /A/ LAUREN KOSTINAS	

THE FOLLOWING SECTION IS REQUIRED FOR DEEDS ONLY	
MUNICIPALITY: Bernards	MAILING ADDRESS OF GRANTEE: 33 SPRING HOUSE LANE BERNARDS, NJ 07920
BLOCK: 3901	
LOT: 58	
CONSIDERATION: 1160000.00	

THE FOLLOWING SECTION IS FOR ORIGINAL MORTGAGE BOOKING & PAGING INFORMATION FOR ASSIGNMENTS, RELEASES, SATISFACTIONS, DISCHARGES & OTHER ORIGINAL MORTGAGE AGREEMENTS ONLY			
BOOK	PAGE	INSTRUMENT #	DOCUMENT TYPE
			DEED

DO NOT REMOVE THIS PAGE
THIS DOCUMENT COVER SHEET IS PART OF THE SOMERSET COUNTY FILING RECORD
RETAIN THIS PAGE FOR FUTURE REFERENCE

BARGAIN AND SALE DEED
WITH COVENANTS AGAINST GRANTOR'S ACTS

This Deed is made on March 22, 2021
 BETWEEN

Stephen R. Allen and Christi M. Allen, husband and wife

whose post office address is
33 Spring House Lane, Basking Ridge (Bernards Township), New Jersey 07920

referred to as the Grantor, and

Adam Birkhold and Lauren Birkhold a/k/a Lauren Kostinas, husband and wife

whose post office address is about to be
33 Spring House Lane, Basking Ridge (Bernards Township), New Jersey 07920

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

1. Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property (called the "Property") described below to the Grantee. This transfer is made for the sum of **One Million One Hundred Sixty Thousand Dollars (\$1,160,000.00)**.

The Grantor acknowledges receipt of this money.

2. Tax Map Reference (N.J.S.A. 46.15-1.1) Township of Bernards
 Block No. 3901 Lot No. 58

3. Property. The Property consists of all that tract or parcel and premises, situate, lying and being in the Township of Bernards, County of Somerset and State of New Jersey, otherwise commonly known as:

33 Spring House Lane, Basking Ridge (Bernards Township), New Jersey 07920

The legal description is:

See attached legal description

BEING the same land and premises which became vested in Stephen R. Allen and Christi M. Allen by Deed from James Parker and Karen A. Parker, h/w, dated September 26, 2016, recorded June 9, 2017 in the Somerset County Clerk/Register's Office in Book 6965, Page 2552.

Subject to covenants, grants, easements and restrictions of record, if any; municipal, county, State, and federal laws or regulations governing the use of the Property; and such state of facts as an accurate survey and inspection of the premises may disclose.

The street address of the Property is:

33 Spring House Lane, Basking Ridge (Bernards Township), New Jersey 07920

Prepared by (Print signer's name below signature)


Nicholas C. Ponzini, Esq.

(For Recorders Use Only)


4. **Promises by Grantor.** The Grantor has done no act to encumber the property. This promise is called a "covenant as to Grantor's acts" (N.J.S.A. §46:4-6). This promise means that the Grantor has not allowed anyone else to obtain legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

5. **Signatures.** The Grantor signs this Deed as of the date at the top of the first page. (Print name below each signature).

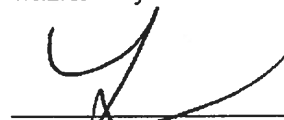
Witnessed By:


LINDA S. BAGDON

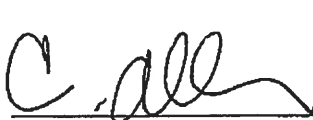
GRANTOR:


Stephen R. Allen

Witnessed By:


LINDA S. BAGDON

GRANTOR:


Christi M. Allen

STATE OF NEW JERSEY, COUNTY OF BERGEN SS:
I CERTIFY that on March 22, 2021

Stephen R. Allen and Christi M. Allen, husband and wife personally came before me and stated to my satisfaction that this person (or if more than one, each person):

- (a) was the maker of the attached instrument; and,
- (b) executed this Deed as his or her own act; and,
- (c) made this Deed for \$1,160,000.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)


LINDA J. BAGDON
NOTARY PUBLIC OF NEW JERSEY
Commission # 60128781
My Commission Expires 6/8/2025

20-062146-L-EW-AFC

RECORD AND RETURN TO
Prestige Title Agency Inc.
130 Pompton Avenue
Verona, New Jersey 07044

GIT/REP-3
(2-21)
(Print or Type)

State of New Jersey Seller's Residency Certification/Exemption

Seller's Information

Name(s)

Stephen R. Allen and Christi M. Allen, husband and wife

Current Street Address

33 Spring House Lane

City, Town, Post Office

Basking Ridge (Bernards Township)

State

NJ

ZIP Code

07920

Property Information

Block(s)

3901

Lot(s)

58

Qualifier

Street Address

33 Spring House Lane

City, Town, Post Office

Basking Ridge (Bernards Township)

State

NJ

ZIP Code

07920

Seller's Percentage of Ownership

100

Total Consideration

\$1,160,000.00

Owner's Share of Consideration

\$1,160,000.00

Closing Date

3/22/21

Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 16 apply to Residents and Nonresidents)

1. ☒ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☐ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☐ Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated Income Tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain.
☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
15. ☐ The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
16. ☐ The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

Date

3/22/21
3/22/21

Date

Signature (Seller)

Indicate if Power of Attorney or Attorney in Fact

Signature (Seller)

Indicate if Power of Attorney or Attorney in Fact

RTF-1EE (Rev. 12/09)
MUST SUBMIT IN DUPLICATE

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY BUYER
(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)
PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM BEFORE COMPLETING THIS AFFIDAVIT.

STATE OF NEW JERSEY } SS County Municipal Code
COUNTY SOMERSET 1802

FOR RECORDER'S USE ONLY
Consideration \$ 1,160,000.00
RTF paid by Buyer \$ 11,600.00
Date 04/21/2021 By VGP

MUNICIPALITY OF PROPERTY LOCATION: Township of Bernards

*Use symbol "C" to indicate that fee is exclusively for county use.

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side)

XXX-XX-X 152
Last 3 Digits in Grantee's Social Security Number

Deponent, RAYMOND LOFFREDO being duly sworn according to law upon his/her oath,
deposes and says that he/she is the Officer of Title Company in a deed dated MARCH 22, 2021 transferring
(Grantee, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)
real property identified as Block number 3901 Lot number 58 located at
33 SPRING HOUSE LANE, BERNARDS and annexed thereto.

(2) CONSIDERATION

\$1,160,000.00

(See Instructions #1, #5 and #11 on reverse side)

Entire consideration is in excess of \$1,000,000:

PROPERTY CLASSIFICATION CHECKED BELOW SHOULD BE TAKEN FROM THE OFFICIAL ASSESSMENT LIST (A PUBLIC RECORD) OF THE MUNICIPALITY WHERE THE REAL PROPERTY IS LOCATED IN THE YEAR THAT THE TRANSFER. REFER TO N.J.A.C. 18:12-2.2 ET SEQ.

(A) When Grantee is required to remit the 1% fee, complete (a) by checking off appropriate box or boxes below

- ☒ Class 2 - Residential ☐ Class 4A - Commercial Properties
(if checked, calculation in (E) required below)
☐ Class 3A- Farm property (Regular) and any other real property transferred to same grantee in conjunction with transfer of Class 3A property ☐ Cooperative unit (four families or less) (See C. 46:8D-3.)
Cooperative units are Class 4C.

(B) Grantee is not required to remit the 1% fee (one or more of following classes being conveyed), complete (b) by checking off appropriate box or boxes below:

☐ Property Class. Circle applicable class(es): 1 3B 4B 4C 15
Property classes: 1-Vacant Land; 3B Farm property (Qualified) 4B-Industrial properties; 4C-Apartments; 15 Public Property, etc. (N.J.A.C. 18:12-2.2 et seq.)

☐ Exempt Organization determined by federal Internal Revenue Service/Internal Revenue Code of 1986, 26 U.S.C. s. 501.

☐ Incidental to corporate merger or acquisition; equalized assessed valuation less than 20% of total value of all assets exchanged in merger or acquisition. If checked, calculation in (E) required and MUST ATTACH COMPLETED RTF-4.

(C) When grantee transfers properties involving block(s) and lot(s) of two or more classes in one deed, one or more subject to the 1% fee (A), with one or more than one subject to the 1% fee (B), pursuant to N.J.S.A. 46:15-7.2, complete (C) by checking off appropriate box or boxes and (D).

☒ Property class. Circle applicable class or class 1 2 3B 4A 4B 4C 15

(D) EQUALIZED VALUE CALCULATION FOR ALL PROPERTIES CONVEYED, WHETHER THE 1% FEE APPLIES OR DOES NOT APPLY

Total Assessed Valuation ÷ Director's Ratio = Equalized Valuation

Property Class	\$	÷	% = \$
Property Class	\$	÷	% = \$
Property Class	\$	÷	% = \$
Property Class	\$	÷	% = \$

(E) REQUIRED CALCULATION OF EQUALIZED CALCULATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS: (See Instructions #6 and #7 on reverse side)

Total Assessed Valuation ÷ Director's Ratio = Equalized Assessed Valuation

\$ ÷ % = \$

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed valuation. If Director's Ratio is equal to or exceeds 100%, the assessed valuation will be equal to the equalized value.

(3) TOTAL EXEMPTION FROM FEE (See Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through Chapter 33, P.L. 2006, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(4) Deponent makes Affidavit of Consideration for Use by Buyer to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith pursuant to the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me
This 21st Day of April, 20 21

Signature of Deponent

33 SPRING HOUSE LANE, BERNARDS

Deponent Address

ADAM BIRK-HOLD

Grantee Name

33 SPRING HOUSE LANE, BERNARDS

Grantee Address at Time of Sale

Prestige Title Agency, Inc.

Name/Company of Settlement Officer

County recording officers: forward one copy of each RTF-1EE to:
STATE OF NEW JERSEY-DIVISION OF TAXATION
PO BOX 251
TRENTON, NJ 08646-0251
ATTENTION: REALTY TRANSFER FEE UNIT

PATRICK BURNS
NOTARY PUBLIC OF NEW JERSEY
Comm. # 50044731
My Commission Expires 8/26/2021

FOR OFFICIAL USE ONLY

Instrument Number _____ County _____
Deed Number _____ Book _____ Page _____
Deed Dated _____ Date Recorded _____



First American Title™

**SCHEDULE A-5
LEGAL DESCRIPTION**

Issuing Office File No. 20-062146-L-EW-AFC-FR

ALL THAT CERTAIN LOT, PARCEL OR TRACT OF LAND, SITUATE, LYING AND BEING IN THE Township of Bernards, IN THE COUNTY OF Somerset, STATE OF NEW JERSEY, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING KNOWN AND DESIGNATED AS LOT 61.63 IN BLOCK 106 AS SET FORTH ON A CERTAIN MAP ENTITLED, "FINAL PLAT, SECTION SEVEN, PRINCE EDWARD POINTE AT TWO BROOKS FARM, TOWNSHIP OF BERNARDS, COUNTY OF SOMERSET, STATE OF NEW JERSEY" SITUATED IN THE TOWNSHIP OF BERNARDS, COUNTY OF SOMERSET, STATE OF NJ, WHICH MAP WAS FILED ON DECEMBER 1, 1986, IN THE SOMERSET COUNTY CLERK'S OFFICE AS MAP NO 2444.

BEGINNING AT A POINT IN THE NORTHERLY SIDELINE OF SPRING HOUSE LANE (50 FOOT WIDE RIGHT OF WAY) SAID POINT BEING DISTANT 220.99 FEET WESTERLY FROM THE INTERSECTION OF THE SAME WITH THE WESTERLY SIDELINE OF COOPER LANE, IF SAID SIDELINES WERE EXTENDED TO FORM AN INTERSECTION, AN RUNNING THENCE

(1) ALONG THE NORTHERLY SIDELINE OF SPRING HOUSE LANE ON A CURVE TO THE LEFT HAVING RADIUS OF 425.00 FEET, AN ARC LENGTH OF 131.90 FEET TO A POINT; THENCE

(2) NORTH 15 DEGREES 03 MINUTES 40 SECONDS WEST 221.50 FEET TO A POINT; THENCE

(3) NORTH 81 DEGREES 59 MINUTES 14 SECONDS EAST 43.68 FEET TO A POINT; THENCE

(4) SOUTH 67 DEGREES 25 MINUTES 49 SECONDS EAST 164.29 FEET TO A POINT; THENCE

(5) SOUTH 02 DEGREES 43 MINUTES 17 SECONDS WEST, 142.97 FEET TO THE POINT AND PLACE OF BEGINNING.

THE ABOVE DESCRIPTION BEING DRAWN IN ACCORDANCE WITH A SURVEY PREPARED BY CONTROL LAYOUTS, INC. DATED 11/10/20.

FOR INFORMATIONAL PURPOSES ONLY: ALSO BEING KNOWN AS TAX LOT 58 IN TAX BLOCK 3901 ON THE OFFICIAL TAX MAP OF THE Township of Bernards, Somerset COUNTY, STATE OF NJ.

FOR INFORMATIONAL PURPOSES ONLY: MAILING ADDRESS IS 33 SPRING HOUSE LANE, BASKING RIDGE, NJ AND THE PROPERTY ADDRESS IS 33 SPRING HOUSE LANE, TOWNSHIP OF BERNARDS, NJ.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its Issuing agent that may be in electronic form.



















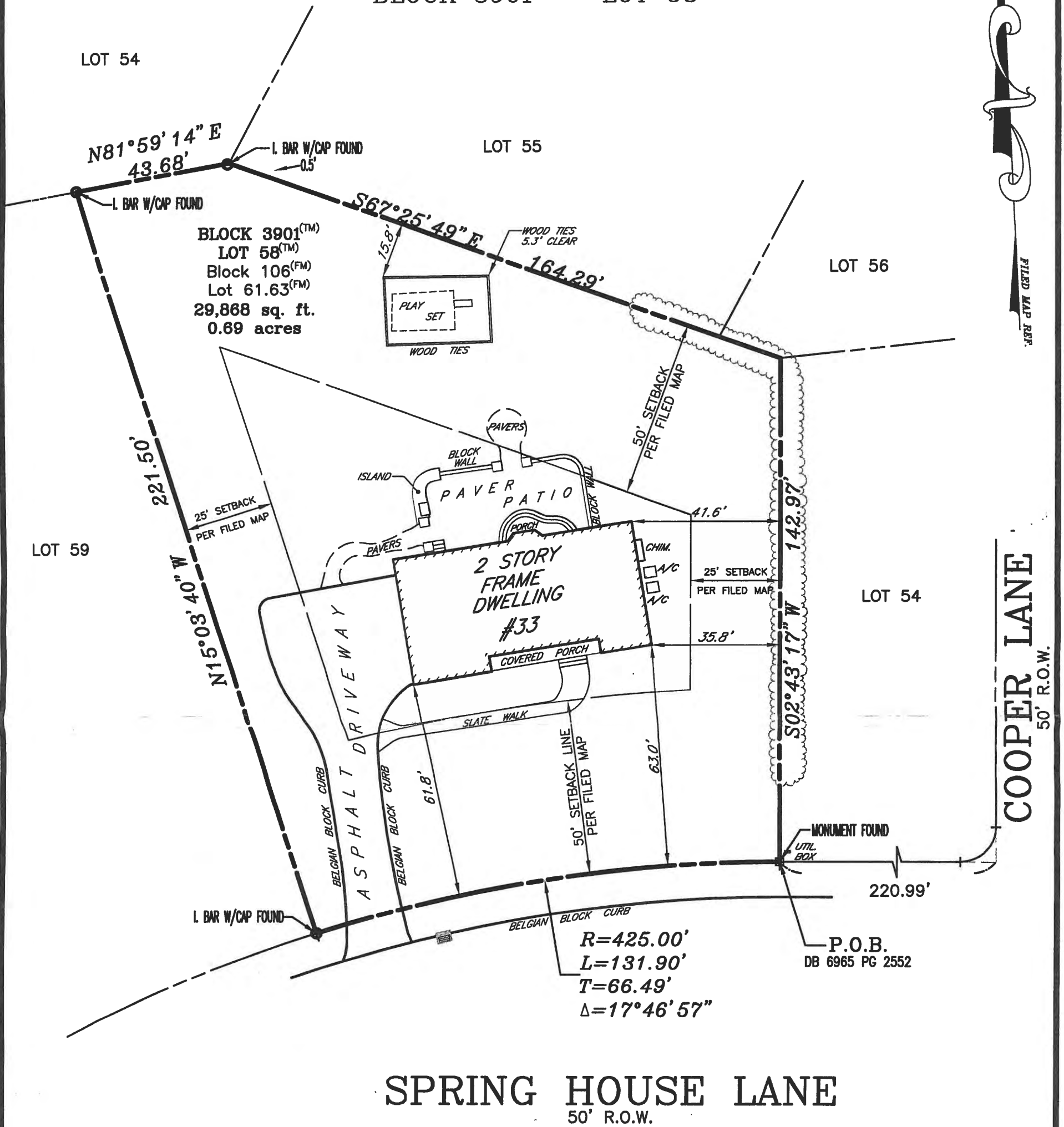






PLAN OF SURVEY ADAM BIRKHOLO & LAUREN BIRKHOLO

SITUATED IN
TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY
BLOCK 3901 LOT 58



THIS CERTIFICATION IS MADE ONLY TO ABOVE NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY ABOVE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

I HEREBY CERTIFY THIS SURVEY TO:

ADAM BIRKHOLO and LAUREN BIRKHOLO a/k/a LAUREN KOSTINAS, husband and wife

KEARNY BANK, its successors and/or assigns as their interest may appear

PRESTIGE TITLE AGENCY, INC. (20-062146)

FIRST AMERICAN TITLE INSURANCE COMPANY

ERIC S. WASSER, ESQUIRE

REFERENCES:

DEED BOOK 6965 PAGE 2552

MAP ENTITLED "FINAL MAP-SECTION SEVEN 'PRINCE EDWARD POINTE AT TWO BROOKS FARM'..."
FILED DECEMBER 19, 1986 AS MAP No. 2444.

"A written Waiver and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to P.L.2003, c.14(C45:8-36.3) and N.J.A.C. 13:40-5.2 (d)."

CONTROL LAYOUTS, INC.

LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #24GA28001900
271 CLEVELAND AVENUE HIGHLAND PARK, N.J. 08904
PHONE (732) 846-9100 FAX (732) 937-5793

DATE: 11/10/20

FILE NO. 946-20

DATE: 11/09/20

SCALE: 1"=30'

FMC

FMC

GREGG A. GARTNEY

NEW JERSEY PROFESSIONAL LAND SURVEYOR #GS43304

BIRKHOLD/KOSTINAS RESIDENCE

SECOND FLOOR ADDITION

33 SPRINGHOUSE LANE
BASKING RIDGE, NJ

& BUILDING DATA:

SPRINGHOUSE LANE OWNERS: MR. ADAM BIRKHOLD AND MRS. LAUREN
BASKING RIDGE, NJ KOSTINAS (609) 577-0838

58
3901

ADDITION IS LOCATED OVER THE EXISTING GARAGE
WILL NOT EXTEND PAST THAT FOOTPRINT.

BUILDING DATA	
CONSTRUCTION CODE	NJ IRC 2018
USE GROUP	R5
USE CLASSIFICATION	VB
ZONE	RC-4

NOTES - ZONE-RC-4

RC-4 ZONE BULK REQUIREMENTS			
	MIN REQ	EXISTING	PROPOSED
MINIMUM LOT WIDTH	125 FT	131 FT	NO CHANGE
MINIMUM SETBACK	50 FT	±61.55 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	25 FT	± 33.94 FT	NO CHANGE
MINIMUM SIDE YARD SETBACK	50 FT	± 57.66 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	2 1/2 ST (35 FT)	2 1/2 ST (±28'-6")	NO CHANGE
MINIMUM FRONT YARD SETBACK	20% X 29,866 SF = (5,973 SF)	15.8% (± 4740 SF)	NO CHANGE
MINIMUM FRONT YARD SETBACK	20xLOT WIDTH + 10%= 3439.32 SF	± 3268 SF	± 4033 SF *

CALCULATION
26.66 SF
= 312.66 SF
F = 3439.32 SF
AREA

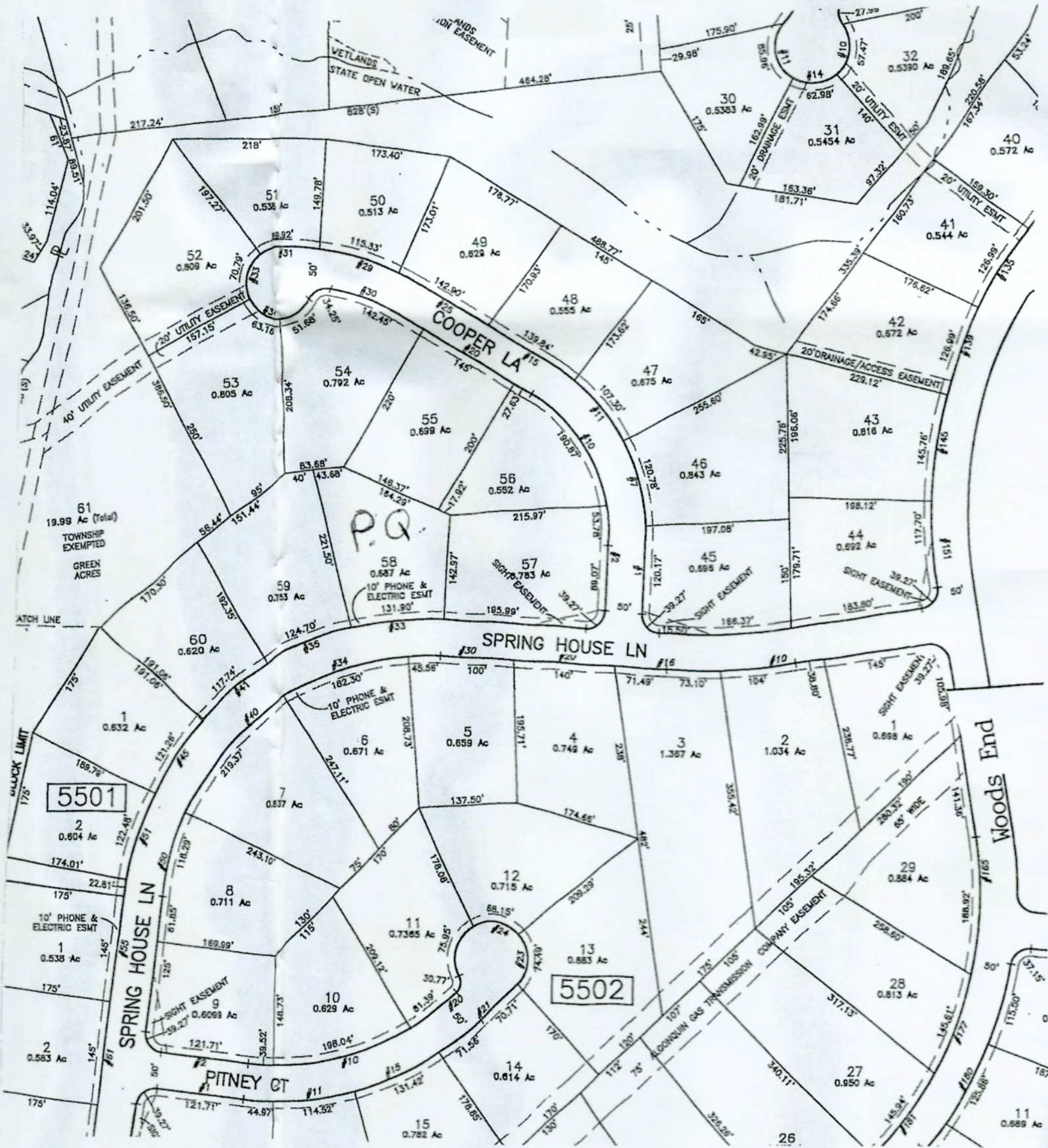
* VARIANCE IS REQUIRED FOR THE
ADDITIONAL 593.68 SF OF FLOOR AREA

STAGE CALCULATIONS NEW ADDITION ONLY	
SECOND FLOOR	765 SF

CALCULATIONS NEW ADDITION ONLY	
SECOND FLOOR	± 5,845 CF
ATTIC	± 3,150 CF
TOTAL	± 8,995 CF

DRAWING LIST:

- CS-1 COVER SHEET / ZONING AND BUILDING DATA / DRAWING LIST
- D-1.0 DEMOLITION PLANS AND DEMOLITION EXTERIOR ELEVATIONS
- A-1.1 FLOOR PLANS AND EXTERIOR ELEVATIONS
- A-1.2 FRAMING PLANS AND WALL SECTION
- A-1.3 STRUCTURAL NOTES / DETAILS / PLUMBING RISER DIAGRAM



1 KEY MAP
NTS

Block-Lot: 5502-7
WALL, DAVID JOHN TRUSTEE
40 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 40 SPRING HOUSE LN

Block-Lot: 5502-6
MACEY, JONATHAN & JEANNE
34 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 34 SPRING HOUSE LN

Block-Lot: 5502-5
PECZAK, PAWEŁ & DOROTASZEWC-
30 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 30 SPRING HOUSE LN

Block-Lot: 5502-4
BRUZZICHESI, ROBERT J & AURORA R A-
20 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 20 SPRING HOUSE LN

Block-Lot: 3901-60
HENCHMAN, RUSSEL & CHRISTINA
41 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 41 SPRING HOUSE LN

Block-Lot: 3901-61
BERNARDS, TOWNSHIP OF
ONE COLLYER LN
BASKING RIDGE NJ 07920
RE: 95 SPRING HOUSE LN

Block-Lot: 3901-59
CIRACO, VITO N & HANNAH M
35 SPRING HOUSE LN
BASKING RIDGE NJ 07920
RE: 35 SPRING HOUSE LN

Block-Lot: 3901-57
YIP, CHEE PUNG & NAN JIANG
2 COOPER LN
BASKING RIDGE NJ 07920
RE: 2 COOPER LN

Block-Lot: 3901-56
MADDALI, SARALA K & KUMAR B
10 COOPER LN
BASKING RIDGE NJ 07920
RE: 10 COOPER LN

Block-Lot: 3901-55
WADEYKA, KAREN A
20 COOPER LN
BASKING RIDGE NJ 07920
RE: 20 COOPER LN

Block-Lot: 3901-54
MICHAEL, KELLY M TRUSTEE
30 COOPER LN
BASKING RIDGE NJ 07920
RE: 30 COOPER LN

Block-Lot: 3901-53
FATELY, ANDREW D & JULIE ANNE
34 COOPER LN
BASKING RIDGE NJ 07920
RE: 34 COOPER LN

DRAWING DATE
JUNE 18, 2021 PS

PROJECT NAME

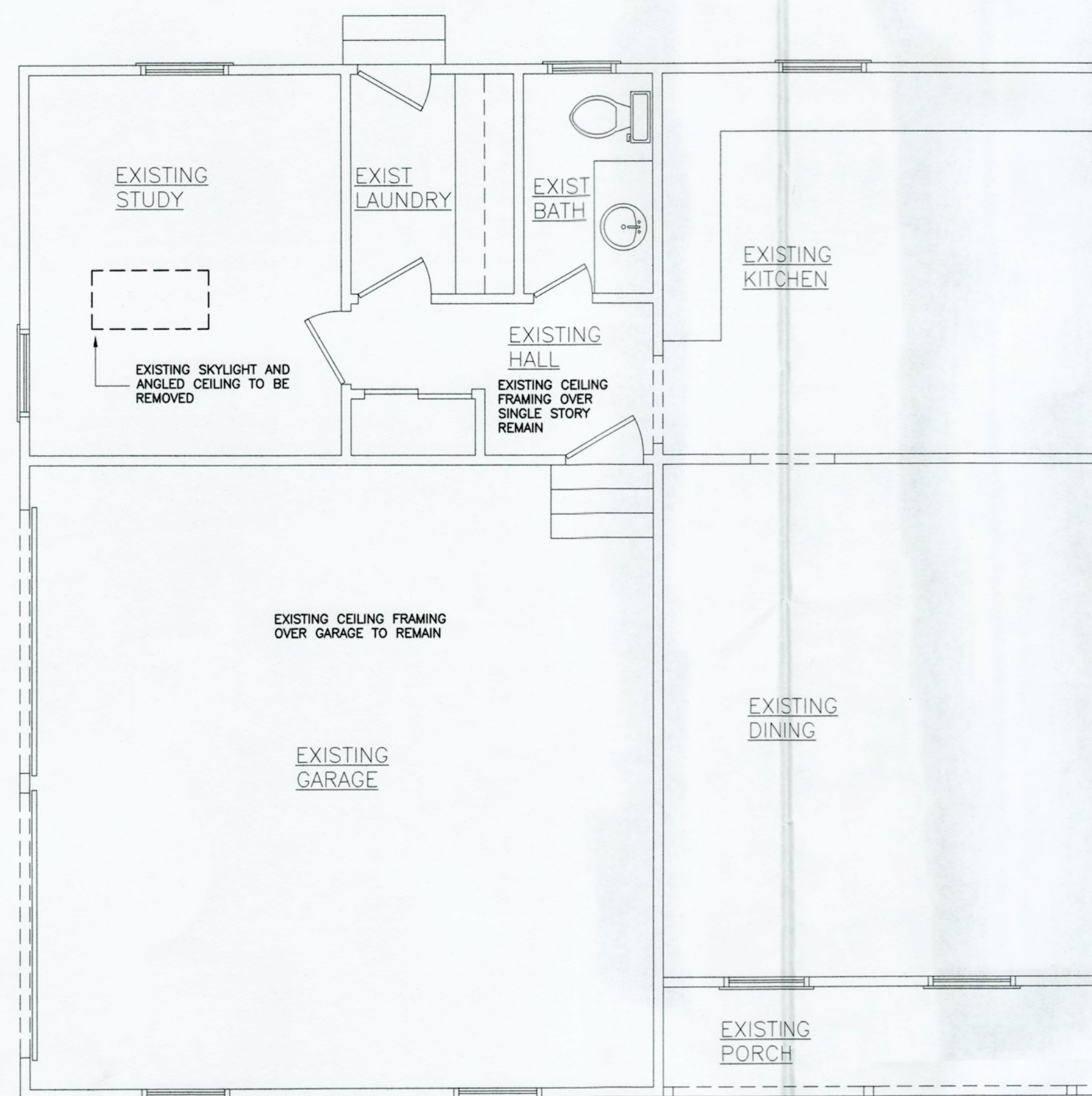
COVER SHEET / ZONING AND BUILDING DATA / D

BIRKHOLD/KOSTINAS ADDITION C

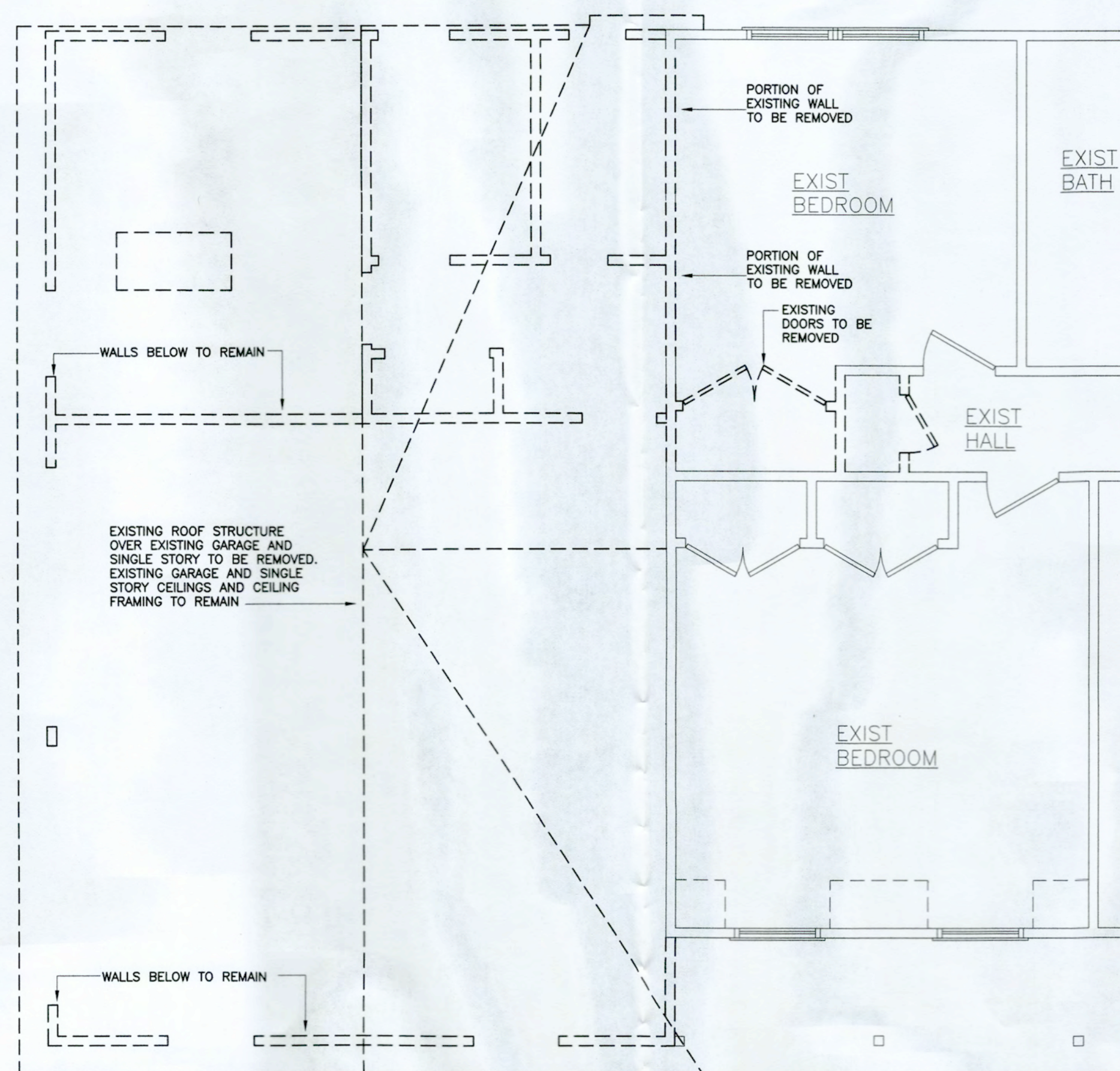
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PROJECT ADDRESS

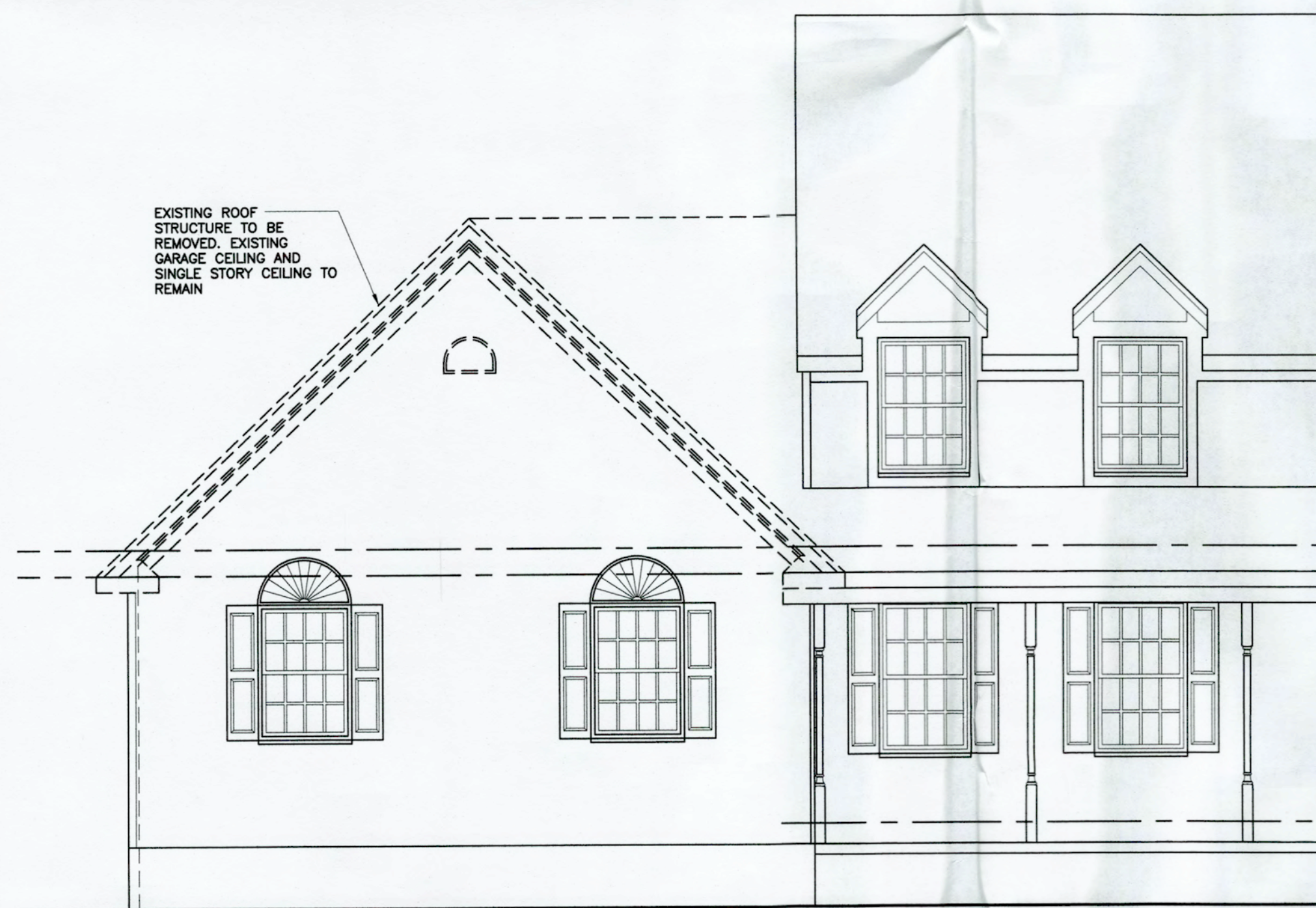
33 SPRINGHOUSE LANE BASKING RIDGE, NJ



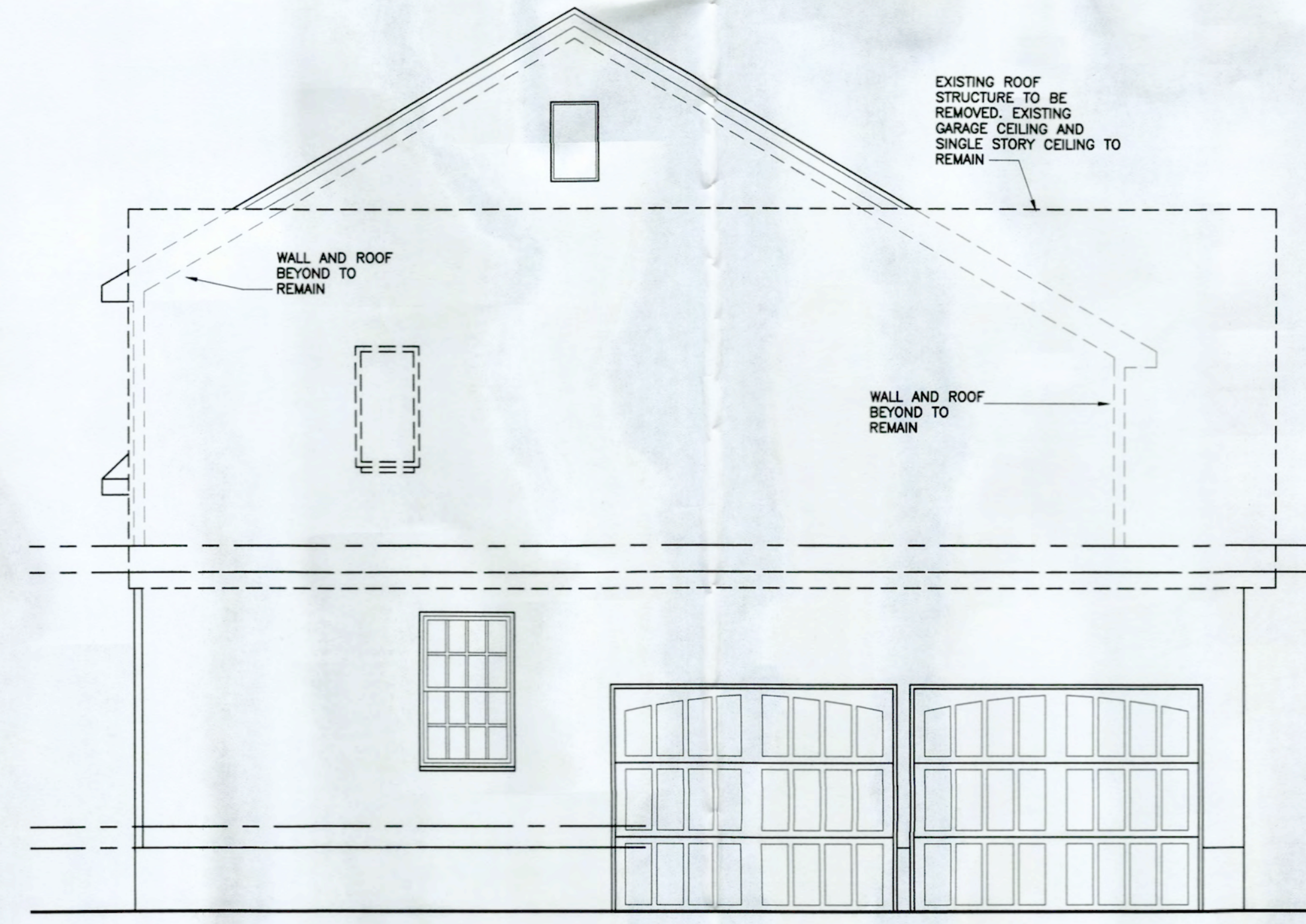
① PARTIAL FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"



② PARTIAL SECOND FLOOR/ROOF DEMOLITION PLAN
SCALE: 1/4"=1'-0"



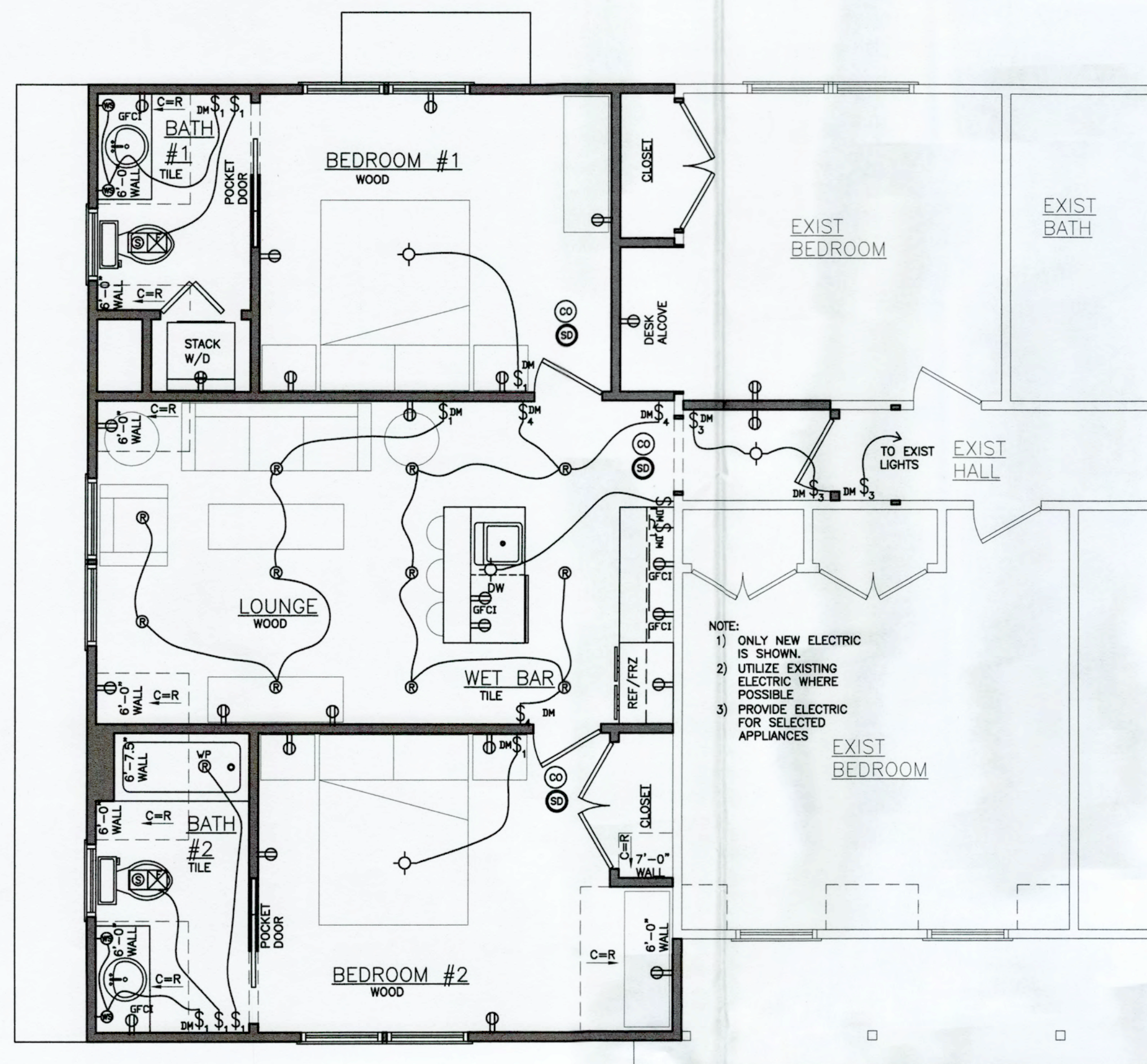
④ PARTIAL FRONT DEMOLITION EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



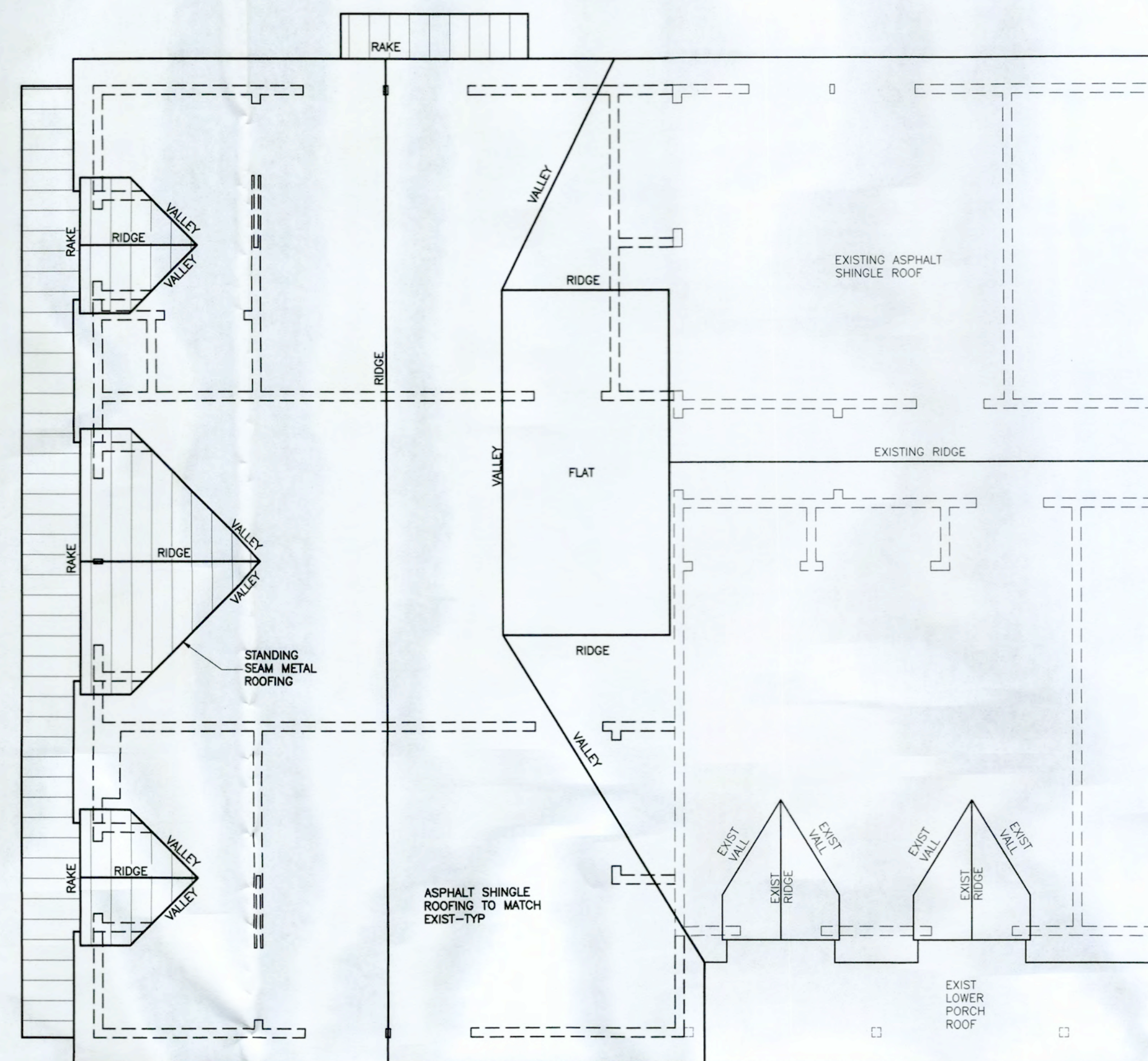
⑤ PARTIAL SIDE EXTERIOR DEMOLITION ELEVATION
SCALE: 1/4"=1'-0"



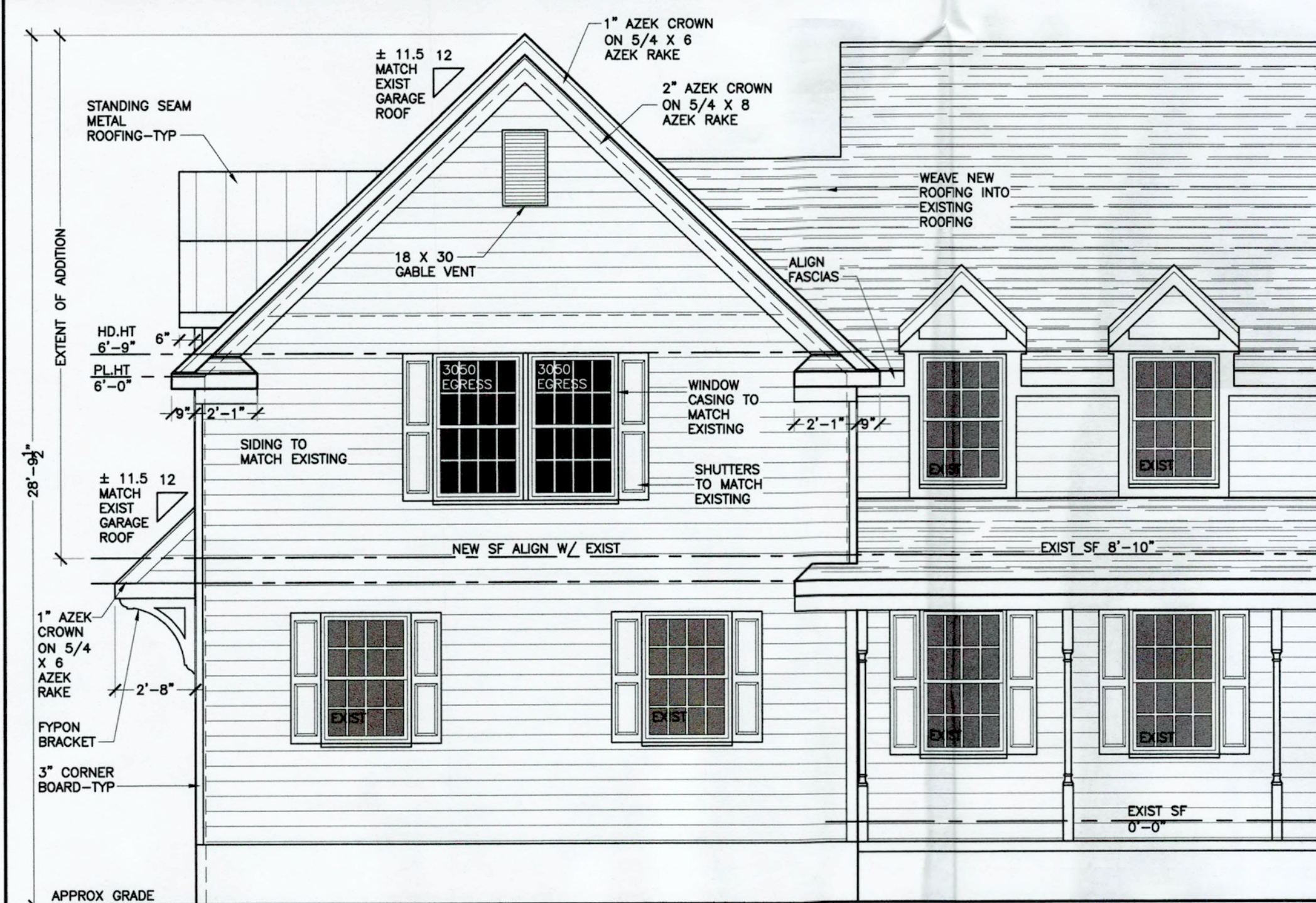
⑥ PARTIAL REAR EXTERIOR DEMOLITION ELEVATION
SCALE: 1/4"=1'-0"



1 ARCH/E/ECT SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



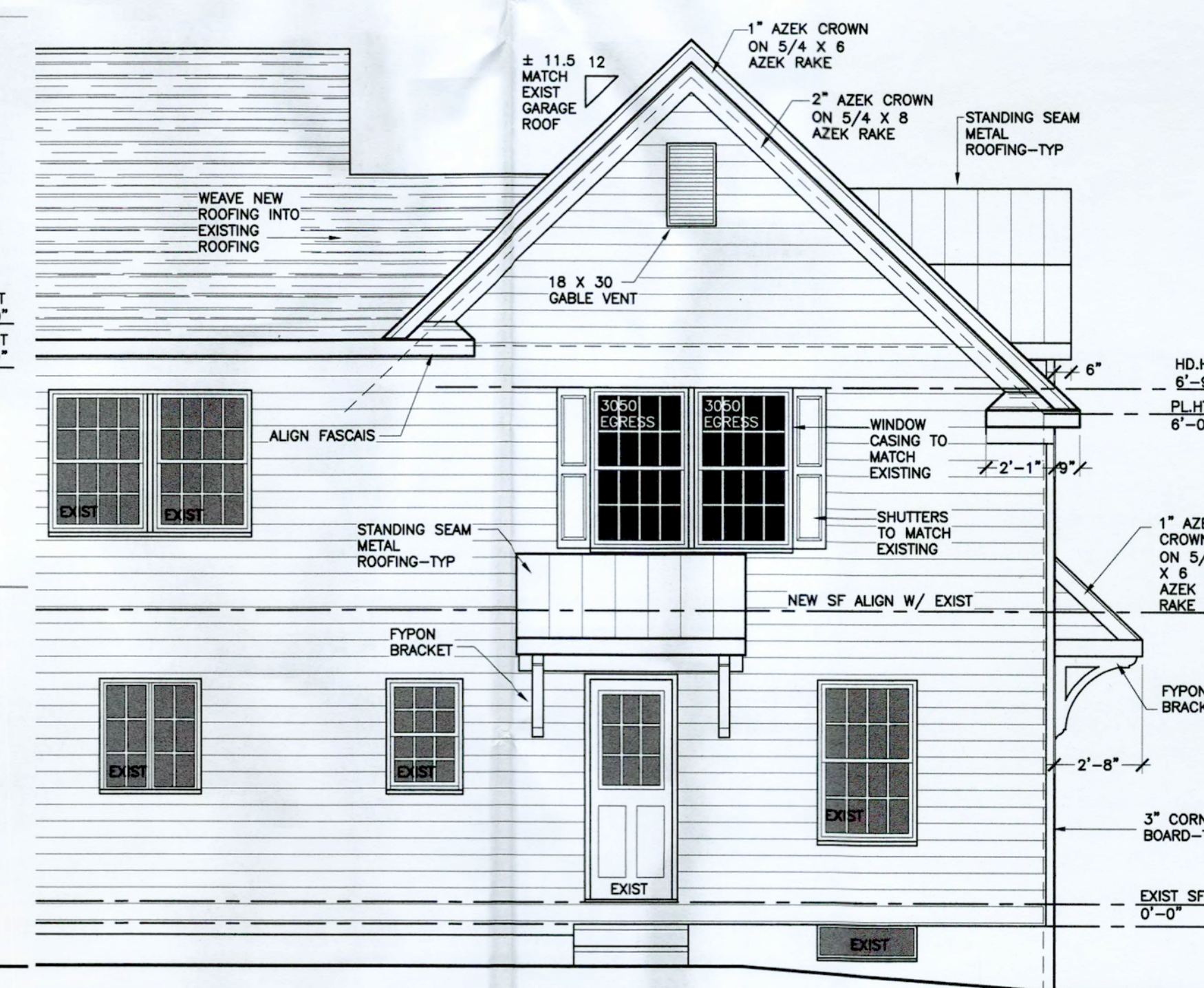
2 ARCH ROOF PLAN
SCALE: 1/4"=1'-0"



3 PARTIAL FRONT EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



4 PARTIAL SIDE EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



5 PARTIAL REAR EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

DRAWING DATE
JUNE 18, 2021 PS

SCALE:
1/4"=1'-0"

PROJECT NAME

PROJECT ADDRESS

BIRKHOOLD/KOSTINAS ADDITION

33 SPRINGHOUSE LANE BASKING RIDGE, NJ

FLOOR PLANS AND EXTERIOR ELEVATIONS

A-1.1

3 OF 5

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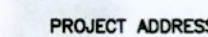
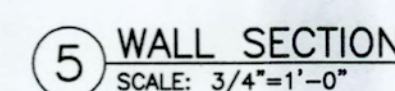
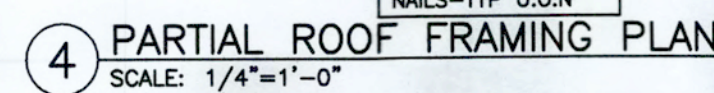
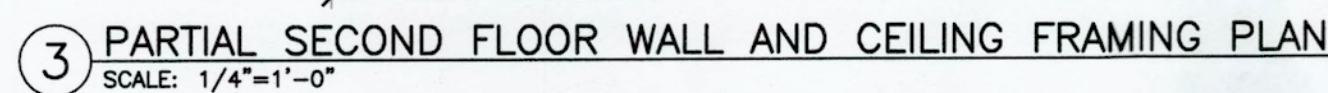
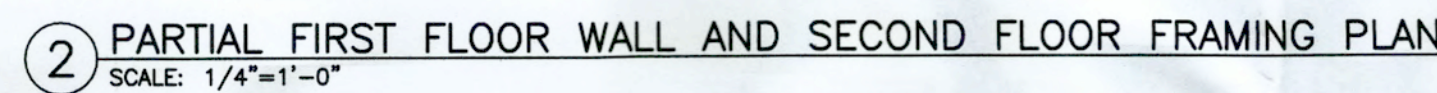
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D2A ARCHITECTURE AND DESIGN, LLC

P.O. Box 578 Martinsville, NJ 08836 Ph: 908-306-9900

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DEAN A. ANDRUSIAK AIA LIC. NO. 21A00007300
DEAN A. ANDRUSIAK AIA LIC. NO. EA403956

REVISIONS:



PROJECT ADDRESS
33 SPRINGHOUSE LANE BASKING RIDGE, NJ

4 OF 5

REVISIONS:

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DEAN A. ANDRICKSAK AIA LIC. NO. RA403956

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO SOLE PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G: BTWN. JOISTS TO TOP PL.	(2) TOENAILS EA. END	(2) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" o.c.	NAILS @ 16" o.c.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPURCE	(12) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS

* 2"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)

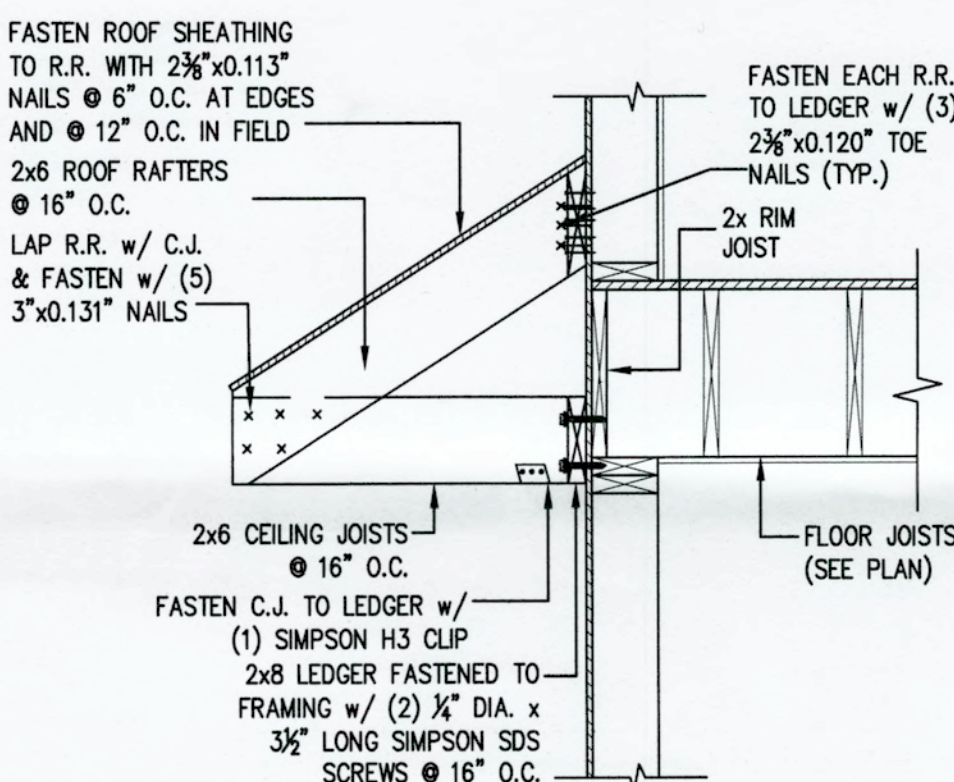
DEMOLITION/RENOVATION NOTES

- FRAMING AND FOUNDATION PLANS HAVE BEEN DESIGNED TO BE STRUCTURALLY SOUND UPON COMPLETION OF THE WORK. THE MEANS AND METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR (UNLESS SPECIFICALLY NOTED ON PLANS).
- DURING DEMOLITION AND CONSTRUCTION, IT IS THE BUILDER/CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE TEMPORARY SHORING/BRACING OF EXISTING ELEMENTS INTENDED TO REMAIN.
- THE STRUCTURAL PLANS HAVE BEEN PREPARED WITH EXISTING FRAMING/FOUNDATION ASSUMPTIONS AS NOTED ON THE PLANS. IT IS THE BUILDER/CONTRACTOR'S RESPONSIBILITY TO CONTACT M.A.K. STRUCTURAL ENGINEERING IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS DEPICTED ON THE CONSTRUCTION DOCUMENTS.

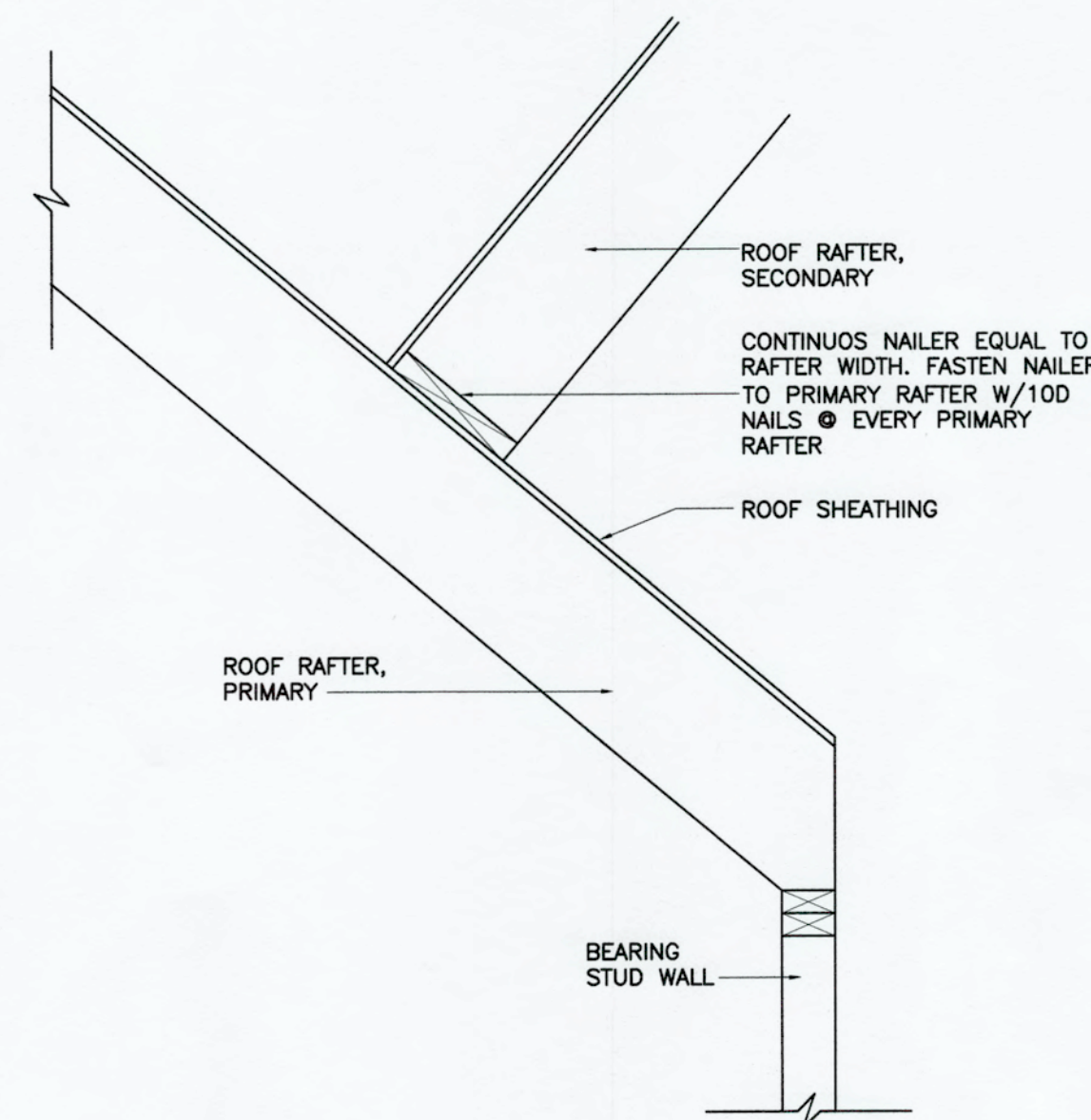
MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

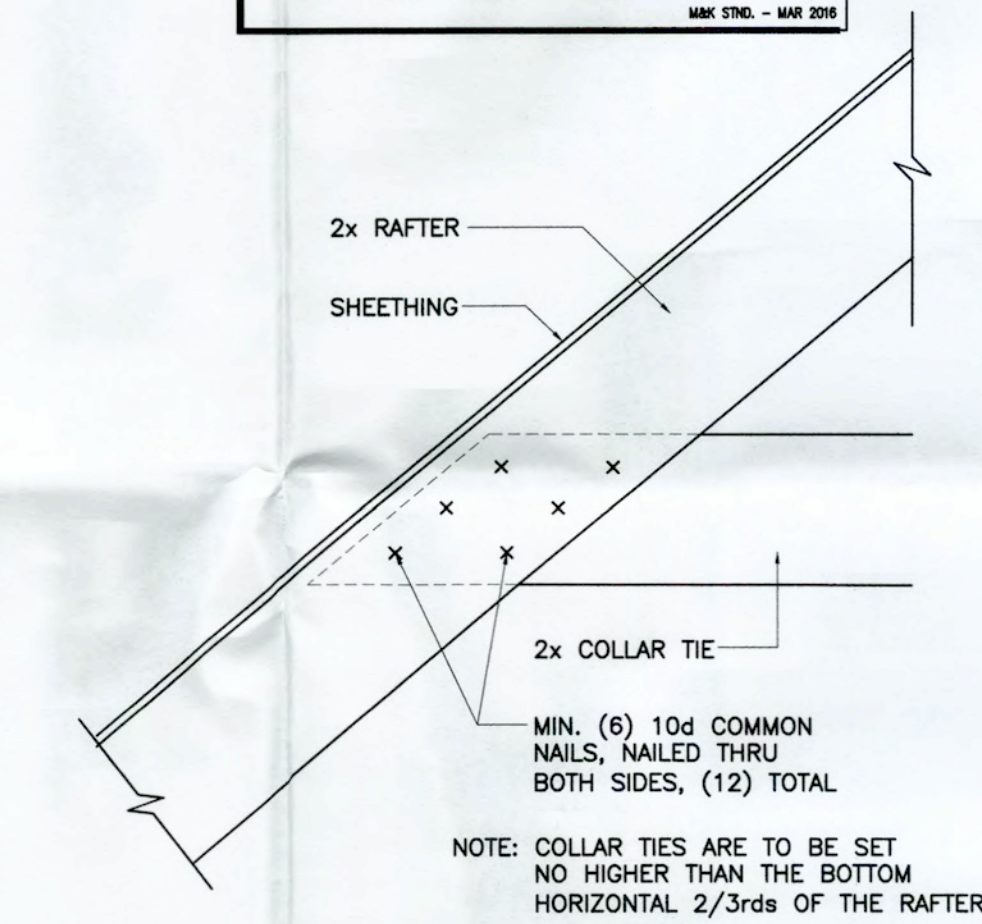
STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.



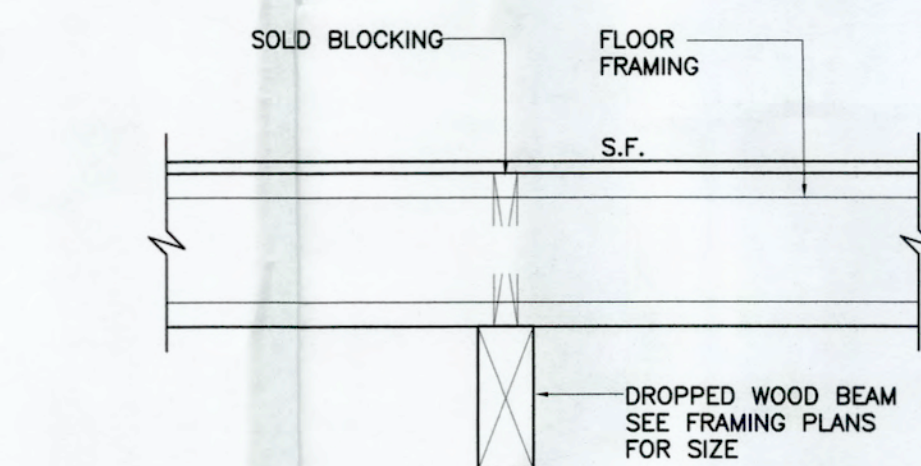
1 DETAIL @ PENT ROOF
SCALE: 3/4"=1'-0"



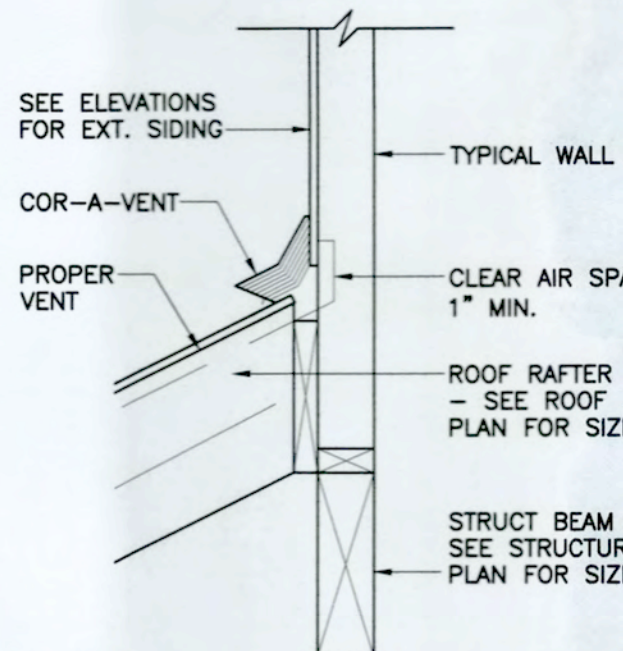
2 VALLEY DETAIL
SCALE: 1"=1'-0"



3 COLLAR TIE DETAIL
SCALE: 1"=1'-0"



4 DROPPED BEAM DETAIL
SCALE: 1"=1'-0"



5 VENT DETAIL
SCALE: 1"=1'-0"

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
115 MPH WIND IN 2018 IRC MAP
(115 MPH WIND SPEED IN ASCE 7-16
WIND MAP, PER IRC R301.2.1.1)
EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2018 IBC (SECTION 1609) & ASCE 7-16, AS PERMITTED BY R301.1.3 OF THE 2018 IRC, OR THE SIMPLIFIED PREScriptive PROCEDURE IN ACCORDANCE WITH THE 2018 IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
FASTEN SHEATHING w/ 2 1/2" x 0.113" NAILS @ 6" o.c. AT EDGES & @ 12" o.c. IN PANEL FIELD (TYP. U.N.O.)
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/4" CROWN) @ 3" o.c. AT EDGES & @ 6" o.c. IN FIELD.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS FASTENED TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" o.c. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, BLOCKED PANEL EDGES, AND/OR 3" o.c. EDGE NAILING

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION.
- FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
• 3/4" DIA. ANCHOR BOLTS @ 2'-8" o.c., 15" MIN. EMBEDMENT (CMU)
• ALL ANCHOR BOLTS SHALL HAVE 3"x3"x0.229" STEEL PLATE WASHERS U.N.O.
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
f_c = 3,000 psi FOOTINGS & INTERIOR SLABS ON GRADE
f_y = 60,000 psi
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. JOINTS SHALL BE LOCATED @ 10'-0" o.c. (RECOMMENDED) OR:
• 15'-0" o.c. (MAXIMUM)
JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION.
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS:
ROOF
SNOW = 25 PSF (30 PSF GROUND SNOW, STICK ROOF)
DEAD = 10 PSF
LOAD DURATION FACTOR = 1.15
FLOOR
LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)
DEAD = 10 PSF (SOLID SAWN)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS. ALL NAILS SPECIFIED ARE MIN. DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX. CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS. NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" o.c. SPF "STUD" GRADE LUMBER, OR BETTER, U.N.O.
• WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE HEM-FIR #2 (HF) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
• THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" o.c. (MAX., U.N.O.)
• HEADERS IN NON-LOAD BEARING WALLS SHALL BE:
(1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
• "LVL" - F_b=2800 psi; F_v=285 psi; E=2.0x10⁶ psi
• FOR 2 & 3 PLY BEAMS OF EQUAL 13/4" MAX. WIDTH, FASTEN PLYS TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" o.c. OR 2 ROWS 1 1/2"x3/4" SIMPSON SDS SCREWS (OR 3/4" TRUSSLOK SCREWS) @ 16" o.c. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/2" OR 5 1/2" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- FACE NAIL MULTI-PLY 2x BEAMS & HEADERS W/ 3-ROWS OF 3"x0.120" NAILS (MIN.) @ 12" o.c. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR GREATER. UTILIZE 2 ROWS OF NAILS FOR 2x6 & 2x8.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
- STEEL PIPE COLUMN "ASD CAPACITIES" SHALL MEET OR EXCEED THE LOADS PROVIDED AT EACH STEEL PIPE COLUMN LOCATION ON PLAN. COLUMNS ARE TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENT THAT ACHIEVES THE RATED CAPACITY USED, INCLUDING BUT NOT LIMITED TO POSITIVE CONNECTIONS AT THE TOP AND BOTTOM OF THE COLUMN. TWO COLUMNS MAY BE USED UNDER CONTINUOUS BEAMS TO ACHIEVE THE FULL PLAN SPECIFIED REQUIRED CAPACITY IF INSTALLED CENTERED ON THE EXISTING FOOTING/ PLAN SPECIFIED SINGLE COLUMN LOCATION.

FLOOR FRAMING

- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA.
- TYPICAL JOIST HANGERS (U.N.O. ON PLANS):
SINGLE PLY: SIMPSON LUS210
DOUBLES: SIMPSON LUS210-2
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED "STUD-1-FLOOR" 24" o.c. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND:
• 2 1/2" x 0.131" NAILS @ 6" o.c. @ PANEL EDGES & @ 12" o.c. FIELD.
• 2 1/2" x 0.120" NAILS @ 4" o.c. @ PANEL EDGES & @ 8" o.c. FIELD.
• 2 1/2" x 0.113" NAILS @ 3" o.c. @ PANEL EDGES & @ 6" o.c. IN FIELD.

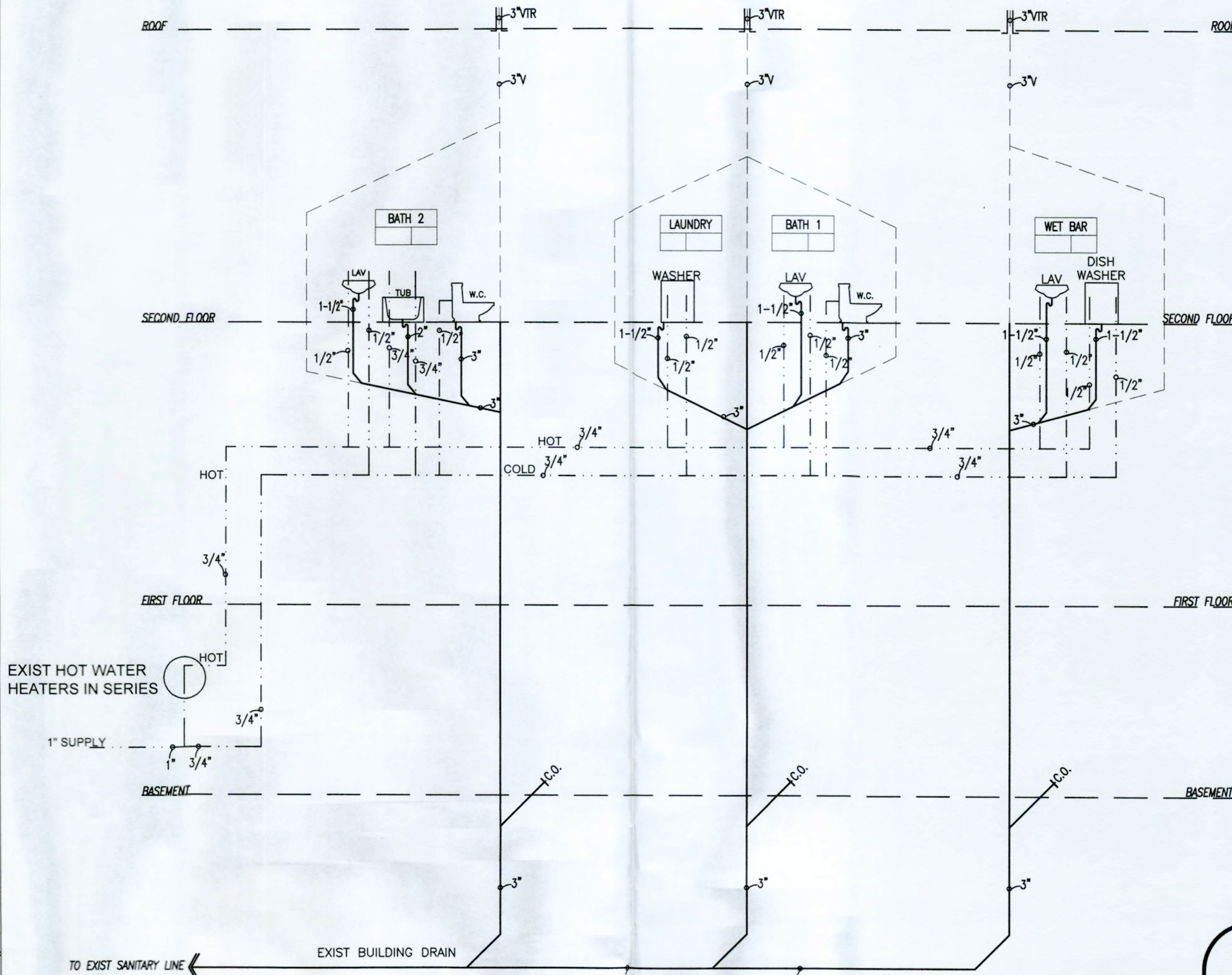
ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS -
• w/ 2 1/2" x 0.131" NAILS @ 6" o.c. @ PANEL EDGES & @ 12" o.c. FIELD.
• w/ 2 1/2" x 0.120" NAILS @ 4" o.c. @ PANEL EDGES & @ 8" o.c. FIELD.
• w/ 2 1/2" x 0.113" NAILS @ 3" o.c. @ PANEL EDGES & @ 6" o.c. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (1) SIMPSON H1 CLIP. PROVIDE (2) H2.5T CLIPS AT FLUSH BEAMS IN THE ROOF.

6 RESIDENCE PLUMBING RISER DIAGRAM

SCALE: N.T.S. - PLUMBING RISER DIAGRAM IS SCHEMATIC AND SHOULD BE REVIEWED AND ADJUSTED BY A LICENSED NJ PLUMBER

- NOTE
- GAS RISER DIAGRAM IS TO BE SUBMITTED BY LICENSED NJ PLUMBER
 - ALL NEW ROOF VENTS ARE TO BE LOCATED BEHIND RIDGE OUT OF VIEW FROM MAIN STREET ACCESS.
 - GANG NEW ROOF VENTS TO LEADER AS ALLOWED PER CODE TO MINIMIZE ROOF PENETRATION.



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DEAN A. ANDRUSAK, AIA, LIC. NO. 21A00075300
DEAN A. ANDRUSAK, AIA, LIC. NO. RA409556

DRAWING DATE: JUNE 18, 2021 PS
PROJECT NAME: STRUCTURAL NOTES / DETAILS / PLUMBING RISER DIAGRAM

BIRKHOLO/KOSTINAS ADDITION

A-1.3

SCALE: AS NOTED

PROJECT ADDRESS: 33 SPRINGHOUSE LANE BASKING RIDGE, NJ

EC

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB21-034 Block: 2905 Lot: 1 Zone: R-6

Applicant: HEYMANN, F. / CHICLANA, M.

Address of Property: 24 WOODSTONE ROAD

Description: (c) MAXIMUM LOT COVERAGE - PATIO
& COVERED BREEZE WAY

APPLICATION CHECKLIST

<input checked="" type="checkbox"/> Original + 16 copies of Application	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> W-9	<input checked="" type="checkbox"/> Architectural Plans
<input checked="" type="checkbox"/> Site Visit Consent (A)	<input checked="" type="checkbox"/> Survey
<input type="checkbox"/> Ownership Form (B)	<input checked="" type="checkbox"/> Photographs
<input checked="" type="checkbox"/> 200' Property Search List (C)	<input type="checkbox"/> Wetlands Report/LOI
<input checked="" type="checkbox"/> Tax Certification (D)	<input checked="" type="checkbox"/> Application Fee
<input checked="" type="checkbox"/> Notice to be Served/Published (E)	<input checked="" type="checkbox"/> Escrow Deposit
<input checked="" type="checkbox"/> Dimensional Statistics Form (F)	<input checked="" type="checkbox"/> Imaging Fee
<input type="checkbox"/> Contributions Disclosure Form (G)	<input type="checkbox"/> Tax Map Revision Fee
	<input checked="" type="checkbox"/> Checklist

SCHEDULING

11.1.21 Original Submission Date
12.16.21 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete
4.15.22 Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
____ Completeness Hearing
2.9.22 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

11.1.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

**TOWNSHIP OF BERNARDS
2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- | | |
|---|---|
| <p><input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance
<input type="checkbox"/> Use ("d") Variance
<input type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify): _____</p> |
|---|---|

1. APPLICANT: Frederick Heymann and Maria Chiclana

Address: 24 Woodstone Road

Phone: (home) _____ (work) 917-608-7653 (mobile) 917-608-7653
732-261-3152

Email (will be used for official notifications): fredskip@gmail.com

mchiclana@comcast.net

2. OWNER (if different from applicant): _____

Address: _____

Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: Self

Address: _____

Phone: _____ Email (will be used for official notifications): _____

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: _____ Profession: _____

Address: _____

Phone: _____ Email (will be used for official notifications): _____

5. PROPERTY INFORMATION: Block(s): 2905 Lot(s): 1 Zone: R-6

Street Address: 24 Woodstone Road Total Area (square feet/acres): 0.39 acres

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain or attach Board resolution) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) _____

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

02/06/19

Bernards Township Zoning Board of Adjustment

Page 1 of 2

☒ No [] Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: _____

See, Rider A attached for detailed description.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.): _____

21-15.1(d)1 + Table 501 See Rider A for detailed description
of overhung variance and
impervious coverage variance

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION: _____

See Rider A for detailed response, attached.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Frederick Heymann and Maria Chiclana hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): Frederick Heymann and Maria Chiclana

Sworn and subscribed before me, this 14th day of OCTOBER, 2021.

Notary

CYNTHIA KIEFER
Notary Public - New Jersey
Commission #2442187
Expires 01/10/24

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 20__.

Notary

Rider A

Frederick Heymann and Maria Chiclana Application for variances

24 Woodstone Road, Basking Ridge

Responses to Bernards Township Zoning Board of Adjustment Application Questions 9, 10 and 11, below:

Question 9. Description of the Existing Property and the Proposal Request

In 2018, we moved to Basking Ridge and purchased a newly remodeled colonial home from the builder who was the Seller. The back of the house had a paved area, as per the listing brochure in 2018, [see attached](#).

We built a new (Board approved) detached two car garage in 2019. We took out the pavers simply to build the garage, assuming the pavers would be replaced, as a back door needs a paved area for emergency egress and ingress. We created a driveway from the garage which we assumed was approved and needed for easy car entry or exit but more importantly for safety and visibility, as there are many small children in the neighborhood.

We were informed by the zoning office [this year](#) that in replacing the pavers which were pre-existing and in having the driveway align with the garage, we are over the impervious coverage and request a variance to allow for the back door pavers and critical standard driveway to remain "as is".

In addition, now that we have a detached garage, we would like to create a minimalist overhang connecting the garage to the back door, to protect the back door area from the elements and increase safety on the back door steps. This is just an overhang and not an enclosed breezeway so we are trying to respect the setbacks as much as possible.

Question 10: Description of the Requested Variances or Exceptions

- 1.** We respectfully request an impervious coverage variance or exception to accommodate the pavers in the back door area, and any area that the driveway to the garage may contribute to the overall impervious coverage of what we believe is 4.4 percent.
- 2.** We respectfully request an approval to build an overhang connecting our detached garage to the house, as an exception/ variance to the continuing structure setback limitations.

Question 11: The Following Arguments are Made in Support of the Application:

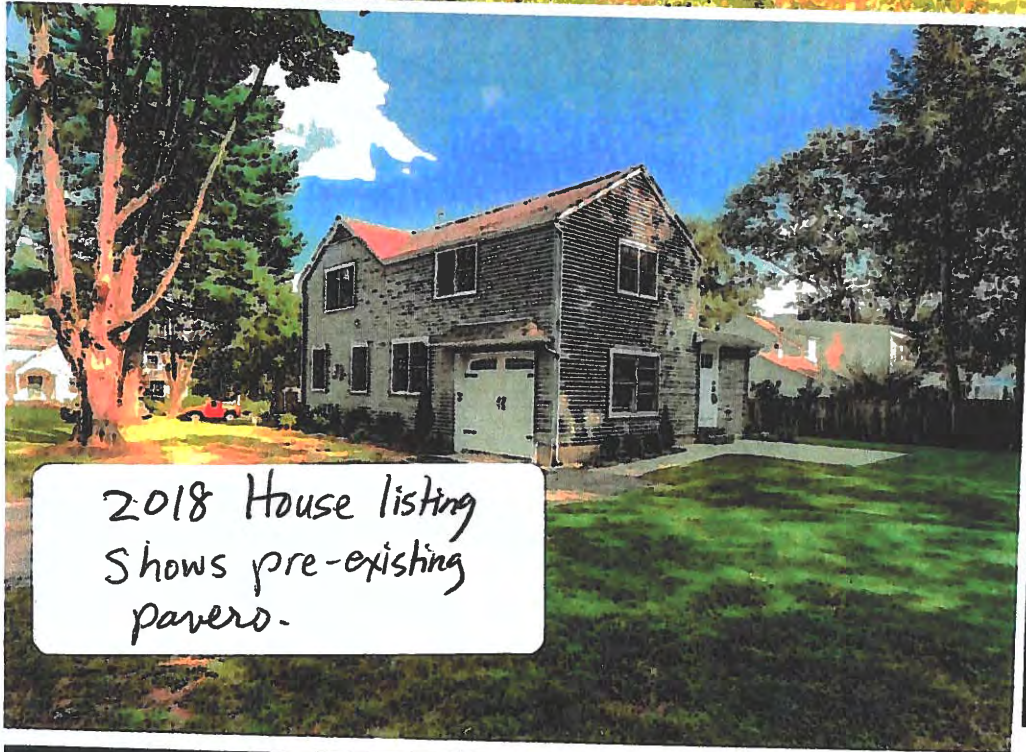
As property owners, and new residents to Basking Ridge, we did not intend to violate any zoning or property regulations concerning impervious coverage.

- The pavers existed when we purchased the home from the builder, **per the attached listing page**. When we built the detached garage, we removed the pavers for construction and assumed we could replace the pavers not only because they were pre-existing but we believed that paved areas are required as the back door is an emergency ingress/egress door. This is common to have a paved area in the front and back of a house in practically every house built in today's age under building specifications.
- If the new driveway contributes to the impervious coverage overage, the driveway is needed for any garage, and in our corner lot property in a neighborhood with many small children, it provides for clear and distinct visibility. We assumed the driveway access was assumed when the garage was built. As we cannot have cars driving over mud, puddles or snow.

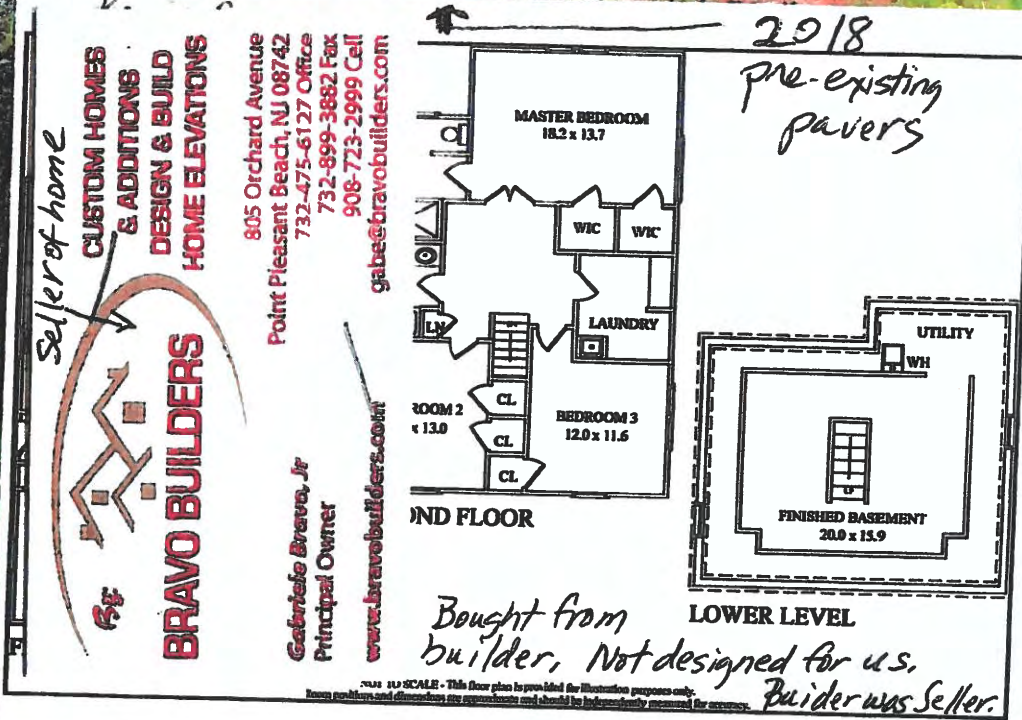
We are seeking permission to build an overhang that connects the detached garage to the house.

The overhang would be a minimalist structure that is common among homes with detached garages for protection of the elements. It is not an enclosed breezeway, so it does not impact the impervious coverage.

- The protection of the elements is very helpful for convenience and for Maria Chiclana, one of the owners, who had back surgery, it provides a greater sense of safety from the elements.



2018 House listing
Shows pre-existing
pavers.



SUBMIT ORIGINAL AND 16 COPIES

FORM A

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: Frederick Heymann and Maria Chiclana

Block: 2905 Lot: 1

Street Address: 24 Woodstone Road

Frederick Heymann and
I, Maria Chiclana, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature: Frederick S. Heymann Date: 10/29/21
Maria Chiclana

SUBMIT 17 COPIES TOTAL

FORM F

DIMENSIONAL STATISTICS

See plot plan
by AE (Abbingdon
Engineering, LLC)

	REQUIRED	EXISTING	PROPOSED
LOT AREA	0.75 AC	0.386 AC	0.386 AC
LOT WIDTH	187.50 ft.	173.50 ft.	173.50 ft.
FRONTAGE	75 ft.	257.47 ft.	257.47 ft.
FRONT YARD SETBACK	50 ft.	50 ft. (Woodstone Rd.)	50 ft. (Woodstone Rd.)
REAR YARD SETBACK	50 ft.	83.2 ft.	48.2 ft.
COMBINED SIDE YARD	40 ft.	N/A	N/A
SIDE YARD	15 ft.	16.3 ft.	15.9 ft.
COVERAGE	18 %	22.4 %	22.4 %
HEIGHT			
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			

APPENDIX D, ARTICLE III

Checklist

Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	✓		
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.		✓	

24 Woodstone Road

↓ Side of house seen
from street (grove corner)



↓ Front of house

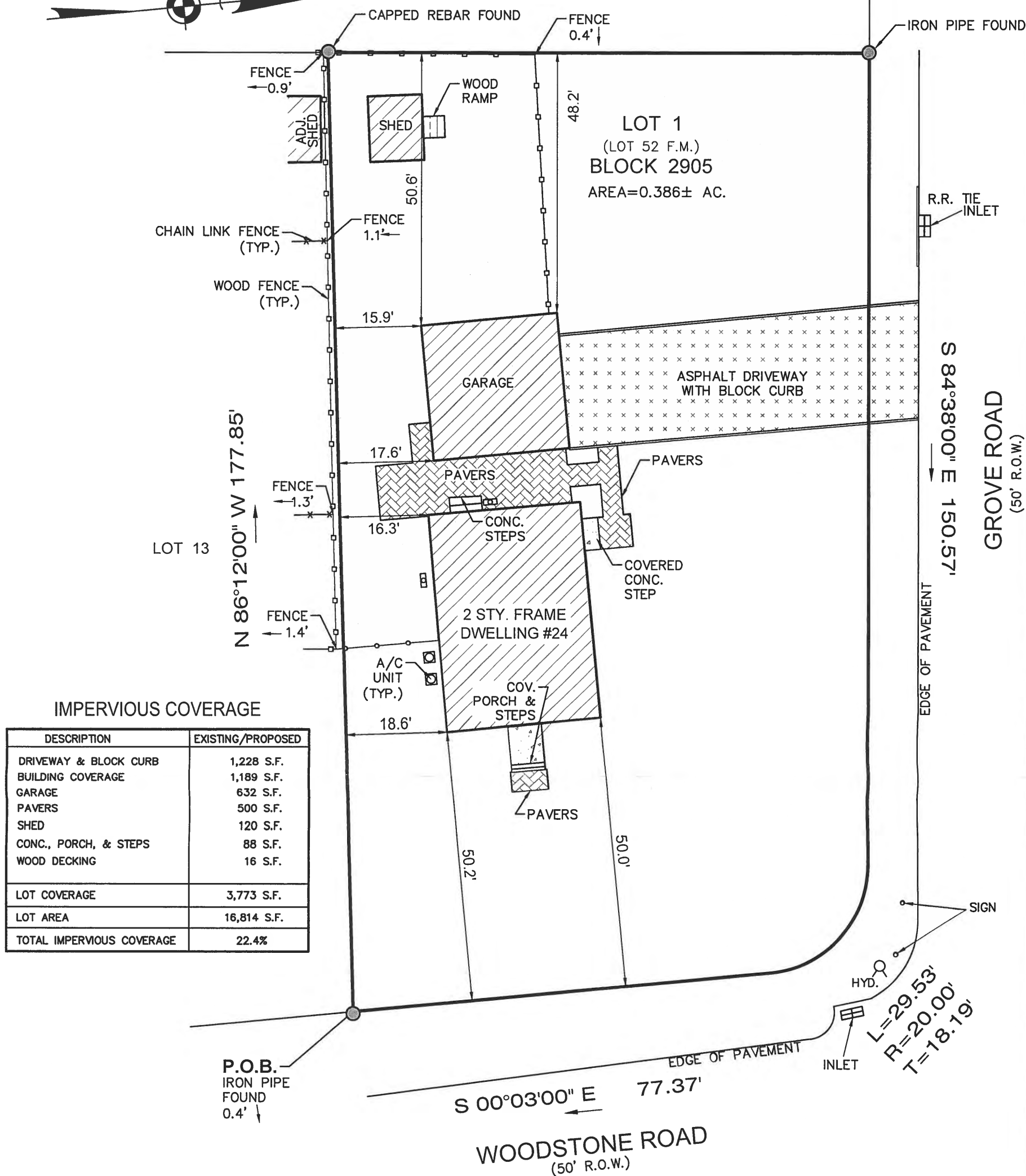


↑ Back of house
seen from street.
This is area of pavers
and for overhang.



↑ Back of house
Pavers allow egress from
house

LOT 2
N 05°22'00" E 100.00'



PREPARED FOR: SKIP HEYMANN

Filed Map Reference:

SECTION TWO HOMESTEAD VILLAGE

Filed Map Block:

Filed Map Lot:

52

Filing Date:

7-13-1938

Filed Map No.

43-C

IMPORTANT NOTES. PLEASE REVIEW:

- I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 10/1/19 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES, WETLANDS, OR RIPARIAN RIGHTS. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS. ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
- OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES.
- THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
- PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:40-5.1(D))

DB 6908 PG 1897

CERTIFICATE OF AUTHORIZATION: 24GA28229800



P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691

www.morganengineeringllc.com

SURVEY OF PROPERTY

LOT 1

BLOCK 2905

TOWNSHIP OF BERNARDS

COUNTY OF SOMERSET

NEW JERSEY

DAVID J. VON STEENBURG

PROFESSIONAL LAND SURVEYOR
N.J. LIC. No. 34500

Scale:

1"=20'

Drawn By:

MS

Date:

10/1/19

JOB #:

19-10368

CAD File #

19-10368

Sheet #

1 OF 1

PERMIT DATA
IRC 2015 NJ EDITION
USE GROUP R-5
CONSTRUCTION CLASS 5-B

TABULATED AREAS
95 SQ FT

LIST OF DRAWINGS
1 COVER SHEET
2 FOUNDATION AND FIRST FLOOR
3 ELEVATIONS AND RENDERINGS

PROPOSED
GARAGE ADDITION
24 WOODSTONE ROAD
BERNARDS TOWNSHIPS
SOMERSET COUNTY, NEW JERSEY

ROOF SHINGLES ON 15 # FELT ON 5/8"
CDX ON @' X 8" @ 16" O/C RAFTERS
WITH 3'-0" OF ICE AND WATER SHIELD
STARTING AT EAVE

TWO H2.5 CLIPS

FINISH ROOFING
ROOFING MEMBRANE
FLASHING
TRIM
FASCIA

SOFFIT FURRING
SOFFIT

R-38

RAFTER
BAFFLE

FINISH SIDING
SHEATHING

ROOF DETAILS

(print at 1"=1')

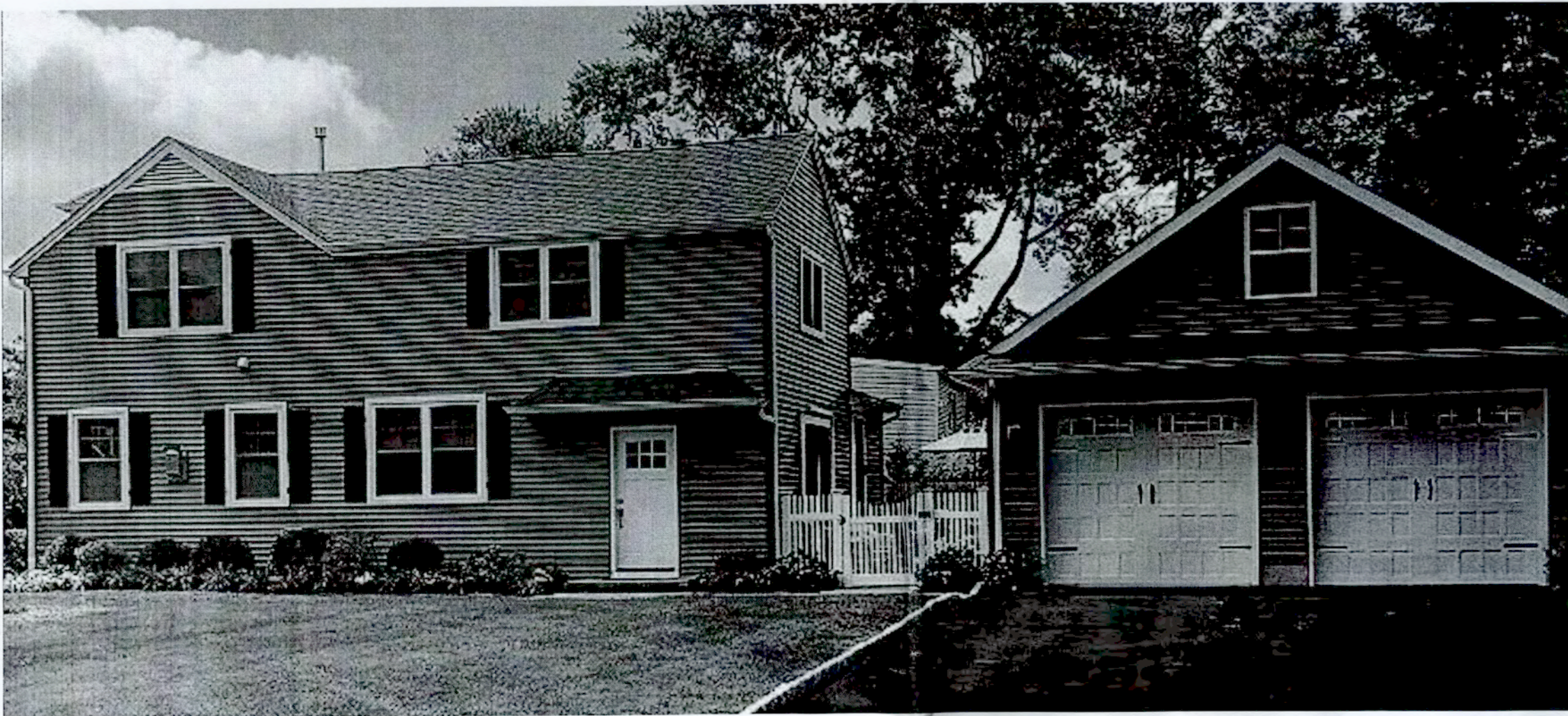
ANTHONY MALTESE, P.E., P.L.S., P.P., C.M.E.
PROFESSIONAL ENGINEER
NJ LICENSE No. 42579

ANTHONY J. CHURCH
REGISTERED ARCHITECT
NJ LICENSE No. 21A100514600

ATTENTION:
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE
ONLY BY THE PARTY FOR WHICH THE WORK WAS CONTRACTED OR TO WHOM IT IS
CERTIFIED.
THIS DRAWING MAY NOT BE COPIED, REPRODUCED, DISCLOSED, DISTRIBUTED OR REPRODUCED
FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ARCH DESIGN STUDIOS LLC

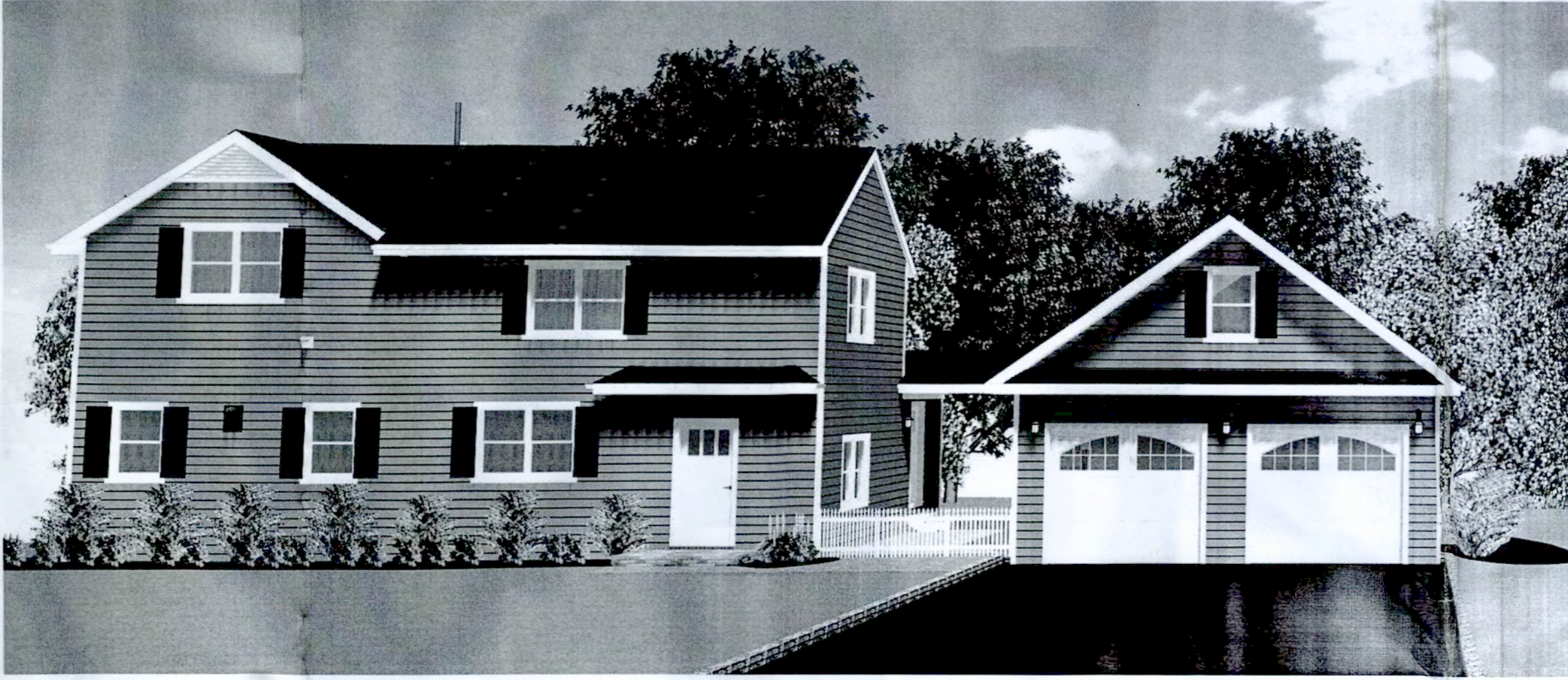
REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

NOTES:
JOB #160



EXISTING EXTERIOR

NTS



PERSPECTIVE RENDERING

NTS

GENERAL NOTES 2019

ALL GENERAL CONSTRUCTION WORK SHALL BE COMPLETED IN CONFORMANCE WITH THE UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY (INTERNATIONAL RESIDENTIAL CODE OR INTERNATIONAL BUILDING CODE 2015 NEW JERSEY EDITION) INCLUDING ALL SUBSEQUENT REVISIONS AND AMENDMENTS THERETO, AND ALL APPLICABLE LOCAL, AND FEDERAL LAWS AND REGULATIONS. THIS BUILDING IS DESIGNED IN COMPLIANCE WITH THE (WFCM) WOOD FRAMED CONSTRUCTION MANUAL BY AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA).

ALL MECHANICAL AND ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NATIONAL STANDARD PLUMBING CODE, AND THE NATIONAL ELECTRIC CODE, INCLUDING ALL SUBSEQUENT REVISIONS AND AMENDMENTS.

IT IS THE INTENTION OF THESE DRAWINGS THAT ALL WORK SHOWN AND/OR REASONABLE INFERRED AND NOT SHOWN OR SPECIFIED SHALL BE FURNISHED BY THE CONTRACTOR AS REQUIRED TO COMPLETE THIS PROJECT IN ITS ENTIRETY IN ACCORDANCE WITH THE GENERAL NOTES #1 AND #2.

THE GENERAL CONTRACTOR AND EACH OF HIS SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND BE RESPONSIBLE FOR IT. IF THERE SHOULD EXIST A DISCREPANCY BETWEEN THE ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONTRACT DOCUMENTS, NOTIFY THE ARCHITECT IMMEDIATELY TO RESOLVE THE DISCREPANCY BEFORE ANY WORK IS DONE.

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS. THE ARCHITECT SHALL PERMIT NO DEVIATIONS, OMISSIONS, OR SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL AND/OR AUTHORIZATION.

CONTRACTOR AND OWNER NOTE:
IT IS UNLAWFUL TO MAKE ANY REVISIONS TO THESE CONTRACT DRAWINGS WITHOUT THE ARCHITECT'S APPROVAL. ANY REVISIONS TO THESE DRAWINGS AND BUILDING MATERIALS, AS NOTED ARE SUBJECT TO BE REVISED AND RESUBMITTED TO LOCAL CODE OFFICIALS FOR APPROVAL BY THE ARCHITECT.

ALL MECHANICAL AND PLUMBING LAYOUTS (IF REQUIRED) SHALL BE SUBMITTED TO THE RESPECTIVE LOCAL SUB-CODE OFFICIAL FOR REQUIRED APPROVALS BEFORE INSTALLATION.

CONTRACTORS ARE CAUTIONED THAT FAMILIARITY WITH THE ACCIDENT PREVENTION REQUIREMENTS OF THE ABOVE DOCUMENTS IS ESSENTIAL TO THE PROPER EXECUTION OF THIS WORK.

BEFORE EXCAVATION BEGINS, CONTRACTOR SHALL VERIFY THE LOCATIONS OF THE BURIED PIPELINE AND ELECTRICAL WIRING, WATER AND GAS LINES FROM THE STREET. OWNER WILL "FLAG MARK" THE WELL CAP AND THE LOCATION OF THE MAIN SEPTIC HOLDING TANK, IF REQUIRED.

THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE CARRIED TO A MINIMUM OF 3'-0" BELOW FINISH GRADE. NO DISCONTINUOUS FOOTING SHALL BE PERMITTED.

ALL FOOTING DETAILS SHOWN ON THE PLANS ARE BASED ON PRESUMPTIVE SOIL BEARING CAPACITY OF 3000 P.S.F. ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, HAVING SUCH BEAR CAPACITY. IF ACTUAL CONDITIONS UNDER ALL OR PART OF THE FOOTINGS FOR THIS PROJECT DO NOT ALLOW SUCH BEARING CAPACITY, THE FOOTINGS AS SHOWN ON THE PLAN MUST BE REDESIGNED OR THE UNSUITABLE MATERIAL BE REPLACED WITH A CONTROLLED COMPACTED FILL INSTALLED AND CERTIFIED BY A SOLID ENGINEER.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR BUILDING PERMITS, REQUIRED TO PROPERLY CARRY OUT THIS WORK.

ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 2014 AS PUBLISHED BY N.E.P.A. OR ANY OTHER ASSOCIATION HAVING JURISDICTION LATEST EDITION DWELLING UNITS CONTRACTOR MUST COMPLY WITH SECTION 210.52.
INSTALL DIRECT BURIAL BONDING AND GROUNDING REBAR CLAMP WITH #4 COPPER GROUND, TIED TO REBARS IN FOOTINGS OR APPROVED GROUNDING METHOD.

ALL CONCRETE SHALL BE CONTROLLED CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3,500 P.S.I.

MASONRY CONSTRUCTION
BLOCK SHALL BE CONCRETE MASONRY UNITS BUILT TO ACI 318 STANDARD.

REINFORCING BARS SHALL BE DEFORMED BARS ASTM A-615.

JOINT REINFORCEMENT SHALL BE TRUSS TYPE AS MFG. BY DUR-O-WALL OR EQUAL AT ALTERNATE COURSES, HORIZONTALLY, ASTM A-496.
TYPICAL FOUNDATION ANCHORAGE SHALL CONSIST OF MINIMUM 5/8" ANCHOR BOLTS, MINIMUM 2 BOLTS PER SECTION OF PLATE AND 12" IN FROM THE END OF EACH SECTION OF PLATE WITH MAXIMUM SPACING AT 4'-0" O.C. ALL ANCHOR BOLTS SHALL BE EMBEDDED NOT LESS THAN 1'-4" INTO GROUTED UNIT MASONRY.

CONTRACTOR SHALL FOLLOW THE 2015 FASTENING SCHEDULE.

CONTRACTOR SHALL BECOME FAMILIAR WITH AND EXAMINE THE SITE PRIOR TO WORKING ON THE PROJECT. WORKING ON THE PROJECT SHALL CONSTITUTE UNDERSTANDING AND ACCEPTANCE OF ALL CONDITIONS.

DESIGN LIVE LOADS
OFFICES..... 60 PSF
CORRIDORS..... 100 PSF
STORAGE..... 125 PSF
CLASSROOMS..... 40 PSF
ASSEMBLY..... 100 PSF
RESIDENTIAL..... 40 PSF
BALCONIES..... 100 PSF
ATTIC SPACE..... 30 PSF
WIND LOADS..... 120 M.P.H.
MERCANTILE..... 100 PSF

STEEL LINTELS (IF REQUIRED)

UNLESS OTHERWISE NOTED ON DRAWINGS, PROVIDE LOOSE LINTELS FOR INTERIOR AND EXTERIOR MASONRY OPENINGS AS FOLLOWS: FOR EVERY 4" OF MASONRY WALL, USE ONE ANGLE 2" X 3/2" X 316". ALL LINTELS TO HAVE 6" MINIMUM BEARING EACH END FOR OPENINGS BETWEEN 4'-0" AND 8'-0" WIDE MAX. ALL LINTELS IN EXTERIOR WALLS SHALL BE GALVANIZED AS AN ALTERNATE EXTERIOR WALL LINTELS MAY BE PRIMED AND A FIELD COAT OF PAINT.

NOTE: ALL FLOOR FRAMING RUNNING PARALLEL TO WALLS ABOVE, SHALL BE DOUBLED-UP, AND SPIKED TOGETHER.

NOTE: 2" X 4" @ 16" O/C STUDS WALL WITH HEIGHT IN EXCESS OF 8'-0" SHALL HAVE 2" X 4" HORIZONTAL SOLID BLOCKING AT ONE THIRD POINTS (MAX. HEIGHT OF WALL 8'-0") WALLS HIGHER THAN 9'-0" SHALL BE 2" X 6" @ 16 O/C (MAX. HEIGHT OF WALL 11'-0" ONE ROW OF SOLID BLOCKING AT CENTER POINT).

ALL WINDOWS TO BE SHOWN ON PLANS "ANDERSON" OR EQUAL. BEDROOMS TO BE EGRESS TYPE AS PER CODE. VINYL TYPE WINDOWS MAY BE SUBSTITUTED OWNER/CONTRACTOR AGREEMENT.

NOTE: SCREENS, GRILLS, MUTTONS, OPERATION GLAZING HARDWARE, COLOR TRIM INSIDE AND OUTSIDE ETC. AS PER OWNER/CONTRACTOR AGREEMENT.

ALL DOOR INTERIOR AND EXTERIOR HARDWARE, SCREENS, ETC. AS PER OWNER/CONTRACTOR AGREEMENT.

NOTE: BATHROOMS TO RECEIVE 1" UNDERCUT IF EXHAUST FAN IS INSTALLED.

ALL FINISHES, TRIM PACKAGES, MOLDINGS, RAILINGS- AS PER OWNER/CONTRACTOR AGREEMENT.

ALL EXTERIOR ROOFING, SIDING, STUCCO, BRICK, STONE, VINYL SIDING TRIM WORK AS PER OWNER/CONTRACTOR AGREEMENT.

ALL EXTERIOR LIGHTING, WALKS, DRIVEWAYS, PATIOS RETAINING WALLS, GRADE ETC. AS PER OWNER/CONTRACTOR AGREEMENT.

NOTE: CONTRACTOR IN CAUTIONED AS TO LUMBER GRADE TO BE DOUGLAS FIR OR HEM. FIR #2 GRADE OR BETTER. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL FROM ARCHITECT.

NOTE: CONTRACTOR SHALL BE COORDINATED WITH MODEL ENERGY CODE COMPLIANCE REQUIREMENTS (RECHECK) FOR INSULATION VALUES, ETC.

ALL ROOF PENETRATIONS SHALL BE FLASHED.

ALL WALL SURFACES TO BE PRIME PAINTED PRIOR TO FINISH COAT OF LATEX.

NOTE: INSTALL H-10 HURRICANE CLIPS AT ALL RAFTERS.

HEATING UNIT SHALL BE UL APPROVED AND SHALL COMPLY WITH ALL FEDERAL, STATE, AND MUNICIPAL CODES. OWNER/CONTRACTOR AGREEMENT AS TO TYPE OF HEATING SYSTEM TO BE INSTALLED.

DIMENSIONS TAKE PRECEDENCE OVER SCALE DRAWINGS (DO NOT SCALE DRAWINGS)

ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS OF INTERIOR DESIGN, SITE ENGINEERING SUCH AS GRADING, RETAINING WALLS, DRIVEWAYS, SITE LIGHTING, LANDSCAPING, SEPTIC DESIGN AND WELL (IF REQUIRED) STREET UTILITIES OR HOOK-UPS ETC. ARCHITECTURAL PLANS ARE SOLELY FOR BUILDING CONSTRUCTION ONLY. NOTE: NO FIELD SUPERVISIONS, INSPECTIONS ETC. ARE PART OF THIS CONTRACT.

ALL DOUBLE WINDOWS TO RECEIVE 3 1/2" X 11 7/8" PARALLAM HEADERS ON 2-2"x4" POTS PLUS LINER

INSULATE AND CAULK FRAMING AT PERIMETER OF ALL WINDOWS AND DOORS AT EXTERIOR WALLS " NO FOAM INSULATION TO PERMIT EXPANSION"

PROJECT CLOSE OUT
REMOVE ALL DEBRIS FROM SITE. CLEAN WINDOWS, FLOORS AND OTHER EXPOSED SURFACES AND REMOVE LABELS. "CLEAN" IS DEFINED TO MEAN THAT WHICH IS EXPECTED FOR A FIRST CLASS BUILDING CLEANING PROGRAM. PROVIDE OWNER WITH CERTIFICATE OF OCCUPANCY, GENERAL OPERATING/MAINTENANCE INSTRUCTIONS FOR ALL INSTALLED EQUIPMENT, AND ALL GUARANTEES AND WARRANTIES.

GUARANTEES AND WARRANTIES
THE CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS USED IN THIS PROJECT FOR A PERIOD OF ONE (1) YEAR COMMENCING FROM THE DATE OF THE ISSUANCE OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION. ANY DIFFERENCES THAT BECOME EVIDENT DURING THE ONE (1) YEAR PERIOD, SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.

SHORING AND BRACING
CONTRACTORS SHALL FULLY BRACE AND OTHERWISE PROTECT ALL WORK IN PROCESS UNTIL BUILDING IS COMPLETED. PROVIDE ALL NECESSARY SUPPORTS AND BRACING REQUIRED TO ERECT AND HOLD THE BUILDING FRAME IN ALIGNMENT UNTIL ALL WALLS, AND FLOORS ARE INSTALLED.

INSTALL AT CERAMIC TILE AREAS TUBS AND SHOWERS, DUR-A-ROCK PANELS OR EQUAL.

GYPSUM DRYWALL
PROVIDE 1/2" STANDARD TAPER GYPSUM BOARD COMPLYING WITH ASTM C36 UNLESS OTHERWISE NOTED. SCREW, ATTACH, AND GLUE DRYWALL TO WALL AND CEILING SYSTEMS. PROVIDE WATER-RESISTANT GYPSUM BOARD (ASTM 350) IN TOILET ROOMS. WALLS AND CEILINGS PROVIDE MANUFACTURERS STANDARD METAL TRIM ACCESSORIES OF THE BEAD TYPE. PROVIDE READY-MIXED VINYL JOINT COMPOUND AND PERFORATED JOINT TAPE. INSTALL COMPOUND IN THREE COATS.

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY TIE INS TO COMPLY WITH LOCAL MUNICIPALITY REQUIREMENTS.

CONTRACTOR IS RESPONSIBLE FOR ALL UNDERGROUND UTILITY LOCATIONS AND ASSOCIATED EXCAVATIONS, VERIFY WATER, SEWER AND ELECTRICAL WORK AND UPGRADES AS REQUIRED.

NOTE: H.V.A.C. CONTRACTOR SHALL SUBMIT TO THE BUILDING DEPARTMENT ALL NECESSARY, HEAT LOSS CALCULATIONS, MECHANICAL CHECKS, ETC., REQUIRED FOR PERMITS.

NOTE: ALL SUPPLY AND RETURN DUCTS THAT BREACH FIRE RESISTIVE ASSEMBLIES SHALL HAVE FIRE DAMPERS WHERE REQUIRED.

NOTE: STEEL RE-ENFORCING ROD PLACED IN FOOTING MUST BE, GROUNDED WITH #4 COPPER WIRE AND AN APPROVED BRONZE CONNECTOR.

NOTE: 1/2" GWB MUST BE INSTALLED ON STAIR SOFFIT AND UNDER STAIR ENCLOSURES FOR FINISHED BASEMENTS.

NOTE: IN REGIONS OF WIND SPEEDS EQUAL TO OR, IN EXCESS OF 120 M.P.H. SAFETY GLAZING IS REQUIRED, OR WIND BORN DEBRIS PROTECTION MUST BE READY TO BE INSTALLED WHEN NECESSARY. (SECTION R-301.2.1)

NOTE:
ALL WINDOWS AND FRENCH PATIO DOORS AS PER ANDERSON CORP. OPERATION SWING, GRILLS, COLOR, HARDWARE AS PER OWNER/CONTRACTOR AGREEMENT. TRANSOM TO BE STATIONARY UNLESS OTHERWISE NOTED. (VERIFY WITH WINDOW MFG. ALL WINDOWS & DOOR COMBINATION PRIOR TO ORDER OF SAME.)

NOTE:
ALL GLASS TO BE LOW "E" HIGH PERFORMANCE TYPE GLASS.

NOTE:
WINDOW MAY BE SUBSTITUTED AS PER OWNER/CONTRACTOR AGREEMENT WINDOWS & DOORS MUST BE EQUAL TO OR BETTER THAN THOSE SHOWN ON THE DRAWING.

NOTE:
CONTRACTOR MUST PROVIDE SOIL BORING WITH A MINIMUM SOIL CAPACITY OF 2,500 LBS PSF CONTRACTOR MUST VERIFY WIDTH AND DEPTH OF EXISTING FOOTING AND PROVIDE THIS OFFICE WITH HIS FINDING.

HVAC CONTRACTOR TO SUBMIT HVAC SPECS AND LAYOUT

PROPOSED
GARAGE ADDITION
24 WOODSTONE
ROAD
BERNARDS
TOWNSHIPS
SOMERSET COUNTY,
NEW JERSEY

DATE:

11/18/2019

SCALE: AS NOTED

DWN: LMD CHECKED: AJC

SHEET:

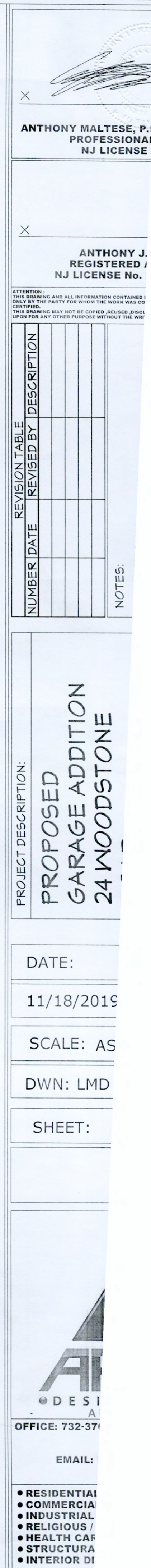
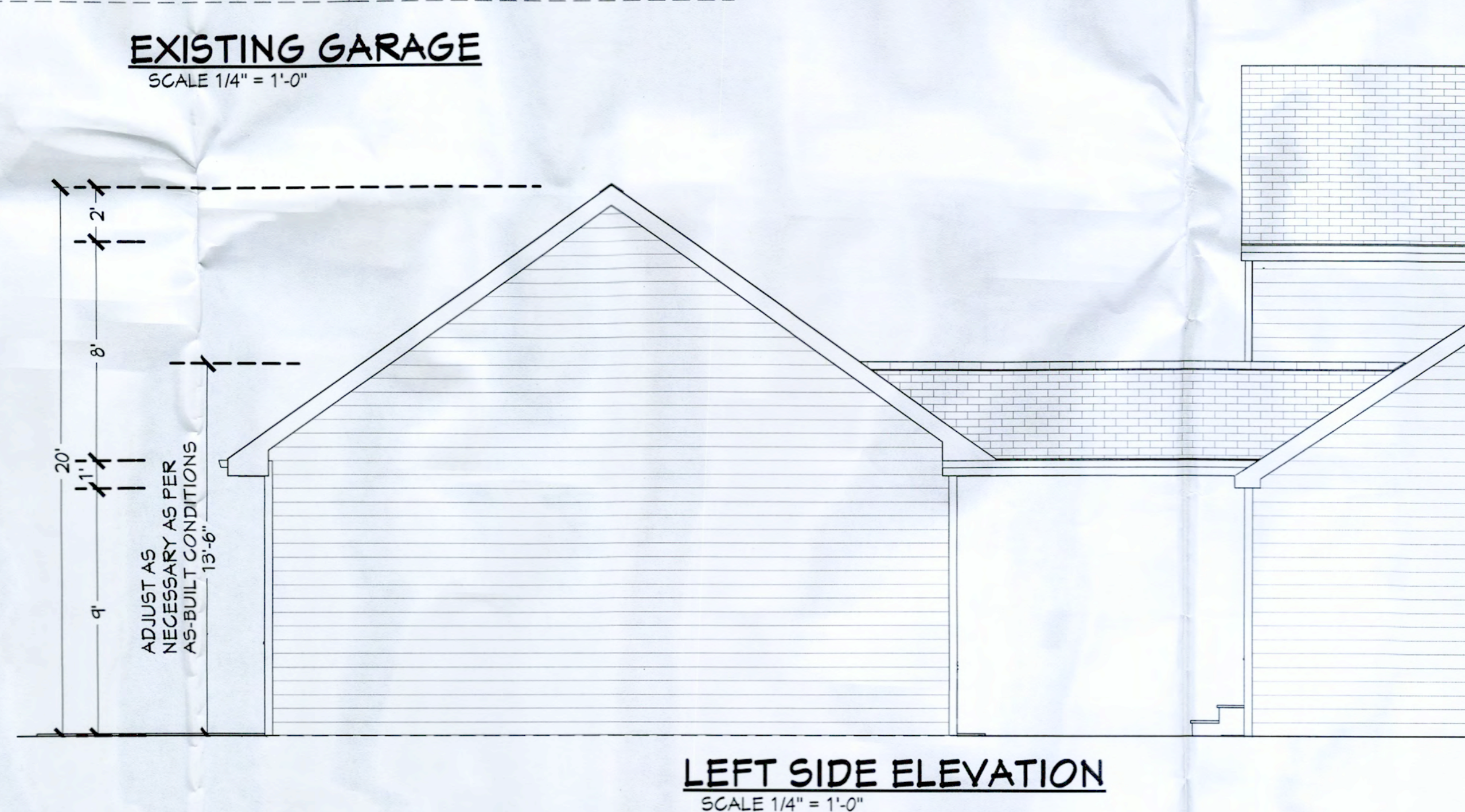
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OFFICE: 732-370-9555 FAX: 732-933-9384

EMAIL: INFO@ARCHSTUDIOS.US
WEBSITE: ARCHSTUDIOS.US

• RESIDENTIAL DESIGN
• COMMERCIAL DESIGN
• INDUSTRIAL DESIGN
• RELIGIOUS / INSTITUTIONAL DESIGN
• HEALTH CARE DESIGN
• STRUCTURAL DESIGN
• INTERIOR DESIGN



EC

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB21-035 Block: 1204 Lot: 11 Zone: R-7

Applicant: FETCHKO, MICHAEL & AMY

Address of Property: 103 WASHINGTON AVENUE

Description: FRONT YARD SETBACK RELIEF FOR
ADDITION

APPLICATION CHECKLIST

<input checked="" type="checkbox"/>	Original + 16 copies of Application	<input checked="" type="checkbox"/>	Engineering Plan/Plot Plan
<input checked="" type="checkbox"/>	W-9	<input checked="" type="checkbox"/>	Architectural Plans
<input checked="" type="checkbox"/>	Site Visit Consent (A)	<input type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	Ownership Form (B)	<input checked="" type="checkbox"/>	Photographs
<input checked="" type="checkbox"/>	200' Property Search List (C)	<input type="checkbox"/>	Wetlands Report/LOI
<input checked="" type="checkbox"/>	Tax Certification (D)	<input checked="" type="checkbox"/>	Application Fee
<input checked="" type="checkbox"/>	Notice to be Served/Published (E)	<input checked="" type="checkbox"/>	Escrow Deposit
<input checked="" type="checkbox"/>	Dimensional Statistics Form (F)	<input checked="" type="checkbox"/>	Imaging Fee
<input type="checkbox"/>	Contributions Disclosure Form (G)	<input type="checkbox"/>	Tax Map Revision Fee
		<input checked="" type="checkbox"/>	Checklist

SCHEDULING

11.23.21 Original Submission Date
1.7.22 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete
5.7.22 Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
2.9.22 Completeness Hearing
____ Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

11.29.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

**TOWNSHIP OF BERNARDS
2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- | | |
|---|---|
| <p><input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance
<input type="checkbox"/> Use ("d") Variance
<input type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify): _____</p> |
|---|---|

1. APPLICANT: MICHAEL & AMY FETCHKO

Address: 103 WASHINGTON AVE, BASKING RIDGE

Phone: (home) 908-766-5706 (work) 908-385-5604 (mobile) 908-385-5604

Email (will be used for official notifications): ahf2527@optonline.net

2. OWNER (if different from applicant): (SAME)

Address: _____

Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: _____

Address: _____

Phone: _____ Email (will be used for official notifications): _____

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: STEPHEN MAJEWSKI / MAJEWSKI ARCHITECTURE LLC Profession: ARCHITECT

Address: 20 VALLEY STREET, SOUTH ORANGE, NJ 07079

Phone: 973-762-7792 Email (will be used for official notifications): STEVEN@MAJEWSKIARCHITECTURE.COM

5. PROPERTY INFORMATION: Block(s): 1204 Lot(s): 11 Zone: R-7

Street Address: 103 WASHINGTON AVE Total Area (square feet/acres): 27,500 / 0.631 AC.

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☐ No ☒ Yes (if yes, explain or attach Board resolution) 1) FRONT YARD VARIANCE - 2 STORY ADDITION/NOISE SIDE IN 1996 - RESOLUTION ATTACHED.
2) REAR GARAGE SETBACK GRANTED - UNKNOWN DATE.

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☐ No ☒ Yes (if yes, explain) _____

The current front yard setback is 24.4 ft. to the home whereas 40 ft min. is required

The current rear yard setback to the home is +/- 29.5 ft. whereas 40 ft. min. is required

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

☒ No ☐ Yes (if yes, explain) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:

The existing home is on an oversized lot for the zone, but the lot is unusually wide with a deficient depth. The allowed building envelope is only about 20 dft. In depth but with about 230 ft. wide, the existing house is in violation of the front and rear setbacks. The proposed dormers on the existing roof will be in the required front yard setback of 40 ft.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):

The variance requested is for new dormers on the existing roof on the second floor level. The variance required is for deficient front yard at +/-29.8 ft. setback whereas a 40 ft. front yard is required. Violation is of Chapter 21 section 21:15.1 d. and table 501

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:

The variance request is due to the unusually wide lot with deficient depth. This lot has a very deficient building envelope of only about 20 deep and the majority of the existing home is in violation of front and rear yard setbacks. The dormers will enhance the home's architectural aesthetic and improve the interior design which lacks light and windows.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Michael Fetchko and Amy Fetchko hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s):

Michael Fetchko and Amy Fetchko

Sworn and subscribed before me, this 21 day of October, 2021.

Anji Centolanza
Notary



OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 20__.

Notary

SUBMIT ORIGINAL AND 16 COPIES

FORM A

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: Michael E Fetchko

Block: 1204 Lot: 11

Street Address: 103 Washington Ave. Basking Ridge, NJ

I, Michael Fetchko, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature: Michael Fetchko Date: 10/21/21



FRONT-STREET VIEW



FRONT-STREET VIEW



NORTH-LEFT SIDE



NORTH-EAST CORNER



REAR-EAST.

SUBMIT 17 COPIES TOTAL

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	1/2 ACRE 21,780 S.F.	0.63 ACRE 27,500 S.F.	NC = NO CHANGE
LOT WIDTH	125 FT.	275 FT.	NC
FRONTAGE	75 FT.	275 FT.	NC
FRONT YARD SETBACK	40 FT.	24.4 FT TO HOUSE AT DORMERS	NC +/- 29.8 FT
REAR YARD SETBACK	40 FT	+/- 29.5 FT	NC.
COMBINED SIDE YARD	60 FT	+/- 213 FT	NC
SIDE YARD	20 FT	+/- 126 FT NORTH +/- 87.5 FT SOUTH	NC.
COVERAGE	20% 5,500 S.F.	+/- 17.2% 4,730 S.F.	NC.
HEIGHT	35 FT 2.5 STORY	+/- 19 FT 2 STORY	N.C.
IF REQUIRED, GROSS FLOOR AREA	NA - NOT APPLICABLE	—	NC.
IF REQUIRED, FLOOR AREA RATIO	NA	—	NC.
IF REQUIRED, IMPROVABLE LOT AREA	5000 S.F.	4300 S.F.	N.C.

Re: Application of Michael E. and Amy H. Fetchko

WHEREAS, on June 12, 1996, the Bernards Township Board of Adjustment, by a vote of 5 to 0, granted the application of Michael E. and Amy H. Fetchko, and directed its attorney to prepare a memorializing resolution pursuant to N.J.S.A. 40:55D-10(g);

NOW, THEREFORE, by way of memorializing the action of the Board taken on June 12, 1996, the Bernards Township Board of Adjustment finds as follows:

1. Applicants are the owners of property located at 103 Washington Avenue, Basking Ridge, also known as Block 33, Lot 21.01 on the Bernards Township tax map. The property is in the R-7 Standard Residential zone, faces Washington Avenue to the west and is bounded by lots to the north, east and south. The property contains a one-and-one-half story frame dwelling, a small frame shed to the northeasterly rear of the property, a detached frame garage to the southeasterly rear of the property and a paved driveway extending from the westerly front of the property to the garage.

2. The property is a rectangular lot consisting of 27,500 square feet. The position of the dwelling on the lot creates a nonconforming westerly front yard setback of 24.59 feet where a minimum of 50 feet is required under the Land Development Ordinance of the Township of Bernards (the "zoning ordinance"). The position of the frame garage on the property is such that the easterly rear of the garage extends 6.44 feet into the adjacent lot where a minimum of 40 feet from the rear property line is required under the zoning

ordinance. The previous owner of the property obtained a variance permitting a shed to be constructed to the rear of the garage. In all other respects the lot and structures comply with the zoning ordinance.

3. Applicants seek relief pursuant to N.J.S.A. 40:55D-70(c) from the requirements of Table 501 of the zoning ordinance for permission to construct a two-story addition to the northerly side of the residence which would extend but not increase the preexisting nonconforming westerly front yard setback.

4. The proposed construction will provide the Applicants with additional living space. The proposed construction will also upgrade the house and increase the value of surrounding properties. No one appeared in opposition to the application.

5. In view of the size of the lot, the position of the residence on the lot, the preexisting nonconformities, and particularly in view of the limited area within which an addition to the residence could feasibly be constructed, the Board finds that strict application of the zoning ordinance in this case would create peculiar and exceptional practical difficulties and impose undue hardship upon the Applicants. The relief requested can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the zone plan and zoning ordinance.

NOW, THEREFORE, BE IT RESOLVED by the Bernards Township Board of Adjustment that the relief requested by the application, as amended, and the map and plans submitted therewith be and the same is hereby granted, subject to the condition that the

applicants shall comply with all applicable Federal, State and local regulations.

Dated: July 10, 1996

FOR: 3
AGAINST: 0
ABSTAIN: 0

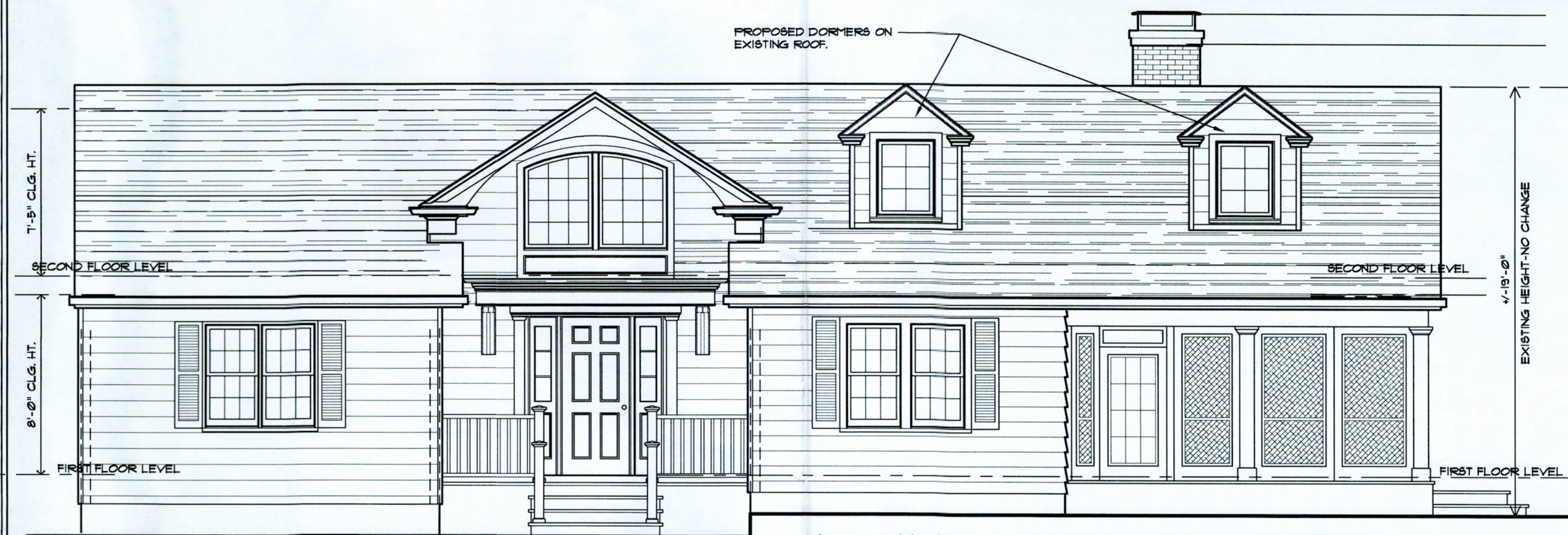
I hereby certify that the foregoing is a true and correct copy of the Resolution duly adopted by the Board of Adjustment of the Township of Bernards in the County of Somerset, State of New Jersey, at its meeting of 7.10.96


Secretary, Board of Adjustment

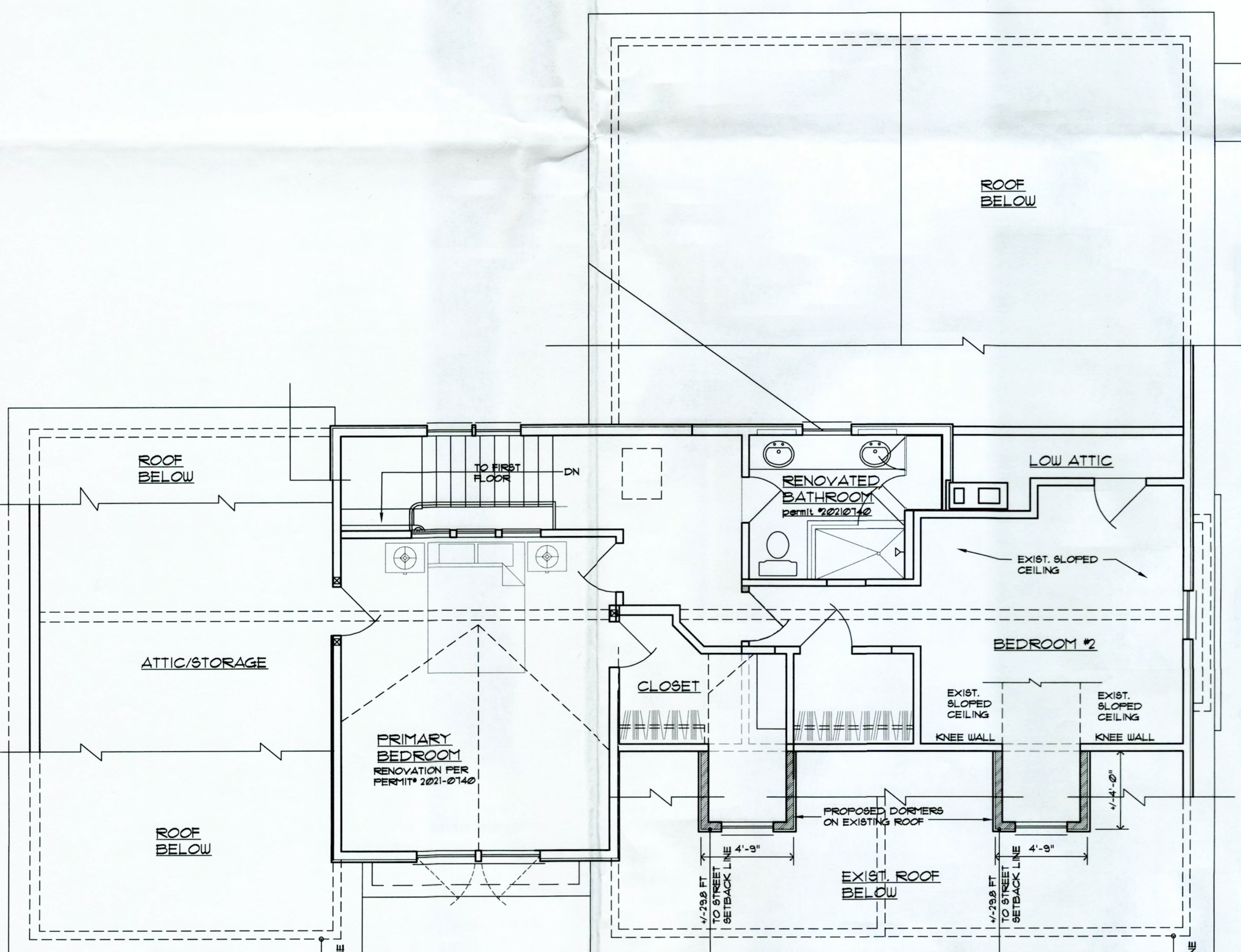


FRONT ELEVATION
SCALE: 1/4" = 1'-0" WASHINGTON AVE. SIDE- WEST SIDE

PRESENT CONDITIONS



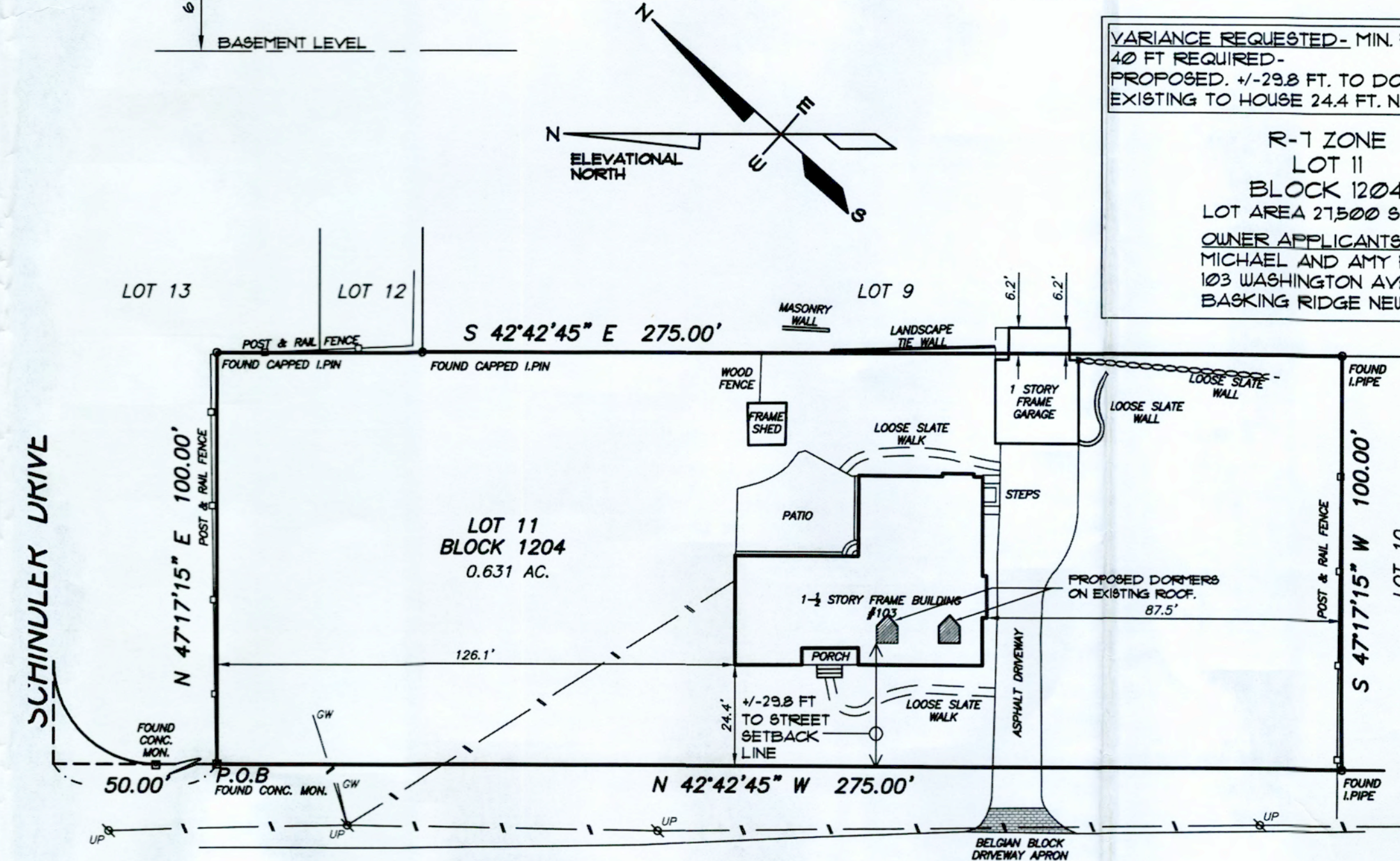
PROPOSED FRONT ELEVATION WITH DORMERS
SCALE: 1/4" = 1'-0" WASHINGTON AVE SIDE- WEST SIDE



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION WITH DORMERS
SCALE: 1/4" = 1'-0" SOUTH FACING VIEW



PLOT PLAN
SCALE: 1" = 30'-0"

VARIANCE REQUESTED- MIN FRONT SETBACK 40 FT REQUIRED-
PROPOSED, 4'-29.8 FT. TO DORMERS
EXISTING TO HOUSE 24.4 FT. NO CHANGE

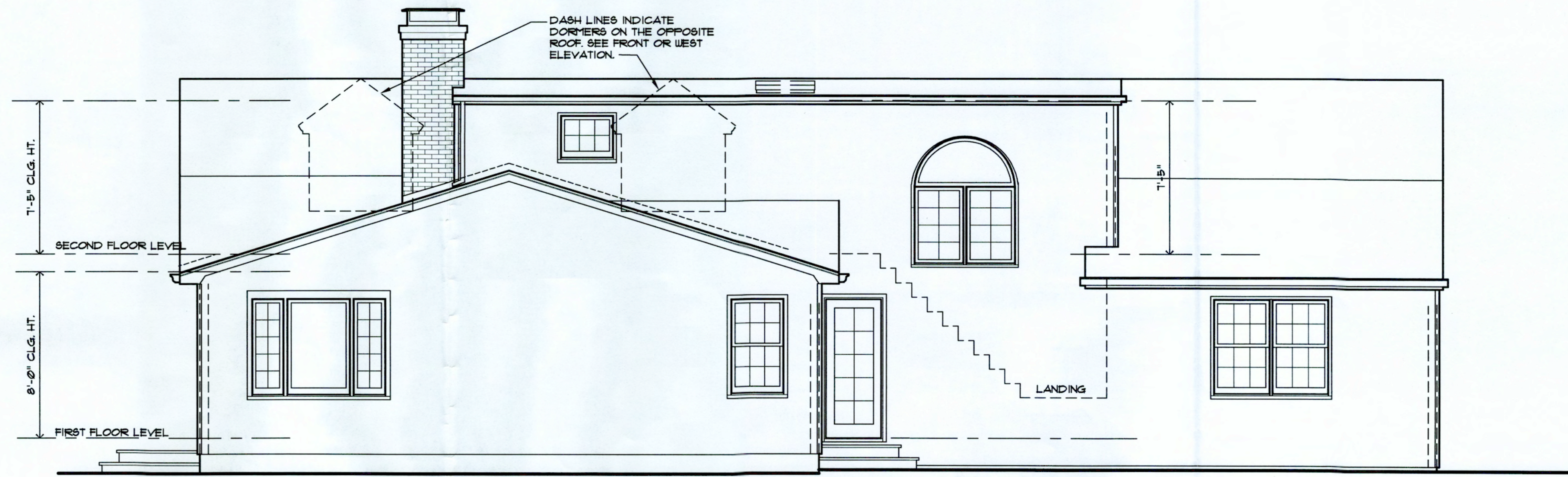
R-1 ZONE
LOT 11
BLOCK 1204
LOT AREA 21,500 SQ. FT.
OWNER APPLICANTS
MICHAEL AND AMY FETCHKO
103 WASHINGTON AVE.
BASKING RIDGE NEW JERSEY

MAJEWski
ARCHITECTURE LLC
Stephen Majewski, A.I.A.
20 Valley St, Suite 210
South Orange, NJ 07079
Ph: 973 762 7792
steve@majewskiarchitecture.com

Client
**ROOF DORMERS
FETCHKO RESIDENCE
103 WASHINGTON AVE
BASKING RIDGE, NJ**

Title
**EXTERIOR ELEVATIONS
SITE PLOT PLAN
SECOND FLOOR PLAN**

Revisions	Date	By



REAR ELEVATION
SCALE: 1/4" = 1'-0" EAST FACING VIEW



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0" NORTH FACING VIEW

M AJEWSKI
ARCHITECTURE LLC
Stephen Majewski, A.I.A.
Stephen Majewski
20 Valley St. Suite 210
South Orange, NJ 07079
Ph: 973 762 7792
License No. AI 08453
CERT. NO. 21AC00096500
steve@majewskiarchitecture.com

Client
ROOF DORMERS
FETCHKO RESIDENCE
103 WASHINGTON AVE
BASKING RIDGE, NJ

Title
NORTH & EAST
EXTERIOR ELEVATIONS

Date	NOV. 19, 2021	Sheet	A-2
Scale	1/4" = 1'-0"		
Drawn	SM-MB		
Job No.	20-0470		
File		of 2 Sheets	

EC

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB21-036 Block: 7501 Lot: 15 Zone: B-4

Applicant: B3 CHURCH STREET LLC

Address of Property: 15 CHURCH STREET

Description: "d(1)" USE VARIANCE TO ALLOW (2) APARTMENTS
WHEN ONLY (1) IS ALLOWED

APPLICATION CHECKLIST

- | | |
|---|--|
| <input checked="" type="checkbox"/> Original + 16 copies of Application | <input checked="" type="checkbox"/> Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> W-9 | <input checked="" type="checkbox"/> Architectural Plans |
| <input checked="" type="checkbox"/> Site Visit Consent (A) | <input checked="" type="checkbox"/> Survey |
| <input checked="" type="checkbox"/> Ownership Form (B) | <input checked="" type="checkbox"/> Photographs |
| <input checked="" type="checkbox"/> 200' Property Search List (C) | <input type="checkbox"/> Wetlands Report/LOI |
| <input checked="" type="checkbox"/> Tax Certification (D) | <input checked="" type="checkbox"/> Application Fee |
| <input checked="" type="checkbox"/> Notice to be Served/Published (E) | <input checked="" type="checkbox"/> Escrow Deposit |
| <input checked="" type="checkbox"/> Dimensional Statistics Form (F) | <input checked="" type="checkbox"/> Imaging Fee |
| <input checked="" type="checkbox"/> Contributions Disclosure Form (G) | <input type="checkbox"/> Tax Map Revision Fee |
| | <input checked="" type="checkbox"/> Checklist |

SCHEDULING

11.30.21 Original Submission Date
1.14.22 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete
____ Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
1.5.22 Completeness Hearing
2.9.22 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

12.1.21 Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

Bisogno, Loeffler & Zelley, L.L.C.

Attorneys at Law
88 South Finley Avenue
Post Office Box 408
Basking Ridge, New Jersey 07920

Vincent T. Bisogno
vbisogno@baskingridgelaw.com
Paul H. Loeffler (Member N.J. & N.Y. Bars)
ploeffler@baskingridgelaw.com
Frederick B. Zelley (Member N.J. & Pa. Bars)
fzelley@baskingridgelaw.com
Paul D. Mitchell
pmitchell@baskingridgelaw.com

Telephone: (908) 766-6666
Facsimile: (908) 766-7809

November 30, 2021

Ms. Cynthia Kiefer, Administrator
Bernards Township Board of Adjustment
277 South Maple Avenue
Basking Ridge, New Jersey 07920

Via Hand Delivery

Re: Application for D Variance
Applicant: B3 Church Street LLC
Tax Block 7501, Lot 15 – 15 Church Street

Dear Ms. Kiefer:

This office represents B3 Church Street LLC, the Owner and Applicant in the above referenced Application.

Enclosed herewith please find the following:

1. Bernards Township Zoning Board of Adjustment Application (O+16)
2. Addendum to Application (O+16)
3. Preliminary Site Plan Checklist (17)
4. Final Site Plan Checklist (17)
5. Dimensional Statistics Sheet (17)
6. Site Inspection Consent Form (17)
7. Statement of Ownership (O+16)

8. (4) Contribution Disclosure Statements (17)
9. Proposed Notice of Hearing (17)
10. 200' Property Owners List (17)
11. Property Tax Certification (updated list has been ordered) (17)
12. Copy of Applicant's Deed (17)
13. Copy of July 15, 1993 Planning Board Resolution for Prior Site Plan Approval
14. Site Photographs (8 photos) (17 sets)
15. Survey by Murphy & Hollows Associates LLC (17)
16. Engineering Plans by Murphy & Hollows Associates LLC (4 Sheets) (17 Sets)
17. Architectural Plans by Daniel W. Lincoln, R.A. (6 Sheets) (17 Sets)
[Note: There are 6 sheets, not 5, but two are both labeled "3 of 5".]
18. Our client's checks in the respective amounts of \$1,515.00 for the Application Fee, \$5,690.00 for the Escrows (based upon 5,500 SF) and \$150.00 for the Document Imaging Fee.
18. Form W-9

If any additional documentation is needed in order to make this application complete, kindly advise our office accordingly. If not, kindly advise us when the application has been deemed to be complete and of the scheduled hearing date. Needless to say, our client would like to have the application heard as soon as possible.

Thank you for your attention and anticipated continued cooperation in this matter. Should you have any questions or concerns, or if we may otherwise be of any further assistance, please do not hesitate to contact me.

Very truly yours,


Frederick B. Zelley

FBZ/wp

Enclosures

cc: Mr. John P. Boyle, III (via email, w/o plans)
Mr. Michael Netta (via email, w/o plans)
Mr. William G. Hollows, P.E., Murphy & Hollows Associates (via email, w/o plans)
Mr. Daniel W. Lincoln, AIA (via email, w/o plans)

TOWNSHIP OF BERNARDS
2019 ZONING BOARD OF ADJUSTMENT APPLICATION

- | | |
|--|--|
| <input type="checkbox"/> Bulk or Dimensional ("c") Variance
<input checked="" type="checkbox"/> Use ("d") Variance
<input type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify): _____ |
|--|--|

1. APPLICANT: B3 Church Street LLC

Address: c/o Boyle RE Group, 313 S. Ave., Ste. 202, Fanwood, NJ 07023

Phone: (home) _____ (work) (908) 464-6000 (mobile) _____

Email (will be used for official notifications): JB@Boylere.com

2. OWNER (if different from applicant): Same as Applicant

Address: _____

Phone: _____ Email (will be used for official notifications): _____

3. ATTORNEY: Frederick B. Zelley / Bisogno, Loeffler & Zelley, L.L.C.

Address: 88 South Finley Avenue, P.O. Box 408, Basking Ridge, NJ 07920

Phone: (908) 766-6666 Email (will be used for official notifications): fzelley@baskingridgelaw.com

4. OTHER PROFESSIONALS (*Engineer, Architect, etc. Attach additional sheet if necessary*):

Name: William G. Hollows / Murphy & Hollows Assoc. Profession: P.E.

Address: 192 Central Avenue, Stirling, NJ 07980

Phone: (908) 580-1255 Email (will be used for official notifications): murphyhollows@gmail.com

5. PROPERTY INFORMATION: Block(s): 7501 Lot(s): 15 Zone: B-4 L/C

Street Address: 15 Church Street Total Area (*square feet/acres*): 16,988 sf / .39 ac

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☐ No ☐ Yes (*if yes, explain or attach Board resolution*) _____

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☐ No ☒ Yes (*if yes, explain*) Excess Lot Coverage

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

☒ No ☐ Yes (if yes, explain and attach copy) _____

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: The property was formerly the Liberty Corner Firehouse. Current use is commercial on both floors (retail on first level and most recently a pilates studio on second level). Applicant wishes to convert the second floor to two (2) 2-bedroom 1.5 bath residential apartments. Only one apartment is permitted in the zone. Applicant is therefore seeking a D-1 variance for the second apartment. No site work is proposed -- only interior changes to the building.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):

Ordinance Section 21-10.8(a)(1)(c). Two (2) residential apartments proposed when only one is permitted.

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION: _____

Please see Addendum.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, B3 Church Street LLC and _____ hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): _____ and John P. Boyle, III, Managing Member

Sworn and subscribed before me, this 24th day of November, 2021.

Nicole Bonardel

Notary **NICOLE BONARDEL**
A NOTARY PUBLIC OF NEW JERSEY
MY COMMISSION EXPIRES MAY 18, 2026

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Sworn and subscribed before me, this _____ day of _____, 2019.

Notary

ADDENDUM TO BOARD OF ADJUSTMENT APPLICATION

B3 CHURCH STREET LLC

Tax Block 7501, Lot 15 – 15 Church Street

The following are responses to the respective Application Items noted “Please see Addendum”:

4. [Additional Professionals]

Daniel W. Lincoln, R.A.
28 Olcott Avenue, Bernardsville, NJ 07924
(908) 204-0088
dwlincolnra@yahoo.com

11. [Arguments in Support of Application]

A variance application for a use not permitted by the zoning ordinance must satisfy the statutory “special reasons” standard. N.J.S.A. 40:55D–70(d). That standard has generally been defined in relation to the purposes of zoning that are set forth in N.J.S.A. 40:55D-2. General welfare is the zoning purpose that most clearly amplifies the meaning of special reasons. Medici v. BPR Co., 107 N.J. 1, 18 (1987). To fulfill that purpose, an applicant must demonstrate that the “the subject property [is] particularly suitable for the proposed use”. Medici, 107 N.J. at 24.

“An application for a use variance based on the assertion that a property is particularly suitable for a project requires an evaluation of whether the use, otherwise not permitted in the zone, when authorized for the particular parcel, will promote the general welfare as defined by the MLUL”. Price Himeji, 214 N.J. 263, 287 (2013). “[P]articularly suitable means that ‘the general welfare is served because the use is peculiarly fitted to the particular location for which the variance is sought.’” Ibid., quoting Kohl v. Mayor and Council of Borough of Fair Lawn, 50 N.J. 268, 279 (1967). “[I]n the context of the specific parcel, it means that strict adherence to the established zoning requirements would be less beneficial to the general welfare. Ibid., citing Kramer v. Board of Adjustment, Sea Girt, 45 N.J. 268, 290–91 (1965).

“[D]emonstrating that a property is particularly suitable for a use does not require proof that there is no other potential location for the use nor does it demand evidence that the project ‘must’ be built in a particular location. Rather, it is an inquiry into whether the property is particularly suited for the proposed purpose, in the sense that it is especially well-suited for the use, in spite of the fact that the use is not permitted in the zone.” Price, 214 N.J. at 293 (emphasis added).

In the present Application, it should be recognized that the use in question (residential apartment

use) is expressly permitted in the B-4 Liberty Corner Business Zone. A “D-1” use variance is only required because the ordinance limits the use to “one dwelling unit within a building which also contains a business use”. The Applicant could construct one apartment in the building and use the entire rest of the building for business purposes without needing a variance. Given the square footage of each of the floors of this existing building, such a plan would presumably entail having business and residential uses on the same floor, as each floor is much larger than a typical suburban apartment. The Applicant believes that following the traditional layout of having business uses on the first floor and residential uses on the second floor constitutes better planning. As noted, though, given the size of the second floor of this existing building, converting the same into a single apartment would be a waste of space and would deny a reasonably priced housing alternative to a second deserving individual, couple or small family.

The Applicant respectfully submits that permitting two apartments on the subject property would satisfy the following purposes of zoning set forth in N.J.S.A. 40:55D-2, and would promote the general welfare of the citizens of Bernards Township:

a. To encourage municipal action to guide the appropriate use or development of all lands in this State, in a manner which will promote the public health, safety, morals, and general welfare;

The proposed use would satisfy this purpose by providing a reasonably priced affordable housing alternative to single family residences which would be attractive to singles, couples, young families and seniors, in a location having public transportation (rail and bus), retail and restaurants and medical services in close proximity.

e. To promote the establishment of appropriate population densities and concentrations that will contribute to the well-being of persons, neighborhoods, communities and regions and preservation of the environment;

The proposed use would satisfy this purpose by providing a reasonably priced housing alternative to single family residences which would be attractive to singles, couples, young families and seniors, in a location having public transportation (rail and bus), retail and restaurants and medical services in close proximity. The same would be particularly attractive to young commuters to New York City and other destinations served by NJ Transit rail and bus, whose use of public transportation would contribute to the preservation of the environment.

i. To promote a desirable visual environment through creative development techniques and good civic design and arrangement;

The proposed use would satisfy this purpose by providing two (2) residences in an aesthetically attractive and unimposing structure.

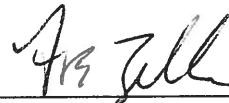
m. To encourage coordination of the various public and private procedures and activities shaping land development with a view of lessening the cost of such development and to the more efficient use of land;

The Applicant's proposed construction of two (2) residential units in a single location, in a manner which would be aesthetically attractive and physically unimposing, would constitute an efficient use of the Applicant's property.

The Negative Criteria are also satisfied as the use variance can be granted without substantial detriment to the public good and without substantial impairment of the intent and the purpose of the zone plan and zoning ordinance. "In this respect the statutory focus is on the variance's effect on the surrounding properties. The board of adjustment must evaluate the impact of the proposed use variance upon the adjacent properties and determine whether or not it will cause such damage to the character of the neighborhood as to constitute 'substantial detriment to the public good.'" Medici, 107 N.J. at 23. It is respectfully submitted that having two apartments on this site, with ample onsite parking, would have no greater impact upon the adjacent properties or upon the character of the surrounding neighborhood, much of which is residential, than would having a single apartment (as is permitted in the zone).

Respectfully Submitted,

BISOGNO, LOEFFLER & ZELLEY, LLC



By: Frederick B. Zelley, Esq.
Attorneys for the Applicant
B3 Church Street LLC

Dated: November 30, 2021

APPENDIX B, ARTICLE III

Checklist

Application for Preliminary Approval of a Major Subdivision or Site Plan (See Article VII for Details)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist(s). If the application involves a wireless telecommunications tower and/or antennas, all items listed on the Wireless Telecommunications Facilities Checklist must be also be submitted.	X		
2	A certificate from the tax collector indicating that taxes are paid.	X		
3	All required application and escrow deposit fees.	X		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	X		
5	Title block indicating:	X		
	a. Name of development and street location.	X		
	b. Name and address of applicant, owner and authorized agent, if any.	X		
	c. Name and address of professional(s) preparing plans including signature, date, license number and seal.	X		
	d. Tax map block and lot numbers.	X		
	e. Date of plan preparation and revision box with date of each revision.	X		
	f. Development application number.	X		
	g. Written and graphic scale.	X		
6	Signature of applicant and, if applicant is not owner, signed consent of the owner.	X		
7	Name and address of the attorney representing parties, if any, and the name of each client represented.	X		
8	Signature blocks as required by the Map Filing Law.	X		
9	North arrow giving reference meridian.	X		
10	Copies of any protective covenants or deed restrictions applying to the subject property, including a statement as to whether such covenants or deeds are of record. A copy or abstract of the deed or deeds or other instruments by which title is derived with the names of all owners must also be provided.		X	
11	A key map showing the entire tract and its relation to the surrounding areas, including all roads, zone boundaries and municipal boundaries within one-half (1/2) mile of the subject property at a scale of one (1) inch equals not more than two thousand (2,000) feet.	X		
12	A zoning schedule indicating the zone(s) within which the property is located and required, existing & proposed conditions relative to lot area, width, frontage, yard setbacks, lot coverage, height, floor area, floor area ratio, density, open space, parking, loading, signs, etc.	X		
13	A list of required and obtained regulatory approvals and permits.	X		
14	A list of requested variances and exceptions.	X		
15	The location and dimensions of existing & proposed property lines, existing streets, streets shown on the Township's official map or master plan, structures (indicating the use of each structure and whether existing structures will remain or be removed), building setbacks, rights-of-way, easements, parking & loading areas, driveways, railroads, bridges, culverts, drain pipes, gas transmission lines, overhead utilities, historic sites/structures, wooded areas, watercourses, flood plains, wetlands or other environmentally sensitive areas on and within 200' of the subject property.	X		
16	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to § 21-14.1.a.		X	X

No.	Item	Submitted	Not Applicable	Waiver Requested
17	Plans & profiles of proposed utility layouts, including water supply, sewage disposal, stormwater drainage, gas, telephone and electricity, showing feasible connections to existing or proposed systems. Plans for individual on-site water supply and/or sewage disposal systems shall be accompanied by the necessary local, county and/or state agency approvals. If service will be provided by an existing utility company, a letter from that company stating that service will be available before occupancy is required.		X	
18	The locations of percolation tests on each existing/proposed lot and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if sewage disposal is to be handled by individual septic system(s). For each lot, the applicant shall submit test locations and written approvals from the Health Department for both a primary and secondary septic disposal field. The applicant must show on the development plan the locations and dimensions of both septic disposal fields.		X	
19	All means of vehicular and pedestrian access to the site from public streets, including locations and dimensions of driveways and curbcuts and any traffic signs, signals, channelization, acceleration and deceleration lanes or other traffic control devices.	X		
20	Site identification sign and street sign locations and details.	X		
21	Existing & proposed topographic contour intervals based on U.S.C. & G.S. datum on and within 200' of the subject property as follows: - up to 3% grade = 1' intervals - over 3% grade = 2' intervals			X
22	A steep slope map in accordance with § 21-14.2.b, if the property contains any existing slopes of 15% or greater.			X
23	Spot and finished elevations at all property corners.		X	
24	A landscaping plan showing shade trees, screening, buffering, existing vegetation and limits of clearing, a planting schedule, details of plantings, landscape treatments and other amenities, etc. (see § 21-54.4 for detailed requirements).		X	
25	A tree identification plan and an application for tree removal permit including the following (see § 21-45.3 for detailed requirements):		X	
	a. Location of existing tree canopy and labeling of the canopy areas to be removed and to be preserved.	X		
	b. Location of individual trees with a DBH equal to or greater than six inches identified by size and species within the limit of disturbance and 30 feet beyond the limit of disturbance, labeled to be removed or to be preserved.	X		
	c. Location of individual trees with a DBH equal to or greater than ten inches identified by size and species within the property boundaries, labeled to be removed or to be preserved.	X		
	d. Tree protection details.		X	
	e. A list of all trees to be removed and, if replacement trees are required, a schedule in accordance with the table in § 21-45.1 indicating the number of replacement trees required and the number of replacement trees proposed.		X	
26	A lighting plan in accordance with Section 21-41, including the location, type, height, graphic details and specifications of all existing & proposed lighting. The plan shall show the proposed illumination in footcandle values throughout the site and shall identify the average maintained horizontal illumination in vehicular areas and in sidewalk areas.	X		
27	A soil erosion and sediment control plan, if required pursuant to Section 21-27.		X	
28	A solid waste management plan and a recycling plan, including locations and details of outdoor refuse and recycling storage areas and means of screening, in accordance with Sections 21-40 and 21-40A.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
29	Plans and profiles of proposed driveways.		X	
30	Plans, typical cross-sections, centerline profiles, tentative grades, curb radii and details of all streets on the site or off the site which are proposed to be improved, including curbing, sidewalks and drainage structures.		X	
31	Construction details in accordance with Township standards.		X	
32	Existing & proposed easements or land reserved for or dedicated to public use, utility use or for the common use of property owners in the development, including a statement of the limits and purpose of the easement rights or dedicated land.		X	
33	Existing & proposed sight triangles.		X	
34	Development staging plans.		X	
35	Existing & proposed block and lot numbers.	X		
36	The area in square feet and to the nearest tenth of an acre of all existing and proposed lots.	X		
37	A sketch of the proposed or possible layout or disposition of remaining lands, if any.		X	
38	General soil information including soil logs.		X	
39	Source and date of the current property survey and a copy of the survey showing all existing tract boundary or lot lines with lengths of courses to hundredths of a foot and bearings to half minutes, the error of closure not to exceed one (1) to ten thousand (10,000). The tract boundary or lot lines shall be clearly delineated. All bearings shall be in the New Jersey Plane Coordinate System, with coordinates shown on at least three (3) corners.	X		
40	Appropriate certification blocks as required by the Map Filing Law		X	
41	Monumentation as specified by the Map Filing Law.		X	
42	Metes and bounds description showing dimensions, bearings, curve data, length of tangents, radii, arcs, chords and central angles for all centerlines and rights-of-way and centerline curves on streets.	X		
43	Plans and computations for any storm drainage systems, including locations, details and specifications of all storm sewer lines, catch basins, inlets, manholes, culverts, headwalls, dry wells, ground water recharge basins, detention basins, etc. and existing and proposed drainage area maps.		X	
44	When a stream is proposed for alteration, improvement or relocation or when a drainage structure or fill is proposed over, under, in or along a running stream, intermittent stream, swale or drainageway, evidence of approval or of the request for approval, required modifications or lack of jurisdiction over the improvement by the New Jersey Department of Environmental Protection shall accompany the application (see § 21-54.4 for additional required details).		X	
45	When ditches, streams or watercourses are to be altered, improved or relocated, the method of stabilizing slopes and measures to control erosion and siltation, as well as typical ditch sections and profiles, shall be shown.		X	
46	For a site plan, preliminary elevations and plans of all buildings and structures, showing windows, doors, architectural treatment, roof treatment, roof appurtenances and screening, floor elevations and proposed methods of energy conservation and the locations, dimension and legend(s) of all proposed signs. For a subdivision, the approximate basement and first floor elevation for each house.	X		
47	A list of names and addresses of all stockholders or individual partners owning at least 10% of its stock of any class or at least 10% of the interest in the partnership, as the case may be.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
48	A Project Report, which may be submitted separately or as part of the Environmental Impact Assessment, including the following (see § 21-54.6 for details). Where individual maps or exhibits are submitted separately to satisfy other checklist requirements, they may be referenced in the Project Report.			X
	a. Project Description and Statistics Report.			
	b. Land Classification Map and Report.			
	c. Natural Features Report.			
	d. Open Space Plan and Report.			
	e. Land Coverage and Drainage Plan and Report.			
	f. Soil Erosion and Sedimentation Control Plan and Report.			
	g. Sewer and Water Plan and Report.			
	h. Circulation Plan and Traffic Report.			
	i. Utilities Plan and Report.			
	j. Development Schedule Plan.			
	k. Variances and Exceptions Report.			
	l. Easements and Covenants Report.			
49	An Environmental Impact Assessment, including the following (see § 21-54.6.m for details).			X
	a. Plan and description of the development plan.			
	b. Inventory of existing natural resources.			
	c. Assessment of environmental impacts.			
	d. Unavoidable adverse environmental impacts.			
	e. Steps to minimize environmental damage.			
	f. Alternatives.			
	g. Details and matters to be evaluated:			
	(1) Sewerage facilities.			
	(2) Water supply.			
	(3) Storm water.			
	(4) Stream encroachments.			
	(5) Floodplains.			
	(6) Solid waste disposal.			
	(7) Air pollution.			
	(8) Traffic.			
	(9) Social/economic factors.			
	(10) Aesthetics.			
	(11) Licenses, permits, etc.			
	(12) A copy of the development plan and application form.			
50	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		X	
51	Contribution Disclosure Statement, if required pursuant to Section 21-7A.	X		
52	A plan showing all the details required in the procedures of Table 401-A, entitled Maximum Permitted Lot Yield & Minimum Improvable Lot Area Standards, Residential Development, R-1 Through R-7 Zones.		X	
53	For each proposed dwelling, cross sections shall be provided from the center of the road to the rear of the house in existing and proposed conditions; cross sections shall be provided perpendicular to the road through the center of the dwelling to a point 50' to the rear of the dwelling; the cross section shall be provided at a scale of 1" = 10' horizontal and 1" = 10' vertical.		X	
54	A fire service plan, showing on a separate plan sheet(s) information relating to fire safety and emergency response, including: existing and proposed water lines, fire department connections, hydrants and cisterns; widths and turning radii of streets, driveways, parking aisles, emergency access roads and fire lanes; public building entrances; parking spaces; and stormwater drainage basins.		X	

APPENDIX C, ARTICLE III

Checklist

Application for Final Approval of a Major Subdivision or Site Plan

(See Article VII for Details)

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	All items required for preliminary approval as set forth in § 21-54.4, unless previously waived by the Board.	✓		
2	All additional items required by the Board as a condition of preliminary approval.		✓	
3	A certificate from the tax collector indicating that taxes are paid.	✓		
4	All required application and escrow deposit fees.	✓		
5	Final detailed architectural renderings of each building and sign, including front, side and rear elevations.	✓		
6	Final cross-sections, profiles and established grades of all streets, aisles, lanes and driveways and construction documents for all public improvements.		✓	
7	Final plans and profiles of all storm sewers.		✓	
8	Final plans and profiles of all sanitary sewers.		✓	
9	Final plans and profiles of all water mains.		✓	
10	All dimensions of the exterior boundaries of any subdivision, balanced and closed to a precision of one to 10,000, and the dimensions of all lot lines to within one to 20,000. All dimensions, angles and bearings must be tied to at least two permanent monuments not less than 300 feet apart and all information shall be indicated on the plat. At least one corner of the subdivision shall be tied to U.S.C. and G.S. benchmarks with data on the plat as to how the bearings were determined.		✓	
11	Proposed street names.		✓	
12	A Final Application Comparison Report, including:		✓	
	a. The number and type of dwelling units.		✓	
	b. The amount of nonresidential floor space.	✓		
	c. The type of community facilities and/or structures.		✓	
	d. The amount of open space to be preserved.		✓	
	e. The nature and cost of public improvements.		✓	
	f. The anticipated value of residential and nonresidential construction.		✓	
	g. Finalized landscaping and tree removal information pursuant to Sections 21-43 through 21-45.		✓	
	h. A comparison to the preliminary development approval, indicating the nature and reasons for any changes to the preliminary approval.		✓	

No.	Item	Submitted	Not Applicable	Waiver Requested
13	Organization documents, including:		✓	
	a. Articles of incorporation, by-laws and membership rules/regulations for any homeowner's association, condominium association or other organization to maintain the common open space or community facilities.		✓	
	b. A copy of the master deed detailing the rights and privileges of individual owners of common property.		✓	
	c. A copy of all materials submitted to the Department of Community Affairs as required by the New Jersey Planned Real Estate Development Full Disclosure Act Regulations and evidence of the status of acceptance of and/or approval by the Department of Community Affairs.		✓	
	d. Covenants or easements restricting the use of the common open space or elements.		✓	
	e. Covenants or agreements requiring homeowners or residents to pay the organization for the maintenance of the common open space and/or community facilities. This shall include a proposed schedule of membership fees for at least the first three years of operation.		✓	
14	All easements or covenants affecting any land in the development.		✓	
15	All maintenance agreements under which private roads and other facilities will be maintained, refuse collected and other supplementary services provided, if there is to be no homeowners' association, condominium association, open space organization or similar arrangement.		✓	
16	An offer of dedication including all legal requirements for valid dedication to the Township or, where appropriate, to another governmental body of roads or other improvements intended for public ownership.		✓	

**B3 CHURCH STREET LLC
15 CHURCH STREET, LIBERTY CORNER**

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000 SF	16,988 SF (to CL)	No Change
LOT WIDTH	50'	115'	No Change
FRONTAGE	50'	115'	No Change
FRONT YARD SETBACK	10'	17.4' (to CL)	No Change
REAR YARD SETBACK	10'	73'	No Change
COMBINED SIDE YARD	N/A	62.9'	No Change
SIDE YARD	10'	26'	No Change
COVERAGE	75%	83% *	No Change
HEIGHT	35'	28.3'	No Change
IF REQUIRED, GROSS FLOOR AREA	Not Required		
IF REQUIRED, FLOOR AREA RATIO	G/O 12.5% or 1,800 SF	32.45% / 5,513 sf **	No Change
IF REQUIRED, IMPROVABLE LOT AREA	Not Required		

* It is the Applicant's understanding that a variance for excess coverage was included among those variance(s) granted by the Planning Board to a prior owner (Pamalla Schleimer d/b/a "Pamalla's Floral & Gift Emporium") by Resolution dated July 15, 1993.

** This is a pre-existing, non-conforming condition.

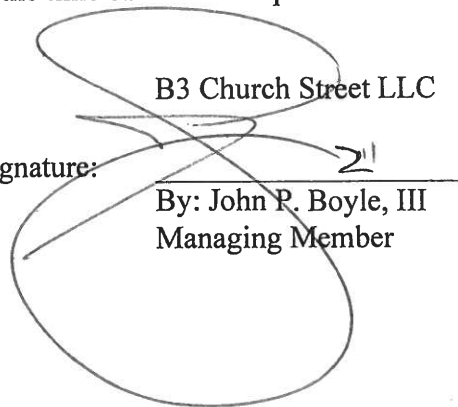
**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: B3 CHURCH STREET LLC Application: D VARIANCE
Block: 7501 Lot: 15 Street Address: 15 Church Street, Liberty Corner

I, B3 Church Street LLC, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection shall be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

B3 Church Street LLC

Signature:  Date: 11-24-21
By: John P. Boyle, III
Managing Member

SUBMIT ORIGINAL + 2 COPIES
For Corporations, LLC, LLP ONLY

STATEMENT OF OWNERSHIP

Corporate or Partnership

Name of Applicant B3 Church Street LLC

Address c/o Boyle RE Group, 313 S. Ave., Ste. 202
Fanwood, NJ 07023

The following is a list of all shareholders and/or partners owning beneficially or having registered in their names not less than ten percent (10%) of the stock of the corporation or interest in a partnership involved in an application hereinabove referred to:

Name John P. Boyle III

Address: 313 S. Avenue
Fanwood, NJ 07023

Name Nicholas Burdi

Address: 1140 Globe Avenue
Mountainside, NJ 07092

Name _____

Address: _____

Name _____

Address: _____

Name Gerard Burdi

Address: 1140 Globe Avenue
Mountainside, NJ 07092

Name _____

Address: _____

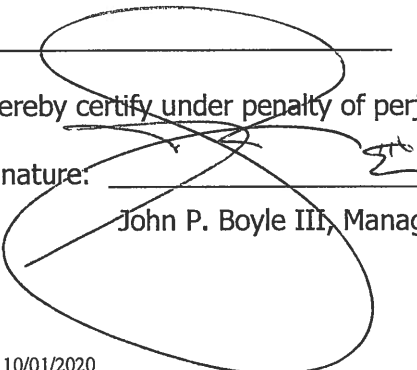
Name _____

Address: _____

Name _____

Address: _____

I hereby certify under penalty of perjury that the foregoing is true:

Signature:  Date: November 24, 2021

John P. Boyle III, Managing Member

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

CONTRIBUTION DISCLOSURE STATEMENT

Contribution Disclosure Statement Required. Pursuant to Bernards Township Ordinance Section 21-7A (Ordinance #1745, adopted October 26, 2004), Contribution Disclosure Statements are required for certain types of development applications that include a request for a variance or other relief. When required, a Contribution Disclosure Statement must be submitted by all applicants and property owners, as well as all professionals who apply for or provide testimony, plans or reports in support of the application. See Section 21-7A for details.

Applicant: B3 CHURCH STREET LLC Application: D VARIANCE

Pursuant to Bernards Township Ordinance Section 21-7A, I hereby certify that I, or the firm or entity with which I am associated, made the following contributions to or on behalf of a candidate, candidate committee, joint candidates committee, political committee, continuing political committee or political party committee of, or pertaining to, the Township of Bernards, within one year prior to the filing of the above application.

☒ I made no contributions.

☐ I made the following contributions:

Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature: _____

Name: _____

Title: _____

Firm: _____

Address: _____

Date: _____

John P. Boyle, III

Managing Member

B3 Church Street LLC

c/o Boyle RE Group, 313 S. Ave., Ste. 202, Fanwood, NJ 07023

Bernards Township Planning Board Application

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

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Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature: _____


Name: _____

Title: _____

Firm: _____

Address: _____

Date: _____



Frederick B. Zelle

Member

Bisogno, Loeffler & Zelle, LLC

88 S. Finley Ave., Basking Ridge, NJ 07920

Bernards Township Planning Board Application

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

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Applicant: B3 CHURCH STREET LLC Application: D VARIANCE

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Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature: _____

Name: _____

Title: _____

Firm: _____

Address: _____

Date: _____

Daniel W. Lincoln

Daniel W. Lincoln

Principal

Daniel W. Lincoln, R.A.

28 Olcott Avenue, Bernardsville, NJ 07924

11/29/21

Bernards Township Planning Board Application

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

CONTRIBUTION DISCLOSURE STATEMENT

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Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____
Date: _____	Amount: _____	Recipient: _____

Signature: _____

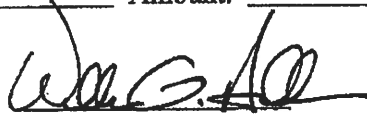
Name: _____

Title: _____

Firm: _____

Address: _____

Date: _____



William G. Hollows, P.E.

Partner

Murphy & Hollows Associates LLC

192 Central Avenue, Stirling, NJ 07980

Nov. 29, 2021

Bernards Township Planning Board Application

NOTICE OF PUBLIC HEARING
BERNARDS TOWNSHIP BOARD OF ADJUSTMENT

YOU ARE HEREBY NOTIFIED that the undersigned Applicant has filed an application with the Bernards Township Board of Adjustment for variance relief relative to the Applicant's property known as Tax Block 7501, Lot 15 and located at 15 Church Street, Liberty Corner, New Jersey, which is located in the B-4 Liberty Corner Business Zone. The Applicant wishes to construct two residential apartments on the second floor of the existing building, with no exterior changes to the building and no changes to the site. This will require a variance from Bernards Township Ordinance Section 21-10.8(a)(1)(c), which only permits one such apartment.

With the exception of the aforementioned variance, the Applicant believes that no other variance, waiver or exception is required in order to grant the approvals requested. However, if the Board of Adjustment directs that additional variance(s), waiver(s) or exception(s) is/are needed, the Applicant may seek the same in accordance with such direction.

A copy of the proposed plans and application are on file with the Secretary to the Board of Adjustment and are open for inspection during regular business hours at the office of said Secretary, which is located at 277 South Maple Avenue, Basking Ridge, New Jersey.

The application will be considered by the Bernards Township Board of Adjustment on Wednesday, _____, 2022 at 7:30 p.m. at the Bernards Township Municipal Building, Courtroom, 1 Collyer Lane, Basking Ridge, New Jersey 07920. A hearing will be held by the Board at that time during which members of the public will be heard on the matter. The public will also be able to view the meeting live on Optimum/Cablevision TV - Channel 15 and Verizon FIOS TV - Channel 35. The meeting will also be streamed live for those interested in watching on their computers. The link will be available at 7:30 PM by clicking on the "Watch the Meeting Live" icon on the Bernards Township homepage. Any interested party may participate in said hearing in accordance with the rules of the Board of Adjustment.

B3 Church Street LLC /s/

Dated: November 30, 2021

Submitted by:
Frederick B. Zelley, Esq.
Bisogno, Loeffler & Zelley, L.L.C.
88 South Finley Avenue
P.O. Box 408
Basking Ridge, New Jersey 07920
(908) 766-6666
FAX: (908) 766-7809
Email: fzelley@baskingridgelaw.com



OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE

BASKING RIDGE, NJ 07920

(908) 204-3082 Fax (908) 766-1644

*** 200 Foot Property Search ***

** VALID FOR 90 DAYS **

Date: 07/27/2021

Block: 7501 **Lot(s):** 15 **Qual:**

Property Location: 15 CHURCH ST

Applicant: Paul D. Mitchell, Esq

Phone : **Fax:** **Email:** pmitchell@baskingridgelaw.com

PROPERTY OWNER INFORMATION

Name: B3 CHURCH STREET LLC

Address: 313 SOUTH AVE, SUITE 203

City, State, Zip: FANWOOD NJ 07023

Due to the location of the referenced
Block and Lot, the following
Fire Company Should be notified:



Liberty Corner Fire Company
P.O. Box 98, Church St.
Liberty Corner, NJ 07938

Email When Complete:

Email Report To: Paul D. Mitchell, Esq
pmitchell@baskingridgelaw.com

CERTIFIED BY:

David Centrelli, Assessor - Township Of Bernards

Amount Paid: \$10.00

Paid By: Check (No. 14877)

Bernards Township

Parcel Offset List

Target Parcel(s): Block-Lot: 7501-15
B3 CHURCH STREET LLC
15 CHURCH ST

18 parcels fall within 200 feet of this parcel(s).

Block-Lot: 9301-29

ENGLISH, BARTON C
BOX 12
LIBERTY CORNER NJ 07938
RE: 3633 VALLEY RD

Block-Lot: 9301-26

DENMAR ASSOCIATES, LLC
PO BOX 294
LIBERTY CORNER NJ 07938
RE: 6-12 CHURCH ST

Block-Lot: 9301-25

ACUPUNCTURE CENTER FOR REPRODUCTIVE
PO BOX 200
LIBERTY CORNER NJ 07938
RE: 14 CHURCH ST

Block-Lot: 9301-24

RUNYON, JOHN
PO BOX 359
BASKING RIDGE NJ 07920
RE: 18 CHURCH ST

Block-Lot: 9301-23

22 CHURCH STREET ASSOCIATION
20 CHURCH ST
LIBERTY CORNER NJ 07938
RE: 20 CHURCH ST

Block-Lot: 9301-22

22 CHURCH STREET ASSOC
PO BOX 300
LIBERTY CORNER NJ 07938
RE: 22 CHURCH ST

Block-Lot: 9301-21

26 CHURCH STREET ASSOC
BOX 300
LIBERTY CORNER NJ 07938
RE: 26 CHURCH ST

Block-Lot: 7601-19

ZALKALNS, HARRY JOHN & JULLIAN
520 LYONS RD
BASKING RIDGE NJ 07920
RE: 520 LYONS RD

Block-Lot: 7601-18

CURCIO, VINCENT J III
524 LYONS RD
BASKING RIDGE NJ 07920
RE: 524 LYONS RD

Block-Lot: 7601-17

JANESKI, JAMES F & MAUREEN B
109 SOUTH SHORE RD
EDINBURG NY 12134
RE: 518 LYONS RD

Block-Lot: 7601-16

RAISER, THOMAS C & NADA K
PO BOX 310
LIBERTY CORNER NJ 07938
RE: 514 LYONS RD

Block-Lot: 7501-17

CHURCH STREET REAL ESTATE LLC
23 CHURCH ST
LIBERTY CORNER NJ 07938
RE: 23 CHURCH ST

Block-Lot: 7501-16

NERVINE ASSOC PARTNERSHIP;C/O OLSEN
PO BOX 11
FAR HILLS NJ 07931
RE: 21 CHURCH ST

Block-Lot: 7501-14

BWR HOLDINGS LLC
PO BOX 76
LIBERTY CORNER NJ 07938
RE: 9 CHURCH ST

Block-Lot: 7501-13

BWR HOLDINGS LLC
PO BOX 76
LIBERTY CORNER NJ 07938
RE: CHURCH ST & LYONS RD

Block-Lot: 7501-12

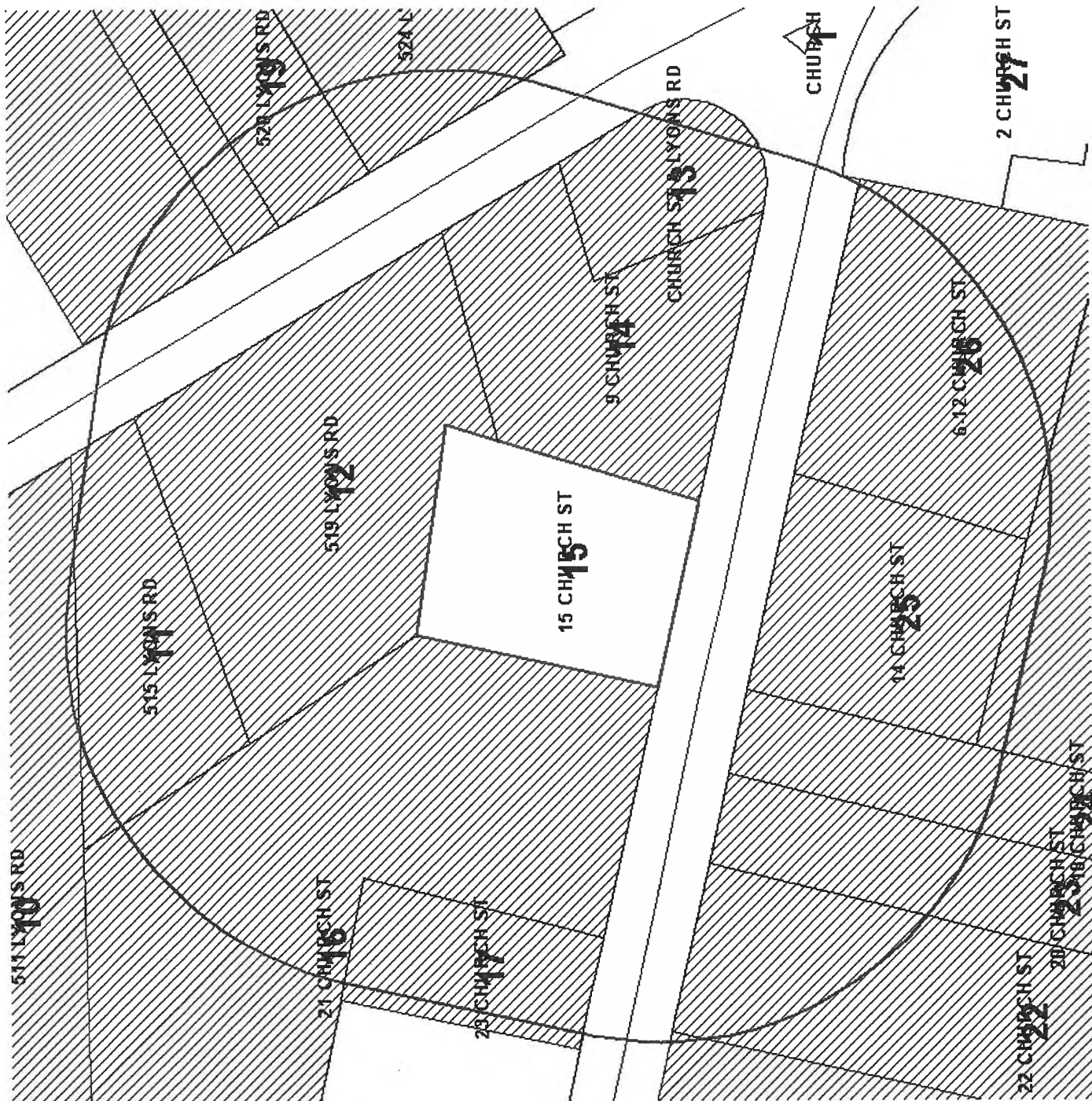
DORRMAN, DOUGLAS & JACLYN
519 LYONS RD
BASKING RIDGE NJ 07920
RE: 519 LYONS RD

Block-Lot: 7501-11

KELLY, H THOMAS JR & MARY D
515 LYONS RD
LIBERTY CORNER NJ 07938
RE: 515 LYONS RD

Block-Lot: 7501-10

SAIF, MINA & FALCON, CARLA
511 LYONS RD
BASKING RIDGE NJ 07920
RE: 511 LYONS RD





OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE
BASKING RIDGE, NJ 07920
(908)-204-3082 FAX (908)-766-1644

200 FOOT PROPERTY SEARCH

List of names and addresses of all owners of property as shown on the current tax duplicate located within 200 feet of any part of the property affected by this application. The Township of Bernards accepts no liability for errors hereon. *The attached list was compiled by the Engineering Department.*

If the property is within 200 feet of an adjoining municipality, the Township Clerk of that municipality should be notified. In addition, the applicant must also obtain the names and addresses of the owners of the land in such adjoining municipalities that are located within 200 feet of the subject premises.

The following is a list of utility companies located within Bernards Township. It is not to be construed as utilities being on or within 200 feet of the property being searched.

- | | | |
|--|---|---|
| 1. ALGONQUIN GAS TRANSMISSION CO
1 Lindbergh Rd
Stony Point, NY 10980
(908) 757-1212 | 6. NEW JERSEY AMERICAN WATER CO
Donna Short, GIS Supervisor
NJ-American Water Company, Inc.
1025 Laurel Oak Rd
Voorhees, NJ 08043 | 10. NEW JERSEY BELL TELEPHONE CO
Edward D. Young III, Secretary
Verizon Legal Dept.
540 Broad St – Room 2001
Newark, NJ 07101
(201) 649-2233 |
| 2. BELL ATLANTIC CORPORATION
Secretary, 46 th Floor
1717 Arch
Philadelphia, PA 19102 | 7. CABLEVISION OF RARITAN VALLEY
275 Centennial Ave; CN6805
Piscataway, NJ 08855
Attn: Margurite Prenderville
Construction Dept | 11. TRANSCONTINENTAL GAS PIPELINE
Division Office
3200 S Wood Ave
Linden, NJ 07036 |
| 3. JCP & L/ GPU
Service Tax Dept
PO Box 1911
Morristown, NJ 07962-1911 | 8. BERNARDS TWP SEWERAGE AUTHORITY
1 Collyer Ln
Basking Ridge, NJ 07920
(908) 204-3002 | 12. VERIZON BUSINESS/MCI
Right of Way Dept.
2400 N Glenville Dr
Richardson, TX 75082 |
| 4. PUBLIC SERVICE ELECTRIC & GAS
Manager – Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102 | 9. ENVIRONMENTAL DISPOSAL CORP
William Halsey, President
601 State Hwy 202/206
Bedminster, NJ 07921
(908) 234-0677 | |
| 5. VERIZON COMMUNICATIONS
Engineering
290 W Mt Pleasant Ave; Ste 1400
Livingston, NJ 07039-2763 | | |

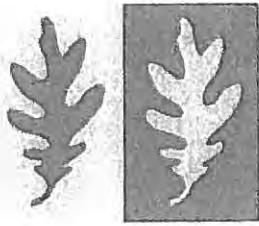
PLEASE NOTE :
Numbers 1,3,4,5 and 7 are
registered with the Township and
REQUIRE NOTIFICATION

If the property is adjacent to a State Highway, the
COMMISSIONER OF TRANSPORTATION
must be notified at

NEW JERSEY DEPT OF TRANSPORTATION
1035 Parkway Ave., CN600
Trenton, NJ 08625

If the property is adjacent to a County Road, the
SOMERSET COUNTY PLANNING BOARD
must be notified at

SOMERSET COUNTY PLANNING BOARD
PO Box 3000
Somerville, NJ 08876



Township of Bernards

Kevin Sant'Angelo, Tax Collector

1 Collyer Lane, Basking Ridge, NJ 07920

Phone: 908-204-3080; Fax: 908-766-1941; Website: www.bernards.org

September 27, 2021

This is to certify that the property located at Block 7501 Lot 15, otherwise known as 15 Church St, Basking Ridge, NJ is assessed to B3 Church St LLC, and the property taxes are paid current through 3rd Quarter 2021.

Very truly yours,



Kevin Sant'Angelo
Tax Collector



SOMERSET COUNTY
DOCUMENT COVER SHEET

HON. STEVE PETER
SOMERSET COUNTY CLERK
PO BOX 3000
20 GROVE STREET
SOMERVILLE, NJ 08876

WWW.CO.SOMERSET.NJ.US

Steve Peter, County Clerk
Somerset County, NJ
2021 Mar 18 02:15 PM
BK: 7321 PGS: 2427-2432
Instrument # 2021017833
Doc Type: DEED Fee: \$93.00
Consideration: \$1,100,000.00
Exemption: No Exemption
RTF: \$10785.00
Total RTF: \$10,785.00 Mansion Tax: \$11,000.00

(Official Use Only)

DATE OF DOCUMENT: 03/05/2021	TYPE OF DOCUMENT: Deed
FIRST PARTY (Grantor, Mortgagor, Seller or Assignor) 15 Church, LLC	SECOND PARTY (Grantee, Mortgagee, Buyer, Assignee) B3 Church Street, LLC
ADDITIONAL PARTIES:	

THE FOLLOWING SECTION IS REQUIRED FOR DEEDS ONLY	
MUNICIPALITY: Bernards	MAILING ADDRESS OF GRANTEE: 15 Church Street Bernards, NJ 07938
BLOCK: 7501	
LOT: 15	
CONSIDERATION: \$ 1,100,000.00	

THE FOLLOWING SECTION IS FOR ORIGINAL MORTGAGE BOOKING & PAGING INFORMATION FOR ASSIGNMENTS, RELEASES, SATISFACTIONS, DISCHARGES & OTHER ORIGINAL MORTGAGE AGREEMENTS ONLY			
BOOK	PAGE	INSTRUMENT #	DOCUMENT TYPE

DO NOT REMOVE THIS PAGE
THIS DOCUMENT COVER SHEET IS PART OF THE SOMERSET COUNTY FILING RECORD
RETAIN THIS PAGE FOR FUTURE REFERENCE

Deed

This Deed is made on March 5, 2021

BETWEEN

15 Church, LLC, a New Jersey Limited Liability Company
 having its principal office at
2723 Bayonne Street, Sullivans Island, SC 29482
 referred to as the Grantor,

AND

B3 Church Street, LLC, a New Jersey Limited Liability Company

whose address is about to be
15 Church Street, Bernards, New Jersey 07938
 referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

1. **Transfer of Ownership.** The Grantor grants and conveys (transfers ownership of) the property (called the "Property") described below to the Grantee. This transfer is made for the sum of **\$ 1,100,000.00, One Million One Hundred Thousand Dollars and No Cents**

The Grantor acknowledges receipt of this money.

2. **Tax Map Reference** (N.J.S.A. 46:26A-3) Municipality of **Bernards, Somerset County**, State of New Jersey, Block No. **7501**, Lot No. **15**
☐ No lot and block or account number is available on the date of this Deed. (Check Box if Applicable)
3. **Property** The Property consists of the land and all the building and structures on the land in the **Township of Bernards County of Somerset** and State of New Jersey.
 The legal description is:

☒ Please see attached Legal Description annexed hereto and made part hereof. (Check Box if Applicable)

BEING the same premises conveyed to 15 Church, LLC, a New Jersey Limited Company, by Deed from Pamalla Schleimer a/k/a Pamalla Sutherland, a Single Woman, dated December 20, 2017, recorded December 22, 2017 in the Clerk's Office of the County of Somerset, New Jersey, in Deed Book 7013, at Page 1452.

Prepared by:

(For Recorders Use Only)


 Robert J. Giasullo, Esq.

American Land Title Association

ORT Form 4690 NJA 8-1-16
 ALTA Commitment for Title Insurance
 NJRB3-09 Last Revised 5/23/17

SCHEDULE A

(continued)

File No. **ORT-13876****LEGAL DESCRIPTION**

ALL that certain lot, parcel or tract of land, situate and lying in the Township of Bernards, County of Somerset, State of New Jersey, and being more particularly described as follows:

BEGINNING at a point in the centre of the public road leading from Liberty Corner to Pluckemin, being the southwesterly corner of land belonging to Look and running

- (1) North sixty-seven degrees and thirty-six minutes West along the centre of the said road one hundred and thirteen feet to the southeasterly corner of land belonging to P.J. Koechlin; thence
- (2) North twenty degrees and fifty-four minutes East along the line of said Koechlin's land one hundred and seventy-one feet to the northeasterly corner of the foundation walls of the old building, formerly a butchering shop and corner of Eben Riddle's Land; thence
- (3) South sixty-seven degrees and six minutes East along Riddle's land one hundred and nineteen and five tenths feet to an iron pin, a corner of said Riddle's land; thence
- (4) South twenty-three West along lands of said Riddle and the aforementioned Looker one hundred and seventy feet to the point and place of BEGINNING.

FOR INFORMATIONAL PURPOSES ONLY: Also known as Lot 15 in Block 7501 on the Township of Bernards Tax Map.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Old Republic National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

NEW JERSEY LAND TITLE
 INSURANCE RATING BUREAU

NJRB 3-09
 Last Revised: 05/23/17

RTF-1EE (Rev. 12/09)

STATE OF NEW JERSEY

MUST SUBMIT IN DUPLICATE

AFFIDAVIT OF CONSIDERATION FOR USE BY BUYER

(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-6 et seq.)

PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM BEFORE COMPLETING THIS AFFIDAVIT

STATE OF NEW JERSEY

COUNTY Middlesex} SS. County Municipal Code
1802MUNICIPALITY OF PROPERTY LOCATION Bernards

FOR RECORDER'S USE ONLY

Consideration \$ 1,100,000.00
RTF paid by buyer \$ 15,000.00
Date 3-18-2021 By [Signature]

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side)

XXX-XX-X 9 2 8

Deponent, Marie D. Watson, being duly sworn according to law upon his/her oath,

(Name)

deposes and says that he/she is the Officer of Title Company in a deed dated March 5, 2021 transferring
(Grantee, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)real property identified as Block number 7501 Lot number 15 located at15 Church St., Bernards and annexed thereto.

(Street Address, Town)

(2) CONSIDERATION \$ 1,100,000.00 (See Instructions #1, #5, and #11 on reverse side)

Entire consideration is in excess of \$1,000,000:

PROPERTY CLASSIFICATION CHECKED OR CIRCLED BELOW IS TAKEN FROM OFFICIAL ASSESSMENT LIST (A PUBLIC RECORD) OF MUNICIPALITY WHERE THE REAL PROPERTY IS LOCATED IN THE YEAR OF TRANSFER. REFER TO N.J.A.C. 18:12-2.2 ET SEQ.

(A) Grantee required to remit the 1% fee, complete (A) by checking off appropriate box or boxes below.

- ☒ Class 2 - Residential ☐ Class 4A - Commercial properties
☐ Class 3A - Farm property (Regular) and any other real property transferred to same grantee in conjunction with transfer of Class 3A property (If checked, calculation in (E) required below)
☐ Cooperative unit (four families or less) (See C. 46:8D-3.)
 Cooperative units are Class 4C.

(B) Grantee is not required to remit 1% fee (one or more of following classes being conveyed), complete (B) by checking off appropriate box or boxes below.

- ☐ Property class. Circle applicable class or classes: 1 3B 4B 4C 15
 Property classes: 1-Vacant Land; 3B- Farm property (Qualified); 4B- Industrial properties; 4C- Apartments; 15- Public Property, etc. (N.J.A.C. 18:12-2.2 et seq.)
☐ Exempt organization determined by federal Internal Revenue Service/Internal Revenue Code of 1986, 26 U.S.C. s. 501.
☐ Incidental to corporate merger or acquisition; equalized assessed valuation less than 20% of total value of all assets exchanged in merger or acquisition. If checked, calculation in (E) required and MUST ATTACH COMPLETED RTF-4.

(C) When grantee transfers properties involving block(s) and lot(s) of two or more classes in one deed, one or more subject to the 1% fee (A), with one or more than one not subject to the 1% fee (B), pursuant to N.J.S.A. 46:15-7.2, complete (C) by checking off appropriate box or boxes and (D).

- ☐ Property class. Circle applicable class or classes: 1 2 3B 4A 4B 4C 15

(D) EQUALIZED VALUE CALCULATION FOR ALL PROPERTIES CONVEYED, WHETHER THE 1% FEE APPLIES OR DOES NOT APPLY

Total Assessed Valuation + Director's Ratio = Equalized Valuation

Property Class _____ \$ _____ + _____ % = \$ _____
 Property Class _____ \$ _____ + _____ % = \$ _____
 Property Class _____ \$ _____ + _____ % = \$ _____
 Property Class _____ \$ _____ + _____ % = \$ _____

(E) REQUIRED EQUALIZED VALUE CALCULATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS; (See Instructions #6 and #7 on reverse side)

Total Assessed Valuation + Director's Ratio = Equalized Value

\$ _____ + _____ % = \$ _____

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed valuation. If Director's Ratio is equal to or exceeds 100%, the assessed valuation will be equal to the equalized value.

(3) TOTAL EXEMPTION FROM FEE (See Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through Chapter 33, P.L. 2006, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(4) Deponent makes Affidavit of Consideration for Use by Buyer to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith pursuant to the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me
this 11th day of March, 2021.[Signature]
JOAN M. GILESA Notary Public of New Jersey
My Commission Expires 5/15/25

Signature of Deponent

267 Amboy Ave, Ste 12, Metuchen NJ 08840

Deponent Address

15 Church, LLC

Grantee Name

2723 Bayonne St, Sullivan Island, SC 29482

Grantee Address at Time of Sale

Classic Business Solutions LLC

Name/Company of Settlement Officer

County recording officers: forward one copy of each RTF-1EE to:

STATE OF NJ - DIVISION OF TAXATION
PO BOX 251
TRENTON, NJ 08695-0251

ATTENTION: REALTY TRANSFER FEE UNIT

FOR OFFICIAL USE ONLY

Instrument Number _____ County Somerset
Deed Number _____ Book _____ Page _____
Deed Dated 3-5-2021 Date Recorded 3-18-2021The Director, Division of Taxation, Department of the Treasury has prescribed this form, as required by law. It may not be altered or amended without prior approval of the Director. For further information on the Realty Transfer Fee or to print a copy of this Affidavit or any other relevant forms, visit:
www.state.nj.us/treasury/taxation/lpt/localtax.shtml

State of New Jersey
Seller's Residency Certification/Exemption

(Print or Type)

Seller's Information

Name(s)

15 Church, LLC, a New Jersey Limited Liability Company

Current Street Address

2723 Bayonne Street

City, Town, Post Office

Sullivans Island

State

SC

ZIP Code

29482

Property Information

Block(s)

7501

Lots(s)

15

Qualifier

Street Address

15 Church Street

City, Town, Post Office

Bernards

State

NJ

ZIP Code

07938

Seller's Percentage of Ownership

100 %

Total Consideration

\$1,100,000.00

Owner's Share of Consideration

\$1,100,000.00

Closing Date

03/09/2021

Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 16 apply to Residents and Nonresidents)

1. ☐ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☐ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☒ Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated Income Tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain.
☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
15. ☐ The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
16. ☐ The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

3/5/21
DatePamella Bondy
Signature (Seller) Indicate if Power of Attorney or Attorney in Fact
Pamella Bondy, Managing Member

Date

Signature (Seller) Indicate if Power of Attorney or Attorney in Fact

The street address of the Property is:
15 Church Street, Bernards, New Jersey 07938

4. **Promises by Grantor.** The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).
5. **Signatures.** The Grantor signs this Deed as of the date at the top of the first page.

Witnessed or Attested By:

3/5/21 Pamella Bondy (Seal)
 Pamalla Bondy, Sole Member

STATE OF NEW JERSEY, COUNTY OF Essex SS:
 I CERTIFY that on March 5, 2021

Pamalla Bondy

personally came before me and stated, to my satisfaction, that this person (or if more than one, each person):

- (a) is the sole member and manager of **15 Church, LLC**, the limited liability company named in the within instrument and is authorized to sign the within instrument on behalf of the limited liability company;
- (b) as such member or manager, signed, sealed and delivered this instrument as the voluntary act and deed of the limited liability company, made by virtue of authority from its sole member; and
- (c) made this Deed for **\$ 1,100,000.00** as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)

Nicole L. Booth
 Print name and title below signature

NICOLE L. BOOTH
 NOTARY PUBLIC
 STATE OF NEW JERSEY
 MY COMMISSION EXPIRES NOV. 12, 2024

RECORD AND RETURN TO
Andrew Ullrich, Esq.
The Ullrich Law Firm LLC
2201 South Clinton Avenue
South Plainfield, NJ 07080

**PAMALLA'S FLORAL & GIFT EMPORIUM
PRELIMINARY/FINAL SITE PLAN
BLOCK 138, LOT 19**

WHEREAS, the owner applicant, Pamalla Schleimer, has applied for preliminary and final site plan approval for property on the northerly side of Church Street shown as Block 138, Lot 19 on the tax map of Bernards Township and all as shown on and in accordance with a plan entitled "Preliminary and Final Site Plan for Pamalla's Floral and Gift Emporium" prepared by Murphy & Hollows Associates, Inc., dated May 21, 1993, consisting of three sheets; and

WHEREAS, the Planning Board considered the application at its meeting held on June 15, 1993, of which public notice and notice by the applicant have been given as required by law; and

WHEREAS, the Planning Board has considered the testimony and materials submitted by the applicant and its consultants and the Planning Board professional staff and members of the public and makes the following findings of fact and conclusions of law:

1. The property which is the subject of this application, is shown as Block 138, Lot 19, on the tax map of Bernards Township and consists of 0.455 acres and is located in the B-4 zone, which is an historic district as of 1991.
2. The site was formerly the Liberty Corner Fire House and was purchased by the applicant at public auction. The applicant produced testimony indicating that at the time of purchase, the applicant was unaware that this application would be necessary and believed that the property could be used simply based upon the then pre-existing conditions on the site.
3. The applicant intends to use the first floor for her floral business exclusively. The use for the second floor is undetermined at this time. The applicant testified that she would like a use on the second floor to be compatible with her floral business.
4. The applicant introduced testimony to the fact that her business is largely accomplished by telephone and that there would be relatively few customers at the site at any one time, meaning perhaps five but no more than ten. The applicant believed and the Planning Board so finds, that the number of existing parking spaces on site, twenty-five are proposed, will be sufficient to service the presently contemplated use of the applicant's property even assuming that the parking lot is not paved and striped.
5. The applicant's property has roadway frontage on Church Street.
6. The applicant's property will be serviced by public sewer and water facilities.
7. The Planning Board expressed significant concern about the applicant's proposal for a sign which was proposed to be thirty two square feet and ten feet tall. Based upon the applicant's testimony, the Planning Board

finds that a sign four feet by five feet in dimension and eight feet in height from grade to the top of the sign would not be unreasonable under all of the circumstances. A sign of such dimension will be of a scale commensurate with the size of the applicant's building and the site.

8. The applicant's proposal meets the minimum standards of the Bernards Township Land Development Ordinance for the applicant's proposed use in the B-4 zone except that the applicant requires variance exceptions and modifications from same, all of which are set forth in the addendum attached hereto and in the report of the Township Engineer to the Planning Board dated June 14, 1993.

9. The Planning Board finds that the majority of said modifications sought can be granted for the reasons that the resulting change will satisfy the intent of the standard, will be designed in accordance with acceptable engineering practices, will not have an adverse impact upon the Township or the surrounding area, will not reduce the useful life of the improvement and will not increase the cost of maintenance.

10. The Planning Board is of the opinion that the exceptions sought can be granted as same will result in an improvement in the layout of the development plan when compared to the strict application of the standards of the regulations and that the resulting layout is reasonable and fulfills the general purpose and intent of the regulations.

11. The variances and majority of the exceptions and modifications sought can be granted for the reasons that the applicant has demonstrated that the purposes of the Municipal Land Use Law and the Bernards Township Land Development Ordinance would be advanced by a deviation from the zoning ordinance regulations and the benefits of the deviation substantially outweigh any detriment.

12. The variances, exceptions and modifications approved can all be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

13. The Planning Board expressed considerable concern with regard to the applicant's proposal to leave the parking areas gravelled instead of curbing, paving and striping same.

14. The Planning Board intended that in granting the modifications concerning the parking lot, paving, curbing and striping, that the intensity of the use of the first floor be no more than what would be if the applicant alone had the sole use and occupancy of the first floor for her floral and gift emporium.

NOW THEREFORE, be it RESOLVED on this 15th day of July, 1993, that the action taken by the aforesaid Planning Board on June 15, 1993, in approving the application of Pamalla Schleimer for preliminary and final site plan approval together with the said variances, exceptions and modifications requested for property shown as Block 138, Lot 19 on the tax map of Bernards Township and all as shown on and in accordance with the aforesaid plan is hereby AFFIRMED and MEMORIALIZED, subject, however, to the following conditions:

1. Approval from any and all Boards, Authorities, including specifically the Somerset County Planning Board, agencies or department's whether Federal, State, County or Local of whatsoever nature which shall be required by law in connection with this application.

2. The payment of all fees required by the Bernards Township Land Development Ordinance.

3. Proof shall be submitted by the applicant that all real estate taxes have been paid in full.

4. Compliance with all laws and/or regulations applicable to the property.

5. The applicant shall forthwith amend the plans and resubmit same to the satisfaction of the Township Engineer to:

A) Show the free-standing sign proposed for the site to be four feet by five feet in dimension and eight feet in height from grade to the top of the sign. The sign shall be so designed to have Pamalla's Floral shop at three feet by five feet and tenants sign one foot by 5 feet. The sign shall not have a shed roof.

B) Provide for exterior lighting for the building and parking lot in conformance with the standards of the Bernards Township Land Development Ordinance.

C) Comply with all conditions set forth in the report of the Township Engineer to the Planning Board dated June 14, 1993.

6. If in the future, the Township Engineer shall determine that the intensity of the applicant's on-site parking need warrants paving, curbing and/or parking stall striping, the applicant shall forthwith comply with the requirements for same imposed by the Township Engineer or shall make application to the Planning Board for amended site plan approval and the Planning Board shall determine what on-site improvements shall be required with regard to the applicant's parking lot.

7. The two trees proposed to be planted nearest to Church Street shall be planted adjacent to the building in the same plane as the front of the building and the plans amended and resubmitted forthwith to show same to the satisfaction of the Township Engineer.

I hereby certify that this is a true copy of a resolution adopted by the Bernards Township Planning Board at a regularly scheduled meeting held on July 15, 1993.



Marie Eula,
Planning Board Secretary







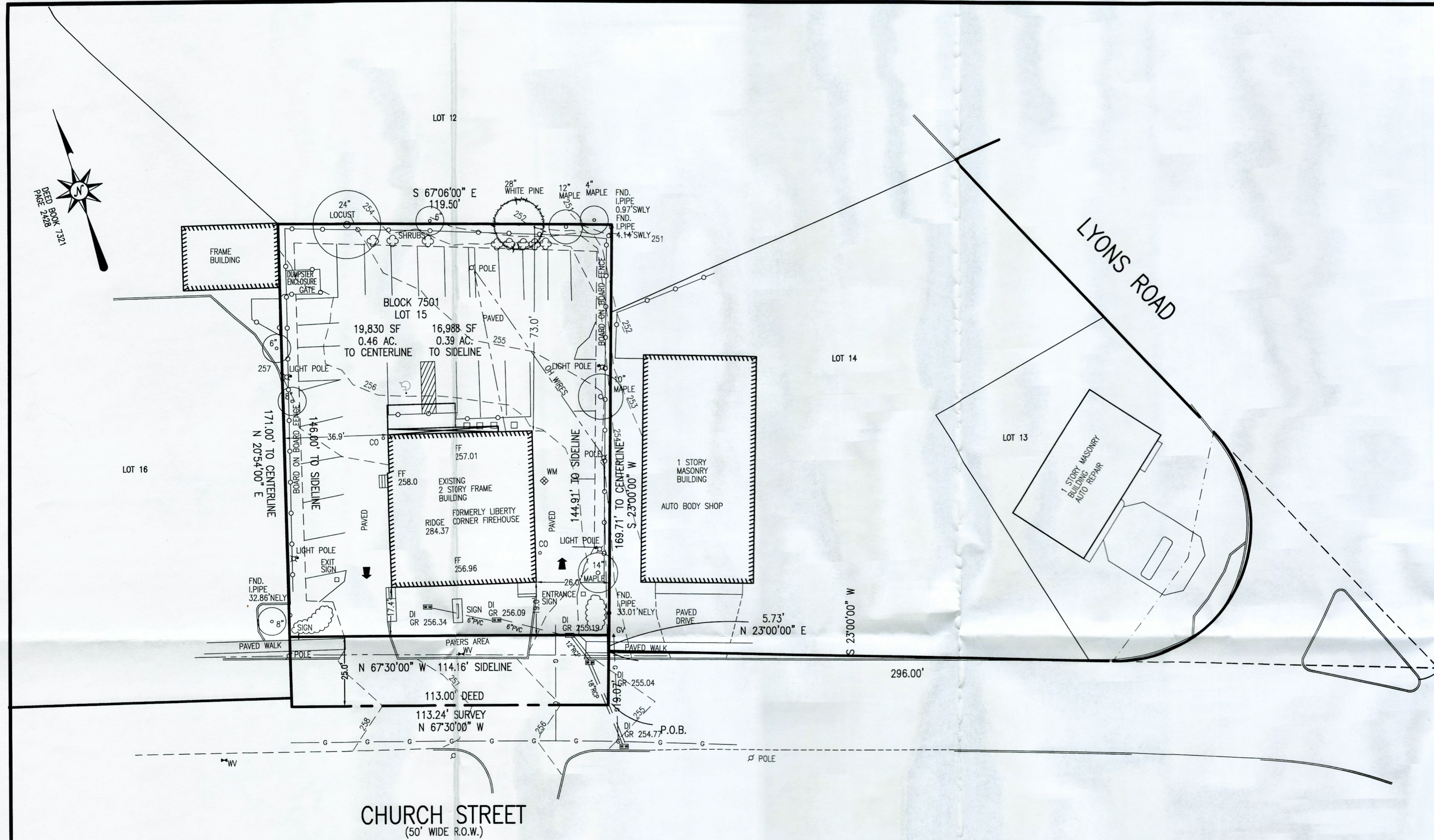












DRAWN BY:	SP	CHECKED BY:	WGH
JOB No.	93-094		
BOOK			
SCALE	1" = 20'		
GRAPHIC SCALE			
DATE	NOVEMBER 8, 2021		
REVISIONS			
CERTIFICATE OF AUTHORIZATION No. 246A27959700			
NOTES			
Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1255 murphyhollows@gmail.com			
SURVEY MAP FOR LOT 15 BLOCK 7501 15 CHURCH STREET TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY			
AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016			
 WILLIAM G. HOLLOWES N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530			
FILE	SHEET		
LF93-094	1		
	OF		
	1		



ZONING SCHEDULE:

ZONE: B-4 LIBERTY CORNER BUSINESS

REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 SF	16,988 SF TO SL	16,988 SF TO SL
MIN. LOT WIDTH	50 FT	115 FT	115 FT
MIN. LOT FRONTAGE	50 FT	115 FT	115 FT
MIN. FRONT YARD	10 FT	17.4 FT TO SL	17.4 FT TO SL
MIN. REAR YARD	10 FT	73.0 FT	73.0 FT
MIN. SIDE YARD (ONE)	10 FT	26.0 FT	26.0 FT
MIN. SIDE YARD (COMBINED)	NA	62.9 FT	62.9 FT
MAX. LOT COVERAGE	75%	83%	4.5%
MAX. BUILDING HEIGHT	35 FT	28.3 FT	28.3 FT
MIN. RESIDENTIAL SETBACK	30 FT	73.0 FT	73.0 FT

* DENOTES EXISTING NONCONFORMING CONDITION
** DENOTES PROPOSED NONCONFORMING CONDITION

PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY

BLOCK	LOT	OWNER
9301	29	ENGLISH, BARTON C. BOX 12, LIBERTY CORNER, NJ 07938
9301	26	DENMAR ASSOCIATES, LLC PO BOX 294, LIBERTY CORNER, NJ 07938
9301	25	ACUPUNCTURE CENTER FOR REPRODUCTIVE PO BOX 200, LIBERTY CORNER, NJ 07938
9301	24	RUNYON, JOHN PO BOX 359, BASKING RIDGE, NJ 07920
9301	23	22 CHURCH STREET ASSOCIATION 20 CHURCH STREET, LIBERTY CORNER, NJ 07938
9301	22	22 CHURCH STREET ASSOC PO BOX 300, LIBERTY CORNER, NJ 07938
9301	21	26 CHURCH STREET ASSOC BOX 300, LIBERTY CORNER, NJ 07938
7601	19	ZALKALNS, HARRY JOHN & JULLIAN 520 LYONS ROAD, BASKING RIDGE, NJ 07920
7601	18	CURCIO, VINCENT J. III 524 LYONS ROAD, BASKING RIDGE, NJ 07920
7601	17	JANESKI, JAMES F. & MAUREEN B. 109 SOUTH SHORE ROAD, EDINBURG, NY 12134
7601	16	RAISER, THOMAS C. & NADA K. PO BOX 310, LIBERTY CORNER, NJ 07938
7501	17	CHURCH STREET REAL ESTATE LLC 23 CHURCH STREET, LIBERTY CORNER, NJ 07938
7501	16	NERVINE ASSOC PARTNERSHIP, C/O OLSEN PO BOX 11, FAR HILLS, NJ 07931
7501	14, 13	BWR HOLDINGS LLC PO BOX 76, LIBERTY CORNER, NJ 07938
7501	12	DORRMAN, DOUGLAS & JACLYN 519 LYONS ROAD, BASKING RIDGE, NJ 07920
7501	11	KELLY, H. THOMAS JR. & MARY D 515 LYONS ROAD, LIBERTY CORNER, NJ 07938
7501	10	SAIF, MINA & FALCON, CARLA 511 LYONS ROAD, BASKING RIDGE, NJ 07920



KEY MAP

GENERAL NOTES:

- SUBJECT PROPERTY KNOWN AS LOT 15, BLOCK 7501
TAX MAP SHEET No. 75.
- AREA OF LOT 15, BLOCK 7501 = 19,830 SF; 0.46 Ac.
TO CENTERLINE
- OWNER & APPLICANT:
B3 CHURCH STREET LLC
C/O BOYLE REAL ESTATE GROUP
313 SOUTH AVENUE, SUITE 202
FANWOOD, NJ 07023
929.303.4162
- ATTORNEY FOR APPLICANT:
FREDERICK B. ZELLEY, ESQ.
BISOGNO, LOEFFLER & ZELLEY
PO BOX 408
BASKING RIDGE, NJ 07920
908.766.6666
- ARCHITECT FOR APPLICANT:
DANIEL W. LINCOLN
28 OLCOTT AVENUE
BERNARDSVILLE, NJ 07924
908.204.0088
- OWNERS CONSENT

I HEREBY CONSENT TO THE FILING OF THIS PLAN WITH THE
ZONING BOARD OF THE TOWNSHIP OF BERNARDS

AUTHORIZED SIGNATURE

AUTHORIZED SIGNATURE

REQUIRED APPROVALS

- BERNARDS TOWNSHIP ZONING BOARD
- SOMERSET COUNTY PLANNING BOARD

THIS PLAN HAS BEEN APPROVED BY THE ZONING
BOARD OF THE TOWNSHIP OF BERNARDS
ON _____ DATE _____

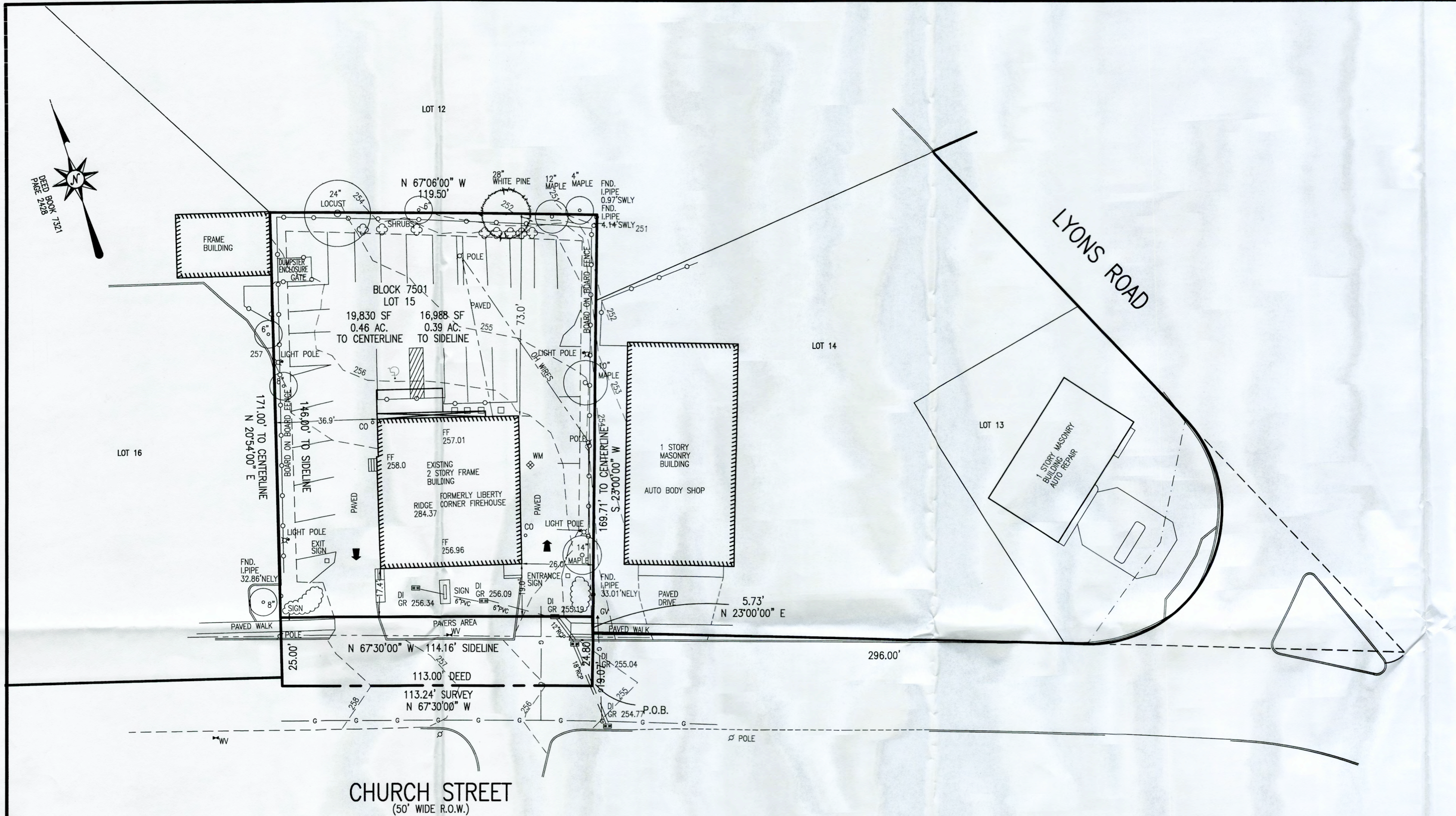
CHAIRPERSON-BRAD BRESLIN _____ DATE _____

SECRETARY - CYNDI KIEFER _____ DATE _____

ENGINEER - THOMAS TIMKO, PE, CME _____ DATE _____

TABLE OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	AREA MAP/ZONING SCHEDULE
2	SURVEY/EXISTING CONDITIONS
3	PROPOSED CONDITIONS
4	LIGHTING PLAN

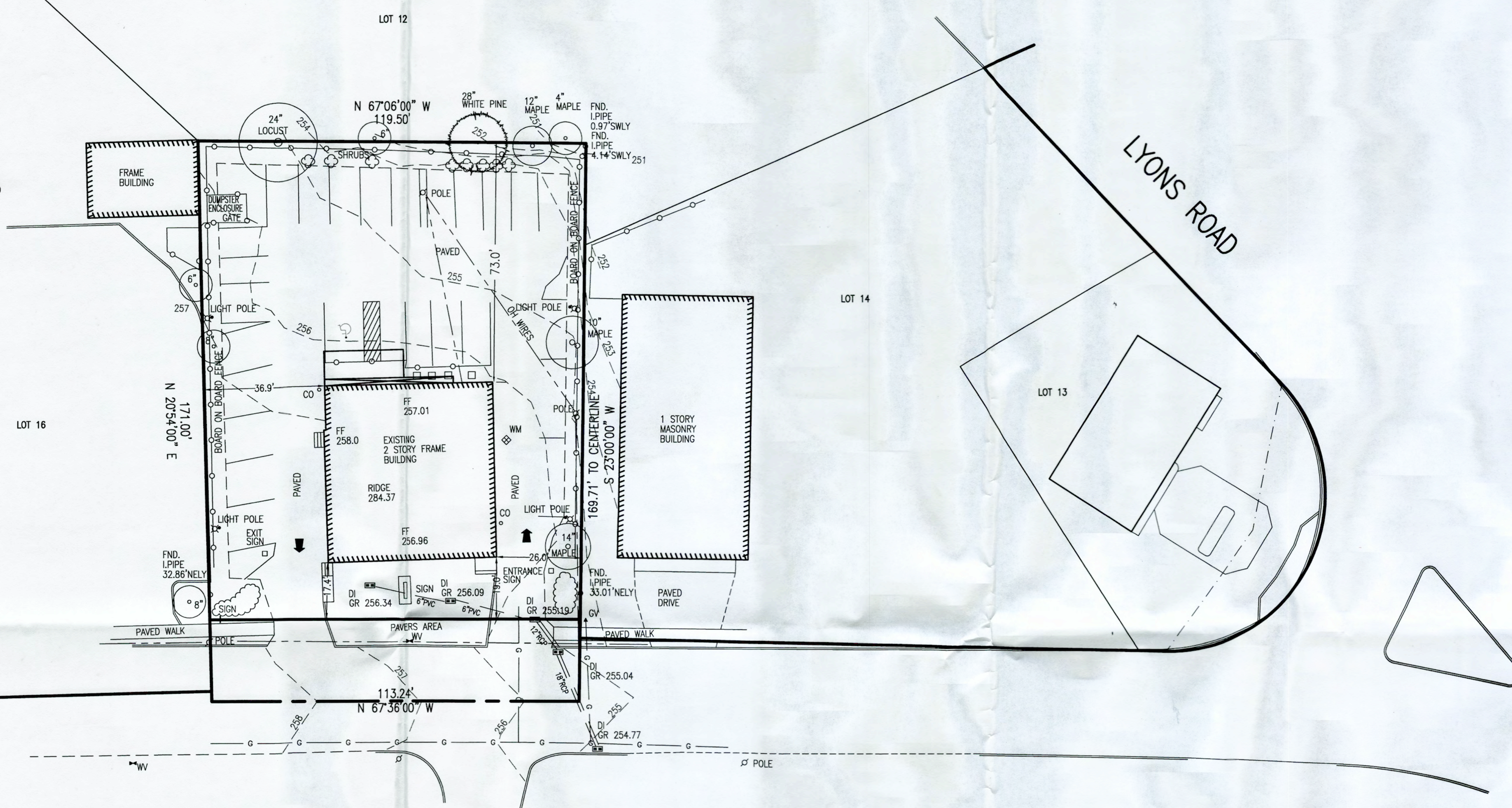
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JOB No. 93-094	
BOOK	
SCALE 1" = 50'	
GRAPHIC SCALE	
DATE AUGUST 18, 2021	
REVISIONS NOVEMBER 8, 2021	
CERTIFICATE OF AUTHORIZATION No. 24GA27959700	
NOTES	
Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.980.1255 murphyhollows@gmail.com	
SITE PLAN FOR LOT 15 BLOCK 7501 15 CHURCH STREET TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY AREA MAP	
AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016	
 WILLIAM G. HOLLOWES N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530	
FILE LF93-094	SHEET 1 OF 4



NOTE: SURVEY IS BASED ON FIELD WORK PERFORMED
BY MURPHY & HOLLOWES ASSOCIATES, LLC ON
MAY 12, 2021

DRAWN BY: SP	CHECKED BY: WGH
JOB No. 93-094	
BOOK	
SCALE 1" = 20'	
GRAPHIC SCALE	
DATE AUGUST 18, 2021	
REVISIONS NOVEMBER 8, 2021	
CERTIFICATE OF AUTHORIZATION No. 24GA27959700	
NOTES	
Murphy & Hollowes Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.560.1255 murphyhollowes@gmail.com	
SITE PLAN FOR LOT 15 BLOCK 7501 15 CHURCH STREET TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY SURVEY/EXISTING CONDITIONS	
AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016	
 WILLIAM G. HOLLOWES N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530	
FILE LF93-094	SHEET 2 OF 4

DRAWN BY: SP		CHECKED BY: WGH	
JOB No. 93-094			
BOOK			
SCALE 1" = 20'			
GRAPHIC SCALE			
DATE AUGUST 18, 2021			
REVISIONS NOVEMBER 8, 2021			
CERTIFICATE OF AUTHORIZATION No. 24GA27959700			
NOTES			
<div><div><div>Murphy & Hollows Associates LLC</div><div>CIVIL ENGINEERING AND SURVEYING</div><div>192 CENTRAL AVENUE, STIRLING, NJ 07980</div><div>908.580.1255 murphyhollows@gmail.com</div></div></div>			
SITE PLAN FOR LOT 15 BLOCK 7501 15 CHURCH STREET TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY PROPOSED CONDITIONS			
AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016			
<div><div><div>William G. Hollows</div><div>WILLIAM G. HOLLOWS</div><div>N.J. LIC. PROFESSIONAL ENGINEER</div><div>& LAND SURVEYOR #27473</div><div>N.J. PROFESSIONAL PLANNER #2530</div></div></div>			
FILE LF93-094	SHEET 3 OF 4		

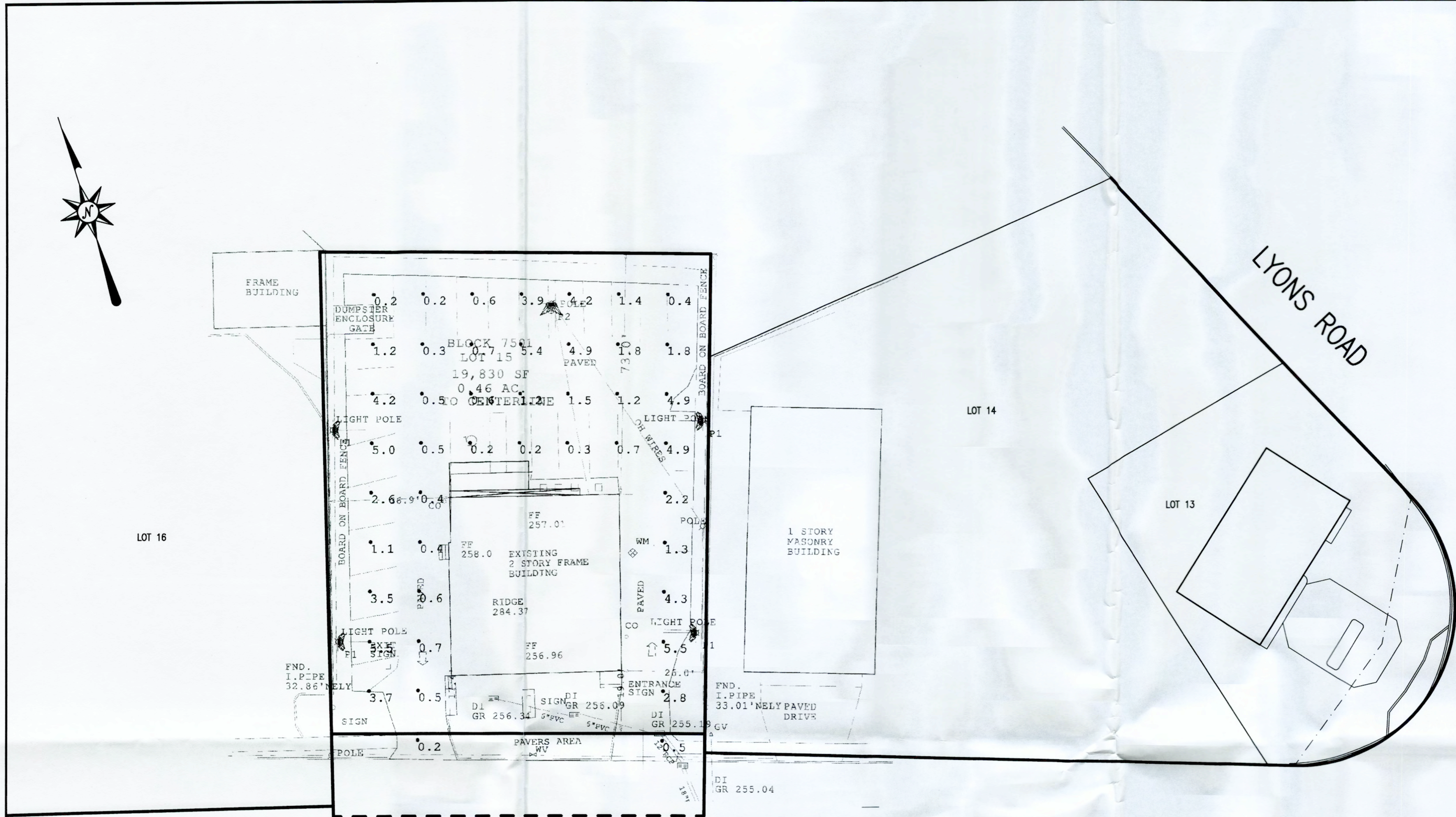


PARKING SCHEDULE
1ST FLOOR RETAIL - 1 STALL PER 250 SF
2798/250 = 12 STALLS
2ND FLOOR PROPOSED 2 BEDROOM UNITS - 2 STALLS PER UNIT
2x2 = 4 STALLS
TOTAL STALLS REQUIRED = 16 STALLS
TOTAL STALLS PROVIDED = 25 STALLS

THE EXISTING PARKING LOT WILL BE SEALCOTED AND
NEW PARKING LOT STRIPING IS TO BE INSTALLED

THE EXISTING PARKING LOT LIGHTS ARE TO BE REPLACED
WITH NEW LED LIGHTS - SEE SHEET 4

N:\CAD Drawings\1993\93-094\REV1\93-094SP LIGHTS1.dwg, 11/10/2021 1:56:36 PM



CHURCH STREET
(50' WIDE R.O.W.)

Luminaire Schedule						
Symbol	Qty	Tag	Label	Lum. Lumens	LLF	Description
	2	A1	CREE OSQ SERIES TYPE II OPTIC	3410	0.900	OSQM-B-4L-40K7-2M-UL-xx-xx-xxxx-w_OSQ
	2	A2	CREE OSQ SERIES TYPE IV OPTIC	5300	0.900	OSQM-B-6L-40K7-4M-UL-xx-xx-xxxx-w_OSQ
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PARKING LOT_Top	Illuminance	Fc	0.89	2.1	0.1	8.90

ILLUMINATION CRITERIA:
IN ACCORDANCE WITH TOWNSHIP OF BERNARD, NEW JERSEY LAND DEVELOPMENT REGULATIONS, ARTICLE V. SECTION 21-41 LIGHTING.

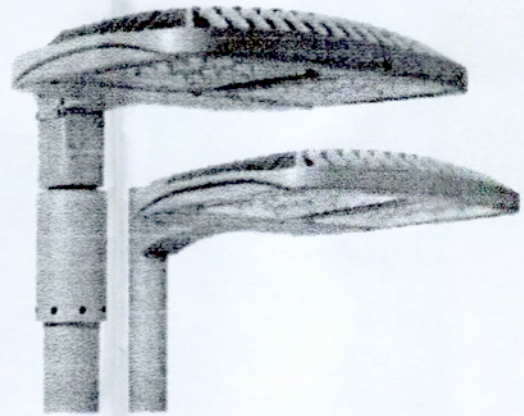
AVERAGE MAINTAINED HORIZONTAL ILLUMINANCE FOR VEHICULAR ROADWAYS = 0.4 FC IN RESIDENTIAL AREAS.

REFLECTANCES:
PARKING LOT SURFACE = 0.38 (ASPHALT)
SURROUNDING BUILDINGS = 0.5

FIXTURE MOUNTING INFORMATION:
POLE MOUNTED HEIGHT = 12'

FIXTURE P1 INFORMATION:CREE OSQ SERIES TYPE III DISTRIBUTIONMODEL # OSQM-B-6L-40K7-3M-UL-UC-BZ+ OSQ-BLSMF + OSQ-ML-B-DA- 48 W- 5450 LM- 113 LPW - 4000K CCT- 70 CRI - MEDIUM BACKLIGHT SHIELD

FIXTURE P2 INFORMATION:
CREE OSQ SERIES TYPE IV DISTRIBUTION MODEL # OSQ-MB-9L-40K7-4M-UL-UC-BZ + OSQ-BLSMF + OSQ-ML-B-DA - 60 W - 7074 LM - 117 LPW - 4000K CCT - 70 CRI - MEDIUM BACKLIGHT SHIELD



CREE

DRAWN BY: SP	CHECKED BY: WGH
JOB No. 93-094	
BOOK	
SCALE 1" = 20'	
GRAPHIC SCALE	
DATE AUGUST 18, 2021	
REVISIONS NOVEMBER 8, 2021	
CERTIFICATE OF AUTHORIZATION No. 24GA27959700	
NOTES	
<div>Murphy & Hollows Associates LLC CIVIL ENGINEERING AND SURVEYING 192 CENTRAL AVENUE, STIRLING, NJ 07980 908.580.1255 murphyhollows@gmail.com</div> <div>SITE PLAN FOR LOT 15 BLOCK 7501 15 CHURCH STREET TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY LIGHTING PLAN</div> <div>AIDAN T. MURPHY N.J. LIC. PROFESSIONAL ENGINEER #21319 1973-2016</div> <div> WILLIAM G. HOLLOWES N.J. LIC. PROFESSIONAL ENGINEER & LAND SURVEYOR #27473 N.J. PROFESSIONAL PLANNER #2530</div>	
FILE LF93-094	SHEET 4 OF 4

BOARD OF ADJUSTMENT
SUBMISSION

for a
SECOND FLOOR RETAIL
CONVERSION
to
TWO RESIDENTIAL
APARTMENTS

at
THE OLD FIRE STATION
15 Church Street
Block 7501, Lot 15
Liberty Corner, New Jersey 07938

Applicant and Owner:
B3 Church Street, LLC
c/o Boyle Real Estate Group
313 South Avenue, Ste 203
Fanwood, New Jersey 07023
Contact: Michael Netta
(929) 303-4162

GENERAL NOTES

- ALL PLUMBING WORK SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL PLUMBING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
- INSTALL ALL PIPING SUBJECT TO TEMPERATURE EXTREMES ESPECIALLY IN COLD WEATHER WHERE APPLICABLE.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, AND ALL APPLICABLE LOCAL ORDINANCES.
- BY ALL WORK, MATERIALS AND APPLICATIONS MUST MEET THE MINIMUM REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, AND BE TYPED APPROVED BY THE BOARD OF ADJUSTMENT.

NOTE: VERIFY ALL FIXTURE TYPES & LOCATIONS W/ OWNER PRIOR TO ORDER AND/OR INSTALLATION. VERIFY WHICH FIXTURES ARE TO BE OWNER SUPPLIED (IF ANY).

6 BOARD OF ADJ. PRINTS	11/9/21
5 ATTY REVIEW	8/19/21
1 EXIST. CONDITIONS REV.	6/25/21
NEW OWNER	
5 CONST. PERMIT SET	10/7/23
4 OWNER REVISIONS	10/15/23
3 BID SET	10/5/23
2 OWNER REVIEW	8/19/23
NO PROJECT STATUS	DATE

DRAWING TITLE
REFLECTED CEILING
PLAN
FIXTURE SCHEDULE

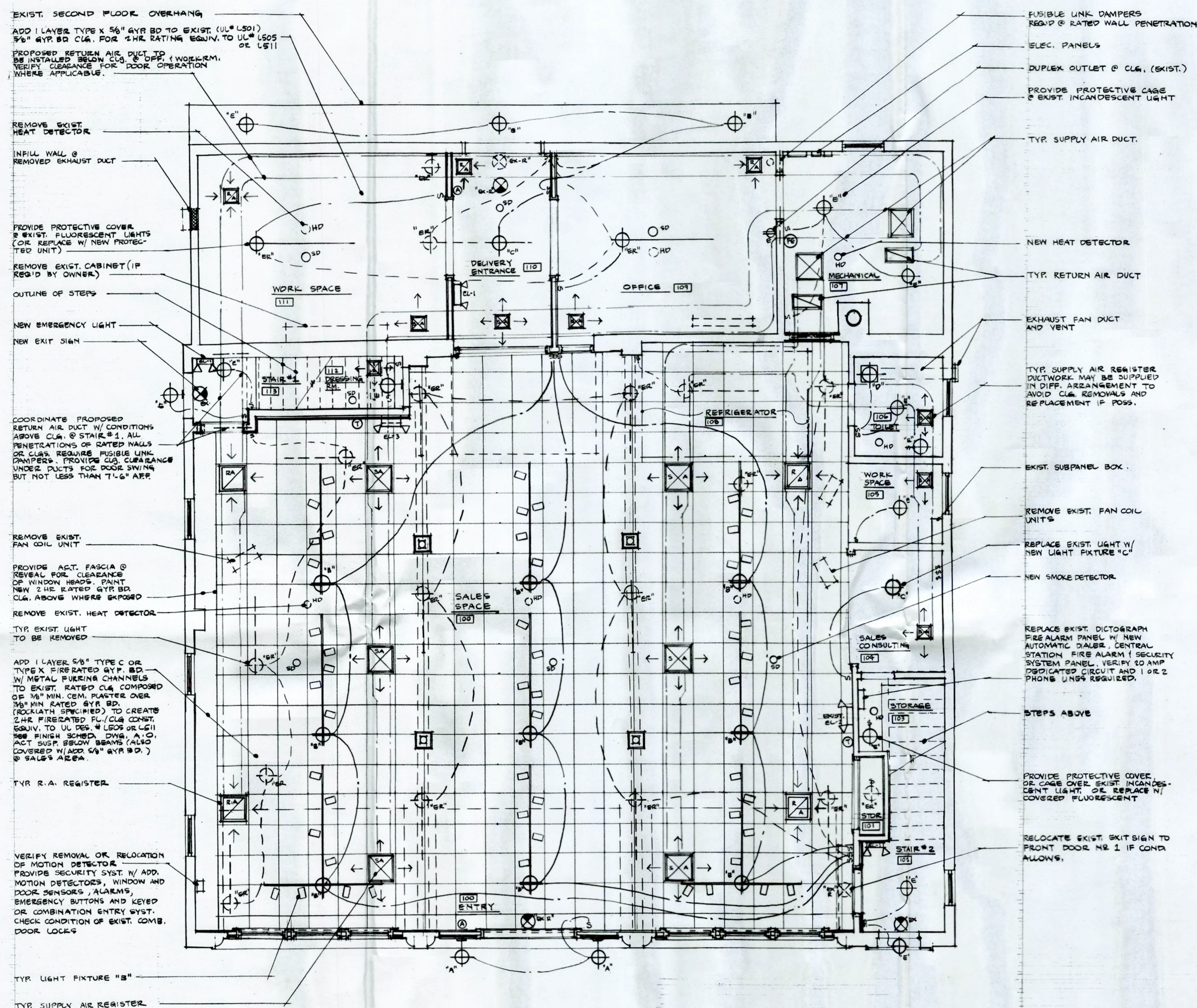
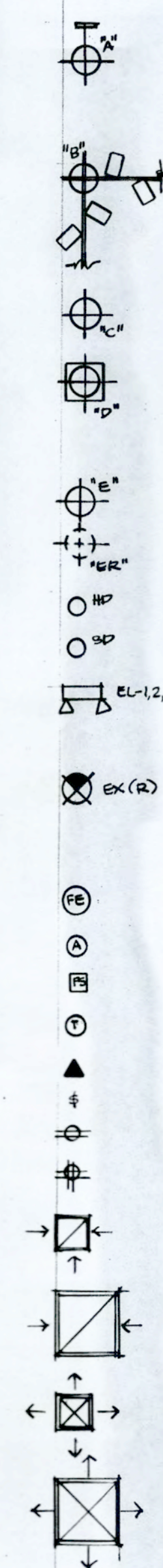
DATE
SCALE
AS NOTED
DRAWN
DL
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DWL

DRAWING NUMBER

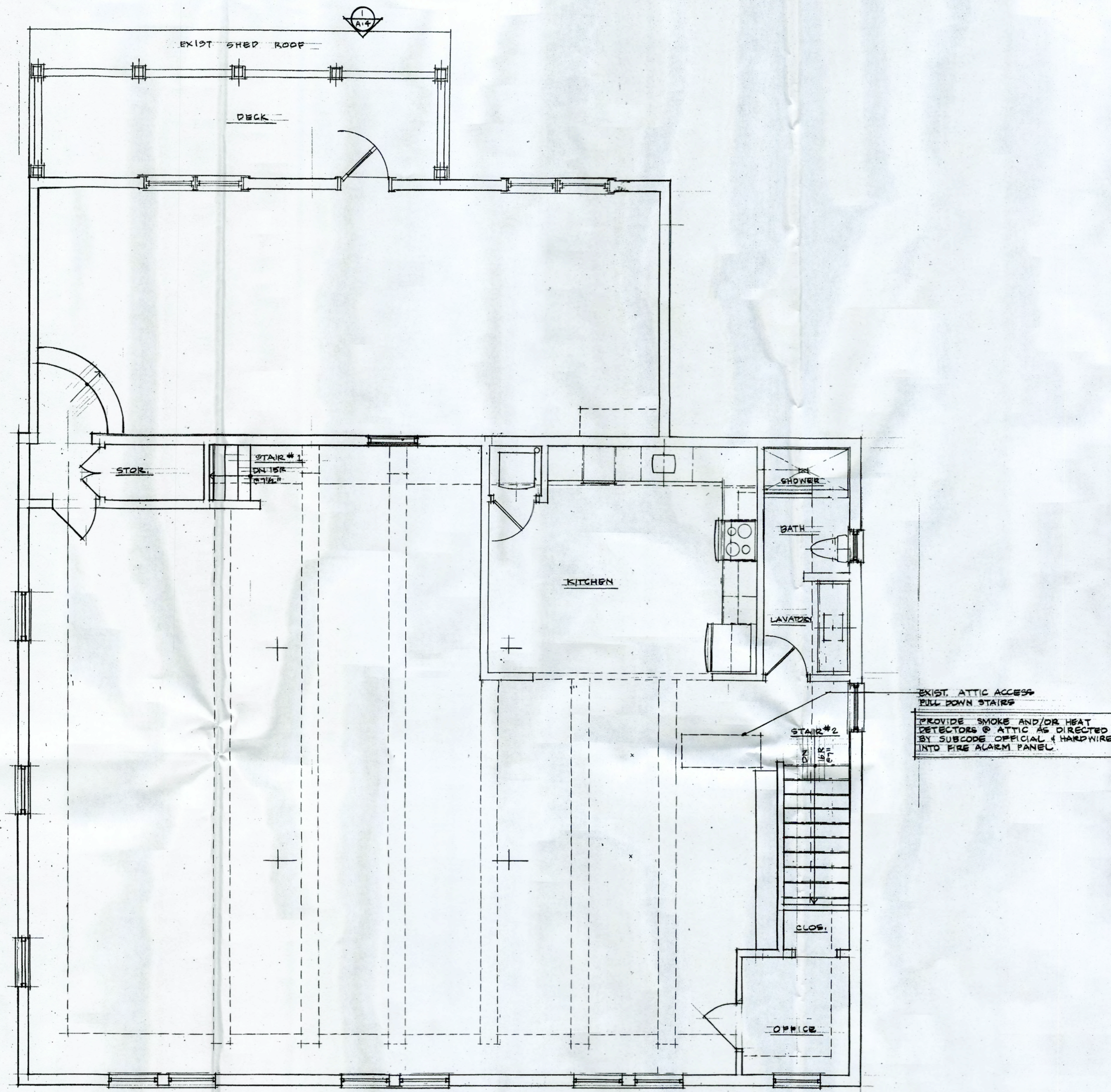
A-1

ELECTRIC FIXTURE SCHEDULE &
SYMBOL LIST

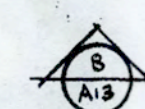
- LIGHT FIXTURE "A" EQUIVALENT TO WALL MOUNT, OWNER SUPPLIED INCANDESCENT - 2 BULB CARRIAGE LANTERN SIM. TO MODEL # L312A W/ NB-3 BRACKET, IN NAT. COPPER FIN. BY PERIOD LIGHTING FIXTURES, INC. OR AS MANUFACTURED BY "THE GAZEBO" ANTIQUES, 21 BROOK VALLEY RD., TOWACO, N.J. 07082
- LIGHT FIXTURE "B" SHALL BE OWNER SUPPLIED & EQUIVALENT TO HALOGEN MINISPOT TRACKLIGHT FIXTURE, MODEL # 7641WH, IN MATTE WHITE FINISH BY LIGHTOLIER. PROVIDE 8'-0" LONG TRACKS & TES CONNECTIONS WHERE NOTED. PROVIDE DIMMING FEATURE WHERE AND IF REQUESTED BY OWNER.
- LIGHT FIXTURE "C" SHALL BE OWNER SUPPLIED & EQUIVALENT TO INCANDESCENT CLG. MOUNT FIXTURE, MODEL # P3657-10 BY PROGRESS LIGHTING, INC.
- CLG. FAN FIXTURE "D" SHALL BE EQUIVALENT TO OWNER SUPPLIED EXHAUST FAN, MODEL # 6916 MN, 50 CFM, 4.0 SONES, OR AS SELECTED BY OWNER. PROVIDE SWITCH, DUCTWORK & EXHAUST VENT. THIS UNIT IS NOT REQ'D. BY CODE AND MAY BE DELETED IF REQUESTED BY OWNER.
- LIGHT FIXTURE "E" SHALL BE EXIST. TO REMAIN.
- LIGHT FIXTURE "ER" SHALL BE EXIST. TO BE REMOVED.
- HEAT DETECTOR
- HARD WIRED SMOKE DETECTOR
- EMERGENCY LIGHT FIXTURE EL-1 SHALL BE OWNER-SUPPLIED (VIF) AND EQUIVALENT TO SERIES PN OR P12N BY LIGHTALARMS ELECTRONICS CORPORATION. UNITS EL-2 AND EL-3 ARE EXISTING TO REMAIN AND/OR TO BE REUSED AS NOTED.
- EXIT SIGN FIXTURE "EX" SHALL BE OWNER-SUPPLIED (VERIFY) UNIT EQUIVALENT TO SERIES X66-S-FL, SINGLE FACE, RED LETTERS ON WHITE PLASTIC W/ ALUM. FRONT & STEEL HOUSING W/ TWO - 7 WATT FL. TUBES, LAMP: 1.90 MIN. BATTERY BACK-UP UNIT EX-R INDICATES EXIST. UNIT TO BE RELOCATED.
- TYP. FIRE EXTINGUISHER 5 LB. - ABC, 2A 40 BC RATING
- TYP. HORN/STROBE TYPE ALARM
- TYP. PULL STATION (NOT REQ'D @ FIRST FL.)
- TYP. THERMOSTAT
- TYP. PHONE JACK
- TYP. LIGHT SWITCH
- TYP. DUPLEX OUTLET
- TYP. QUAD OUTLET
- TYP. RETURN AIR REGISTER @ GYP. BR. CLG.; BAKED ENAMEL FIN.: 12" X 12" MIN. PERFORATED TYPE EQUIV. TO TITUS TXR UNIT W/ FRAME STYLE 1 FOR FLUSH MOUNT
- TYP. RETURN AIR REGISTER @ SUSP. ACOUSTICAL TILE CLG. W/ BAKED ENAMEL FIN.: 24" X 24" MIN. PEER TYPE EQUIV. TO TITUS TXR UNIT W/ FRAME STYLE 4 FOR LAY-IN TILE SYST.
- TYP. SUPPLY AIR REGISTER @ GYP. BR. CLG.; BAKED ENAMEL FIN.: 12" X 12" MIN. BEVELED DROP FRAME EQUIV. TO TITUS MODEL TDC TYPE 6. (NOTE: CLG. HAS 2 LAYERS GYP. BR. MIN. (VIF))
- TYP. SUPPLY AIR REGISTER @ SUSP. ACOUSTICAL TILE CLG. W/ BAKED ENAMEL FIN.: 24" X 24" MIN. MULTI-DIRECTIONAL EQUIV. TO TITUS MODEL TDC APPROP. FOR LAY-IN CLG.



1 REFLECTED CLG. PLAN @ FIRST FLOOR
1/4" = 1'-0"



① SECOND FLOOR PLAN
EXISTING LAYOUT 1/4" = 1'-0"



DANIEL W. LINCOLN, RA
ARCHITECT
NJ License No. A108998

Daniel W. Lincoln

28 OLCOTT AVENUE
BERNARDSVILLE, NEW JERSEY 07924
TEL: (908) 204-0088
E-MAIL: dwlincolnra@yahoo.com

BOARD of ADJUSTMENT
SUBMISSION
for a
SECOND FLOOR RETAIL
CONVERSION
to
TWO RESIDENTIAL
APARTMENTS
at
THE OLD FIRE STATION
15 Church Street
Block 7501, Lot 15
Liberty Corner, New Jersey 07938
for
Applicant and Owner:
B3 Church Street, LLC
c/o Boyle Real Estate Group
313 South Avenue, Ste 203
Fanwood, New Jersey 07023
Contact: Michael Netta
(929) 303-4162

1	EXIST. CONDITIONS REV	6/15/21
2	NEW OWNER	
3	CONST. PERMIT SET	10/ /93
4	OWNER REVISIONS	10/15/93
5	BID SET	10/5/93
6	OWNER REVIEW	8/4/93
NQ	PROJECT STATUS	DATE
DRAWING TITLE		
SECOND FLOOR PLAN		
EXISTING LAYOUT		
DATE		
SCALE		
AS NOTED		
DRAWN		
DK + DL		
CHECKED		
DWL		
DRAWING NUMBER		
A-2		
PAGE 1 OF 177	SHEET 3 OF 3	

Daniel W. Lincoln

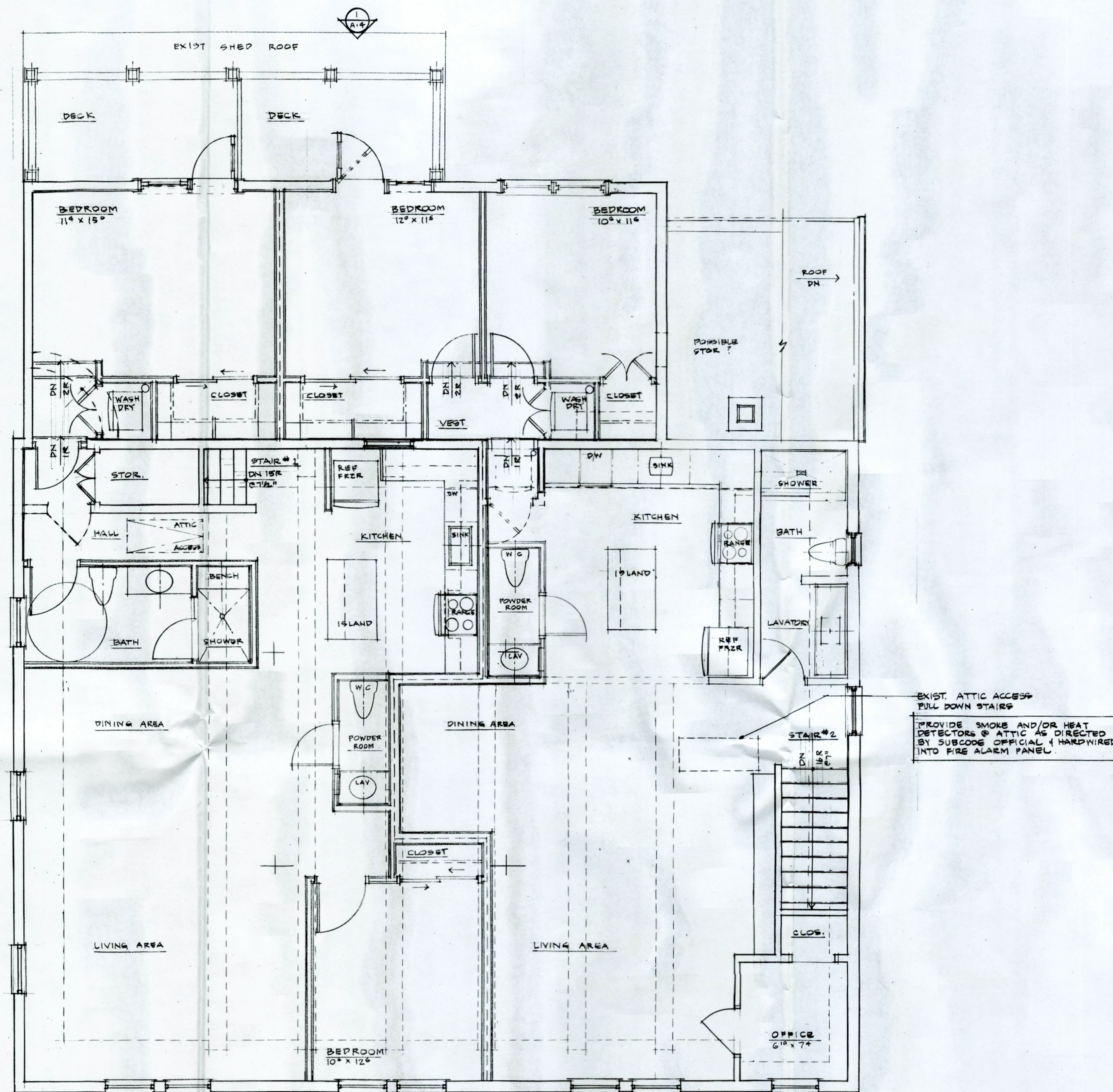
Daniel W. Lincoln

28 OLCOTT AVENUE
BERNARDSVILLE, NEW JERSEY 07924
TEL. (908) 204-0088
E-MAIL: dlincolnra@yahoo.com

BOARD of ADJUSTMENT
SUBMISSION
for a
SECOND FLOOR RETAIL
CONVERSION
to
TWO RESIDENTIAL
APARTMENTS

at
THE OLD FIRE STATION
15 Church Street
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① SECOND FLOOR PLAN
1/4" = 1'-0"

6	BOARD OF ADJ. PRINTS	11/9/21
5	ATTY REVIEW	8/19/21
4	DES. REV. (S.M.A.L.) FUNDING	7/16/21
3	DES. REV. REVIEW NO. 2 (ZEDAN)	7/13/21
2	DES. REV. REVIEW NO. 1	6/30/21
1	EXIST. CONDITIONS REV	6/29/21
NEW OWNERS		
5	CONST. PERMIT SET	10/1/21
4	OWNER REVISIONS	10/15/21
3	BID SET	10/5/21
1	OWNER REVIEW	8/4/21
NO	PROJECT STATUS	DATE

DRAWING TITLE
SECOND FLOOR PLAN

DATE

SCALE
AS NOTED

DRAWN
DK & DL

CHECKED
DNL

DRAWING NUMBER

A-2



(A) BUILDING SIDE ~ WNW ELEVATION



(B) BUILDING FRONT ~ WSW CORNER



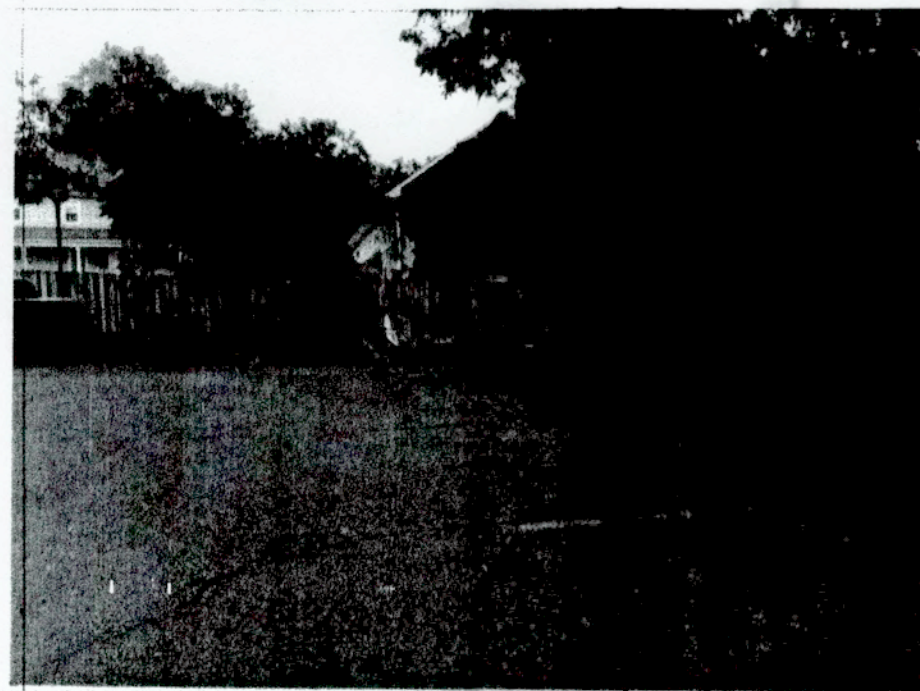
(C) BUILDING FRONT ~ SSW ELEVATION



(D) BUILDING FRONT ~ SSE CORNER



(E) BUILDING REAR ~ ENE CORNER



(F) REAR PARKING LOT ~ NNW CORNER



(G) BUILDING REAR ~ WEST SIDE CORNER



(H) BUILDING REAR ~ NNE ELEVATION



(I) REAR PARKING LOT ~ ENE CORNER

(2) EXIST. CONDITIONS: BUILDING EXTERIOR & SITE
NOT TO SCALE



(1) FRONT ELEVATION

1/4" = 1'-0"

DANIEL W. LINCOLN, RA
ARCHITECT
NJ License No. A108998

Daniel W. Lincoln

28 OLcott AVENUE
BERNARDSVILLE, NEW JERSEY 07924
TEL.: (908) 204-0088
E-MAIL: dlincolnra@yahoo.com

BOARD of ADJUSTMENT
SUBMISSION

for a
SECOND FLOOR RETAIL
CONVERSION
to
TWO RESIDENTIAL
APARTMENTS

at
THE OLD FIRE STATION
15 Church Street
Block 7501, Lot 15
Liberty Corner, New Jersey 07938

for
Applicant and Owner:
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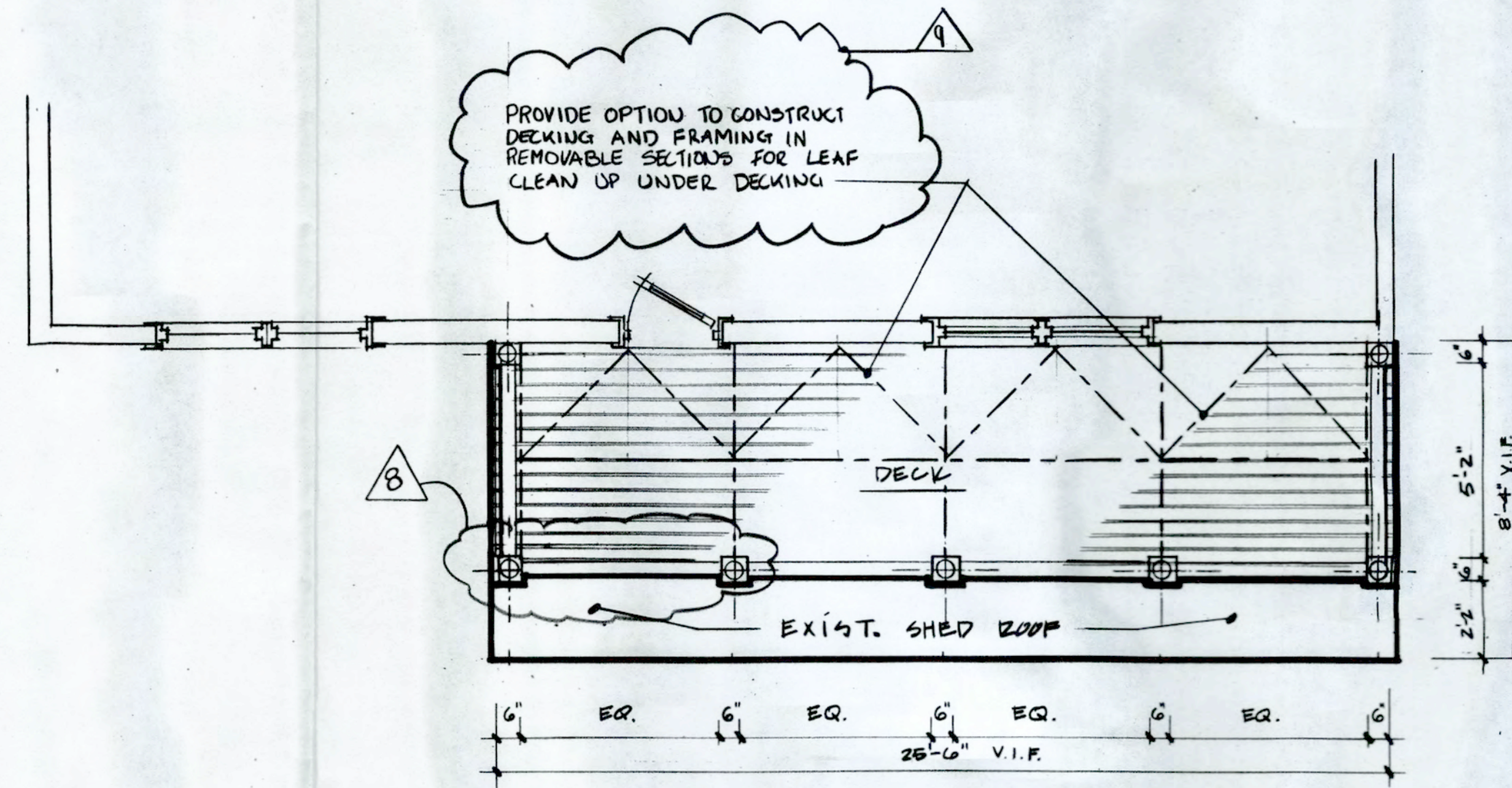
6 BOARD OF ADJ. PRINTS	11/9/21
5 ATTY. REVIEW	6/19/21
4 EXIST. COND. PHOTOS FOR BOARD OF ADJ.	7/19/21
3 DES. DEV. REVIEW NO. 2 (2 DES. DEV.)	7/19/21
2 DES. DEV. REVIEW NO. 1	6/30/21
1 EXIST. CONDITIONS REV.	6/25/21
N E W O W N E R	
5 CONST. PERMIT SET	10/1/93
4 OWNER REVISIONS	10/15/93
3 BID SET	10/5/93
2 OWNER REVIEW (CONST.)	8/19/93
1 OWNER REVIEW (DES. DEV.)	8/4/93
NO. PROJECT STATUS	DATE

DRAWING TITLE
FRONT ELEVATION &
EXIST. EXTERIOR
PHOTOS

DATE
AS NOTED
SCALE
AS NOTED
DRAWN
DK, JDS, DWL
CHECKED
DWL
DRAWING NUMBER

A-5

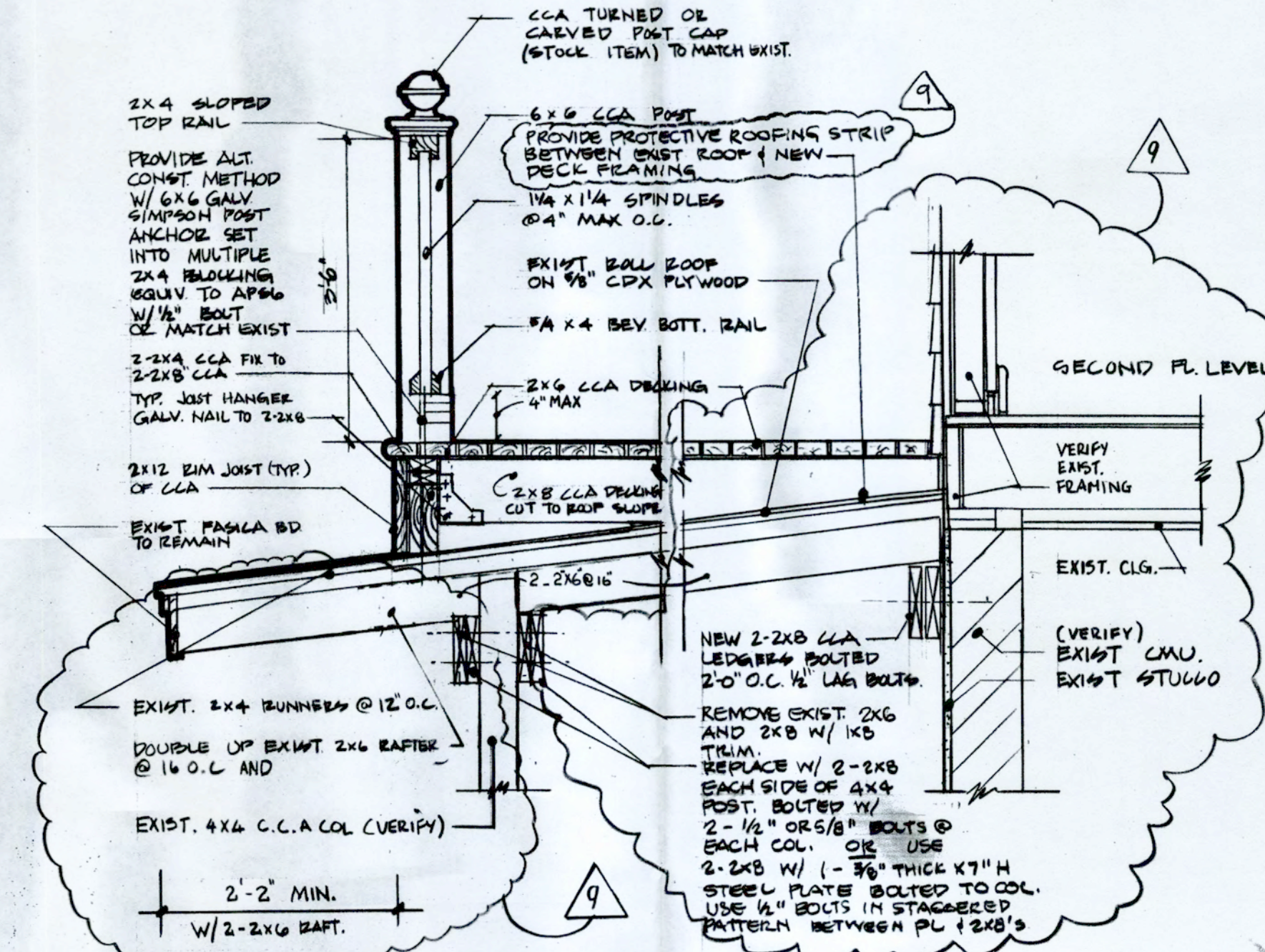
BOARD OF ADJUSTMENT
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SECOND FLOOR RETAIL
CONVERSION
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TWO RESIDENTIAL
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15 Church Street
Block 7501, Lot 15
Liberty Corner, New Jersey 07938
for
Applicant and Owner:
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c/o Boyle Real Estate Group
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Fanwood, New Jersey 07023
Contact: Michael Netta
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DECK PLAN @ (SECOND FLOOR LEVEL)

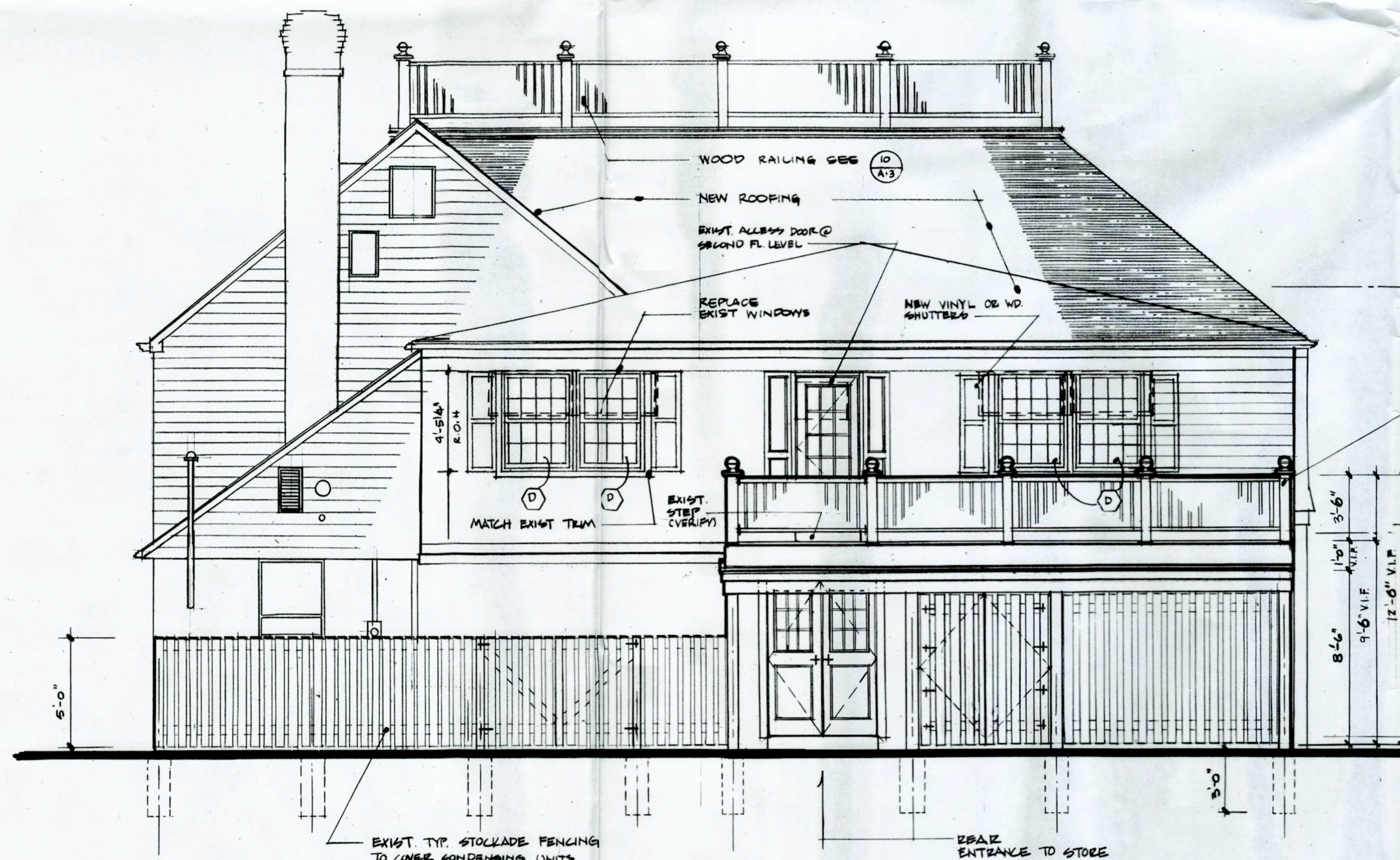
SCALE 1/4"=1'-0"

DEAD LOAD 25 PSF
LIVE LOAD 100 PSF
TOTAL = 125 PSF
ADEQUATE FOR BUSINESS USE
MAX OCCUPANT LOAD 10 ±



SHED ROOF ZAILING DETAIL

3/4"=1'-0"



REAR & SIDE ELEVATIONS,
DECK PLAN & DETAIL

SCALE 1/4"=1'-0"

NEW CCA DECK RAILING
TO MATCH EXIST. RAILING
ON MAIN ROOF. REFER TO
DETAIL 2

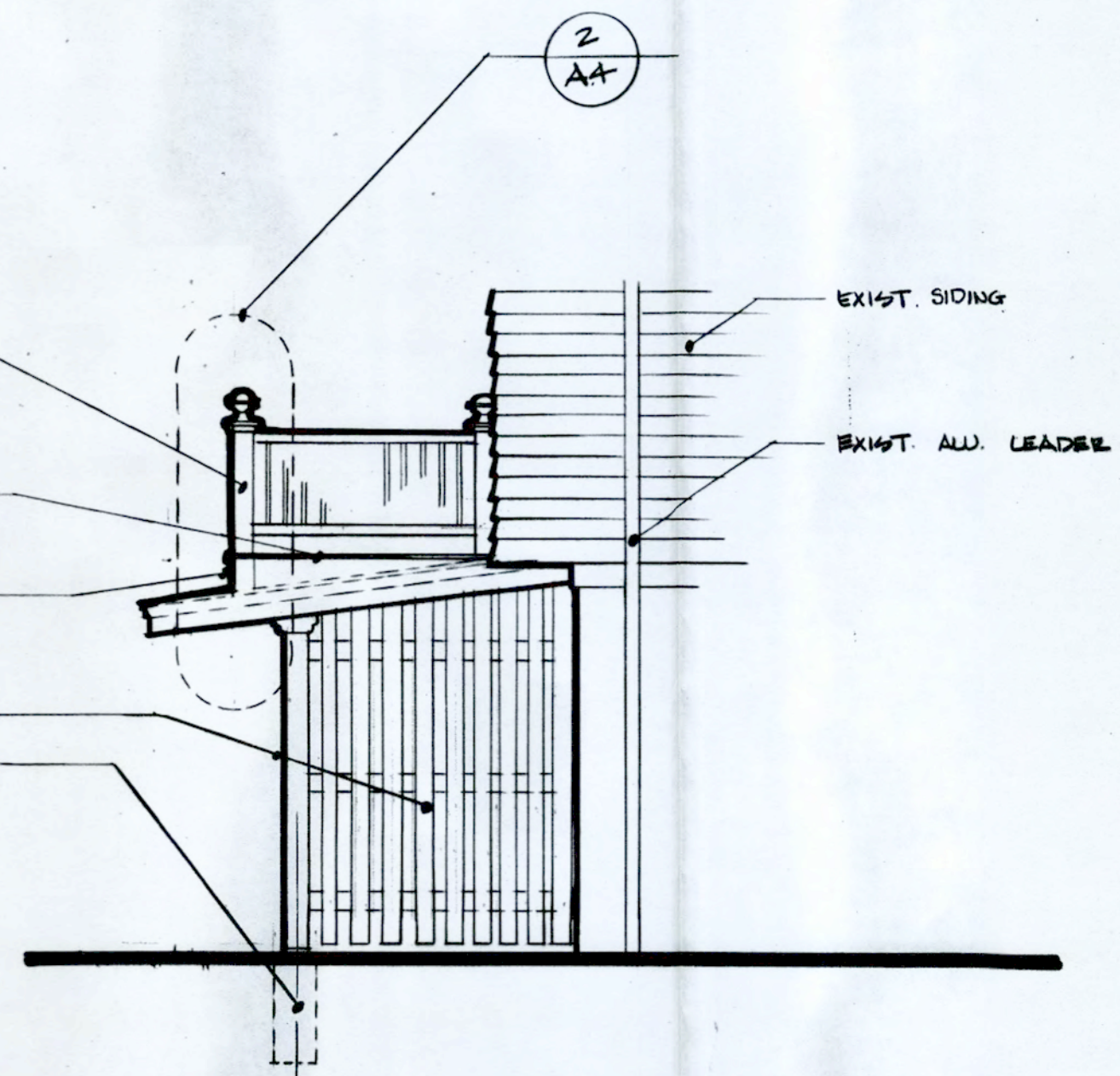
8" MIN. HIGH MET. FLASHING
BEHIND SIDING & UNDER
DECKING

2x6 CCA DECKING W/ 1/4" SPACING

EXIST. CCA B.M. JOIST CUT TO 2" & OF
EXISTING SHED ROOF

EXIST. 1x6 STOCKADE FENCING
W/ PAIR OF STOCKADE GATES

EXIST. SIGNATURE FOOTING



SIDE ELEVATION

SCALE 1/4"=1'-0"

NO	PROJECT STATUS	DATE
6	BOARD OF ADJ. PRINTS	11/19/21
5	ATTY REVIEW	8/18/21
4	EXIST. CONDITIONS REV.	6/25/21
3	NEW OWNER	
2	REVISED PERMIT SET	7/28/17
1	REVISED PERMIT SET	6/15/17
7	STRUCT. REVIEW	3/31/17
6	PERMIT SET FOR NEW RAILING	3/6/17
5	CONST. PERMIT SET	10/1/13
4	OWNER REVISIONS	10/15/13
3	BID SET	10/5/13
2	OWNER REVIEW - DES. REV.	8/4/13

DRAWING TITLE
REAR & SIDE
ELEVATIONS,
DECK PLAN & DETAIL
DATE
SCALE
AS NOTED
DRAWN
DK 1 DL & FA
CHECKED
DWL
DRAWING NUMBER

A-4

TOWNSHIP OF BERNARDS
PLANNING BOARD
APPLICATION STATUS FORM

Application No: PB21-005 Block: 2301 Lot: 4+5 Zone: R-1
 Applicant: AHMED, F. / FAIZAN, A. & KIRKWOOD, KEVIN & NATHALIE
 Address of Property: 62/40 WISTERIA WAY
 Description: AMENDED PREL/FINAL SUBDIVISION
CONDITION WHICH RESULTED IN CREATION
OF AN EMERGENCY ACCESS EASEMENT

APPLICATION CHECKLIST

<input checked="" type="checkbox"/> Original + 3 copies of Application	<input type="checkbox"/> Contributions Form (H)
<input type="checkbox"/> Remaining 17 copies of Application	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> W-9	<input type="checkbox"/> Architectural Plan
<input checked="" type="checkbox"/> Site Inspection Form (A)	<input checked="" type="checkbox"/> Survey
<input type="checkbox"/> Ownership Form (B)	<input type="checkbox"/> Wetlands Report/LOI
<input type="checkbox"/> Property Owners List (C)	<input checked="" type="checkbox"/> Application Fee
<input checked="" type="checkbox"/> Tax Certification (D)	<input checked="" type="checkbox"/> Escrow Deposit
<input type="checkbox"/> Public Notice (E)	<input checked="" type="checkbox"/> Imaging Fee
<input checked="" type="checkbox"/> Outside Agencies Form (F)	<input type="checkbox"/> Tax Map Revision Fee
<input checked="" type="checkbox"/> Tree Removal Form (G)	<input type="checkbox"/> Checklist

SCHEDULING

12.22.21 Original Submission Date
2.5.22 Completeness Deadline (45 days)
 _____ Incomplete Date
 _____ Resubmission Date
 _____ Date Complete
4.23.22 Time to Act (45/95/120 days)
 * FROM 1.18.22

HEARING

_____ Notice to Property Owners
 _____ Date of Publication
1.18.22 Completeness Hearing
2.22.22 Public Hearing
 _____ Carried to Date
 _____ Decision - Approved/Denied
 _____ Resolution Memorialized
 _____ Resolution Published

DISTRIBUTION

12.22.21 Environmental Commission
 _____ Fire Official
 _____ LCFAS
 _____ Police

NOTES

**TOWNSHIP OF BERNARDS
2021 PLANNING BOARD APPLICATION**

☐ Minor Subdivision
☒ Major Subdivision - Preliminary
☒ Major Subdivision - Final
☐ Conditional Use

☐ Site Plan - Preliminary
☐ Site Plan - Final
☐ Informal Review
☐ Other (specify): _____

1. APPLICANT: Anila Faizan & Faizan Ahmed (62 Wisteria way) - Kevin & Nathalie Kirkwood (48 Wisteria way

Address: 11 Ridge Road, Green Brook, NJ 08812 && 48 Wisteria Way, Basking Ridge, NJ 07920

Phone: (home) _____ (work) _____ (mobile) 732-579-7443

Email (will be used for official notifications): faizan.chairman@gmail.com & kkirkwood@optonline.net

2. OWNER (if different from applicant): _____

Address: _____

Phone: _____ **Email (will be used for official notifications):** _____

3. ATTORNEY: _____

Address: _____

Phone: _____ **Email (will be used for official notifications):** _____

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: ANDREW WU **Profession:** Engineer

Address: 168 U.S. ROUTE 1, EDISON, NJ 08817

Phone: 732-632-8087 **Email (will be used for official notifications):** awformosaeng@aol.com

5. PROPERTY INFORMATION: Block(s): 2301 Lot(s): 4 & 5 Zone: R1

Street Address: 48 & 62 Wisteria way, Basking Ridge **Total Area (square feet/acres):** 4.008 & 3.173 acres

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☐ No ☒ Yes (if yes, explain or attach Board resolution) Prilimnary and final planning board resolutions attached as well board of adjustment res. is attached

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) _____

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

☐ No ☒ Yes (if yes, explain and attach copy) EMERGENCY ACCESS EASEMENT

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: Lot 4 & 5 are two of 11 single-family residential lots, including two lots in Bernardsville, that are accessed from Wisteria Way and developed in accordance with subdivision approvals granted by Planning Board on Jan 30, 2001(pre), July 11, 2001(amended pre), and March 5 2002(final). The emergency access easement (pathway) pass through lot 5 and adjoining lot 4. We are requesting the vacation of this emergency access easement.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):
The Emergency Access Easement was enforced as a condition of approval for subdivision dated June 25, 2002. We are applying to the Board for amended preliminary and final subdivision approval to eliminate the conditions set forth in the underlying approval resolutions regarding emergency access easement.

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:
The New Jersey Department of Community Affairs (the "DCA") issued RSIS Clarification #4 which explained that the maximum average daily traffic ("ADT") for a cul-de-sac is 250 trips, which is a better measure of a function of the cul-de-sac. The RSIS Clarification #4 constitutes a change in law which is a change in circumstances that warrants elimination of condition # 18, 20, set forth in the preliminary application and Condition 8, 9 set forth on June 25, 2002

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:		MANJUSREE R. REVURI NOTARY PUBLIC OF NEW JERSEY ID # 50001769 My Commission Expires 8/13/2024
I/we, <u>Anila Faizan & Faizan Ahmed</u> and <u>Kevin Kirkwood & Nathalie Kirkwood</u> hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.		
Signature of Applicant(s): <u>[Signature]</u> <u>[Signature]</u> and <u>[Signature]</u>		
Sworn and subscribed before me, this <u>20</u> day of <u>December</u> , 20 <u>21</u>		
<u>[Signature]</u> Notary <u>B. Manjusee</u> on Dec 21st 2021		<div style="border: 1px solid black; padding: 5px; text-align: center;">ANTHONY FRANCHINI Notary Public - State of New Jersey My Commission Expires Jan 13, 2026</div>

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):
If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:
I/we, _____ the owner(s) of the property described in this application, hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.
Signature of owner(s): _____
Sworn and subscribed before me, this _____ day of _____, 20__.
_____ Notary

**ESTATE OF MARGARET DURKIN
TIMOTHY A. DURKIN, EXECUTOR
PRELIMINARY MAJOR SUBDIVISION
BLOCK 90, LOTS 2 AND 3**

WHEREAS, the owner applicant, the Estate of Margaret Durkin, Timothy A. Durkin, Executor, has applied for preliminary major subdivision approval for property on the easterly side of Meeker Road and shown as Block 90, Lots 2 and 3 on the tax map of Bernards Township; and

WHEREAS, the Planning Board of Bernards Township has conducted public hearings on this application at its meetings held on November 29th, and December 14th, 2000 of which public notice and notice by the applicant have been given as required by law; and

WHEREAS, the Planning Board after considering the application, documents and testimony has made the following findings of fact and conclusions of law:

1. The property which is the subject of this application is shown as Block 90, Lots 2 and 3 on the tax map of Bernards Township, consists of 37.70 acres and is located in the R-1 zone.
2. The entire tract being developed simultaneously by the applicant consists of 45.48 acres. The Planning Board of Bernardsville Borough by Resolution dated September 28th, 2000 granted preliminary major subdivision approval of 7.78 acres into two new lots which are contiguous to the north westerly property lines of the applicant's said two lots in Bernards Township and which Bernardsville lots will be serviced by the applicant's proposed cul-de-sac into the entire tract from Meeker Road. The Bernardsville Borough property was known as Block 101, Lot 4 on the tax map prior to the aforesaid approval.
3. The applicant's proposal for the development of a total of eleven lots consisting of the two new building lots in Bernardsville and eight new building lots and one lot to remain with the existing dwelling house in Bernards Township is all as shown on and in accordance with plans entitled "Preliminary Major Subdivision of Pheasant Cross, Block 90, Lots 2 and 3, Bernards Township, Block 101, Lot 4 Borough of Bernardsville, Somerset County New Jersey" prepared by Page Engineering Consultants, PC, dated June 7th, 2000 consisting of sheets 1 through 5, 6A, 6B, 7A, 7B, 7C, S1, T1 and W1.
4. The applicant also submitted the following plans and reports:
 - A) "Future Drainage Map Pheasant Cross, Block 90, Lots 2 and 3, Township of Bernards, Block 101, Lot 4 Borough of Bernardsville, County of Somerset, State of New Jersey" prepared by Page Engineering Consultants, PC, dated June 7th, 2000 consisting of one sheet;

- B) "Steep Slope Plan Preliminary Major Subdivision of Pheasant Cross, Block 90, Lots 2 and 3, Township of Bernards, Block 101, Lot 4, Borough of Bernardsville, County of Somerset, State of New Jersey" prepared by Page Engineering Consultants, PC, dated July 24th, 2000 consisting of one sheet; and
 - C) "Environmental Assessment Report" prepared by Page Engineering Consultants, PC dated June 6th, 2000 consisting of five pages; and
 - D) "Project Description and Statistics Report" prepared by Page Engineering Consultants, PC dated June 6th, 2000 consisting of four pages;
 - E) "Surface Water Management Plan for Pheasant Cross, Block 90, Lots 2 and 3, Township of Bernards, Block 101, Lot 4 Borough of Bernardsville, County of Somerset, State of New Jersey" prepared by Page Engineering Consultants, PC dated June 7th, 2000.
5. The Planning Board received and reviewed the following:
- A) Report for the Bernards Township Health Department dated July 26th, 2000;
 - B) Report from the Somerset County Planning Board dated August 14th, 2000; and
 - C) Reports from the Bernards Township Fire Official dated December 4th and December 11, 2000.
6. The delineation of wetlands and wetland transition areas on or affecting the applicant's tract has been verified by NJDEP. The applicant requires transitions area waivers and general permits from NJDEP.
7. All of the proposed new lots will be serviced by public water but none by public sanitary sewer and will have individual septic facilities.
8. All of the proposed new lots will have roadway frontage on the proposed new roadway cul-de-sac to service the development and new Lot A as shown on the aforesaid preliminary plans will also have frontage on Meeker Road.
9. As originally submitted, the applicant's proposal with respect to new Lot C did not have the driveway for same located completely on said lot but rather located much of the driveway on proposed contiguous new Lot D. The Planning Board requested that the applicant revise the subdivision plan to locate the driveway for Lot C entirely on that lot.
10. At the December 14th, 2000 public hearing, the applicant introduced as Exhibit A-3 a revision to the subdivision layout which modified several lot lines and accommodated the request of the Planning Board to locate the driveway for Lot C entirely on same.

11. The Planning Board further requested that the applicant modify its original proposal with respect to the driveways for new Lots G and H (the Bernardsville lots) where each lot was proposed to have its own separate driveway from the bulb of the cul-de-sac. A single driveway was requested for the portion of those lots situate in Bernards Township.

12. Exhibit A-3 on December 14th, further showed the singular driveway requested by the Planning Board to service new Lots G and H.

13. In making the request for the said singular driveway for the Bernards portions of Lots G and H, the Planning Board was cognizant that relief by way of a design modification would be required for each lot because the singular driveway would not be located five feet or more from the common property line of said lots.

14. The Planning Board was concerned with steep slope disturbance on new lots B, C, D, and E and requested that the houses to be constructed on same be located in such a way as to minimize such disturbance in the judgment of the Township Engineer.

15. Because the applicant will be bringing public water from Meeker Road to service this subdivision, the Planning Board requested that the applicant provide an easement, in appropriate form and satisfactory to all parties involved, which would be equal to the width of the driveway disturbance to run with the land in perpetuity over new Lots G and H for the construction and servicing of a public water line to the common property boundaries with those contiguous lots in Bernardsville Borough having lot frontage on Pill Hill Road. The applicant consented to same.

16. The Planning Board was further concerned about an increase in post-development stormwater runoff generated by the construction of more impervious surface on a lot. The Planning Board requested that if a subsequent property owner shall seek to construct a swimming pool, tennis court or any other facility creating additional impervious coverage, that such owner shall be required to submit to the Township Engineer a revised stormwater drainage plan for the lot which would compensate for the additional stormwater runoff being created to the satisfaction of the Township Engineer. Such should be in the form of a deed restriction to run with the land in perpetuity. The applicant consented to same.

17. The applicants' proposal provides for a roadway cul-de-sac to service all of the new lots, which will be approximately 1900 feet in length. The current zoning ordinance standard provides for the length of a cul-de-sac to be no greater than 1000 feet in length.

18. The Planning Board was of strong opinion that given the proposed length of the applicant's cul-de-sac, that there should be an alternate or emergency access provided into the tract.

19. Bernards Township owns property contiguous and to the east of the applicant's tract. Such property previously served as the municipal landfill site but has been closed,

“capped” and is under the continuing jurisdiction of NJDEP. The Planning Board requested that the applicant use diligent and best efforts to determine if it is feasible to bring an emergency access roadway into the tract from the said property of Bernards Township.

20. It is the clear and express intention of the Planning Board that some alternate or emergency access be provided for this subdivision in addition to the proposed cul-de-sac. If it is determined to the satisfaction of the Township Engineer that such alternate access cannot be provided from the east of the applicant’s property through Bernards’ municipal land fill site, the Planning Board requires that the applicant return to the Planning Board to reopen the public hearing with notice to property owners to revisit the length of cul-de-sac issue and emergency access roadway alternatives.

21. Stormwater Management detention basins are proposed to be located on new individual lots B and C, respectively. Each such detention facility shall be the sole responsibility of that individual lot owner for maintenance.

22. The Planning Board is in agreement that the proposed roadway cul-de-sac should have a 24-foot wide cartway and become 20 feet in width around the island within the bulb of same.

23. The applicants’ proposal for nine lots within the Bernards Township portion of the applicant’s tract is for that of a major subdivision under the Bernards Township zoning ordinances and meets the minimum requirements for the R-1 zone except that the applicant requires the following relief:

- A) An exception from Section 21-15.1.d.1 (Table 501) for minimum lot frontage for new Lots G and H where 125 feet is required and 78.54 feet is proposed (Bernardsville Lots);
- B) An exception from Section 21-15.1.d.1 (Table 501) for minimum lot width for new Lots G and H where 250 feet is required and 50 feet is proposed (Bernardsville Lots);
- C) A modification from Section 21-38.1.d. for location of a driveway on a single family lot to be five feet or greater from a side property line for new Lots G and H because a single driveway to service both lots is proposed at the common property line and bifurcated by same (Bernardsville Lots);
- D) A modification from Section 21-36.1.c. for maximum length of cul-de-sac where 1000 feet is permitted and 1900 feet is proposed and
- E) A waiver from Section 21-54.4.a.45.b. for information on the landscape plan where identification of all existing trees six (6) inches or greater in diameter within the limit of disturbance and 30 feet beyond is required and only such trees within the proposed roadway are shown.

24. The Planning Board is of the opinion that the exceptions required can be granted as same will result in an improvement in the layout of the development plan when compared to strict application of the regulations and that the resulting layout is reasonable and fulfills the general purpose and intent of the regulations.

25. The Planning Board is of the further opinion that the purposes of the Municipal Land Use Law and the Bernards Township Zoning Ordinances would be advanced by a deviation from the zoning ordinance requirements and that the benefit of the deviations substantially outweigh any detriment.

26. The Planning Board finds that the modifications sought can be granted for the reasons that the resulting change will satisfy the intent of the standards, will be designed in accordance with acceptable engineering practices, will not have an adverse impact upon the Township or the surrounding area, will not reduce the useful life of the improvement and will not increase the cost of maintenance.

27. The exceptions and modifications sought can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

NOW THEREFORE, be it **RESOLVED** by the Planning Board of Bernards Township on this 30th day of January 2001, that the action taken by the said Planning Board on December 14th, 2000 in approving the application of The Estate of Margaret Durkin, Timothy A. Durkin, Executor, for preliminary major subdivision approval together with the exceptions, modifications and waiver required for property shown as Block 90, Lots 2 and 3 on the tax map of Bernards Township and all as shown on and in accordance with the aforesaid plans is hereby **AFFIRMED** and **MEMORIALIZED** subject, however, to the following conditions:

1. Unless otherwise specified to the contrary, the word "applicant" as used hereafter in the conditions, shall mean the present property owner and applicant if different, and all future successors in title, agents or assigns.
2. Approval from any and all Boards, Authorities, including specifically the Bernards Township Health Department, whether Federal, State, County or local of whatsoever nature which shall be required by law in connection with the application.
3. The payment of all fees required by the Bernards Township Land Development Ordinance including specifically, developer fees required as per Section 21-76.16.
4. The applicant shall submit proof that all real estate taxes have been paid in full.
5. Compliance with all laws and/or regulations applicable to the property.

6. For all easements, including but not limited to conservation, driveway, sewer and detention basins, the applicant shall submit the form of written easement, including metes and bounds descriptions with copies of the plans and this resolution to the Township Attorney within thirty days of the adoption date of the resolution of final subdivision approval. Easements shall not be recorded until the Township Attorney has issued written approval and an appropriate ordinance has been adopted by the Bernards Township Committee.
7. The applicant shall forthwith amend and resubmit the plans to the satisfaction of the Township Engineer to comply with the report of the Township Engineer to the Planning Board dated October 3rd, 2000 and also to show the layout revisions depicted on applicants' Exhibit A-3 at the December 14th, 2000 public hearing.
8. The actual driveway itself to service new Lots G and H shall be curved as much as possible and located so as to minimize tree disturbance for that portion of same situate in Bernards Township to the satisfaction of the Township Engineer.
9. The applicant shall further amend the plans and resubmit them forthwith to the satisfaction of the Township Engineer to show a greenway/public access easement along the east side of new Lot B and along the south side of new Lot C. The easement shall be at least 25' wide on Lot B and at least 50 feet wide on Lot C and shall be so located so as to encompass the existing stream within said easement.
10. The applicant shall comply in full with the report of the Bernards Township Fire Official dated December 4th, 2000 and also with the Fire Officials report dated December 11th, 2000 in so far as the location of the fire hydrants both on-site and off-site, with the exception that the cul-de-sac not be extended and that only one hydrant shall be installed at the cul-de-sac bulb in a precise location satisfactory to the Fire Official, appropriate municipal Fire Chief and the Township Engineer. Any further recommendations in the said December 11th report are superceded by this approval.
11. The proposed cul-de-sac roadway shall have a cartway 24 feet in width and of 20 feet in width around the island at the cul-de-sac bulb.
12. The houses for proposed Lots B, C, D, and E shall be located so as to minimize steep slope disturbance to the satisfaction of the Township Engineer, who shall review the detailed grading plans submitted by the applicant at the time of building permit review.
13. The applicant shall provide an easement in appropriate form and satisfactory to all parties involved which shall be equal to the width of the driveway disturbance to run with the land in perpetuity over new Lots G and H for the construction, repair, maintenance and servicing of a public water line to the common property boundaries with those contiguous lots in Bernardsville Borough having lot frontage on Pill Hill Road.

14. The applicant shall provide a deed restriction which shall run with the land in perpetuity for new individual Lots B and C respectively to the effect that the stormwater management detention basin located on said lot shall be the sole responsibility of that individual lot owner for maintenance, all to the satisfaction of Bernards Township.

15. At such time as an owner of any lot within the subject tract shall seek to further develop such lot by addition of impervious coverage in the form of a swimming pool, tennis court or other individual structure or facility, such property owner shall provide additional stormwater management infrastructure in the form of dry wells or such other similar or appropriate form to compensate for the additional stormwater runoff generated by the new improvement so that there be no net increase in the rate and volume of runoff, all to the satisfaction of the Township Engineer. This condition shall be memorialized in the initial deed of conveyance from the applicant as a deed restriction to run with the land in perpetuity in a form satisfactory to the Township.

16. The applicant shall use diligent and best efforts to determine if it is feasible to bring an emergency access roadway into the applicants' tract from the contiguous property to the east owned by Bernards Township. If it is determined to the satisfaction of the Township Engineer that such alternate access cannot be provided from the east through the property owned by Bernards Township, the applicant shall return to the Planning Board to reopen the public hearing with notice to property owners in order to seek relief from this condition.

17. The applicant shall provide a deed restriction which shall run with the land in perpetuity for new individual Lots G & H, limiting the number of Bernardsville dwellings accessed via the new cul-de-sac to a total of two, i.e. one on Lot G and one on Lot H.

18. The applicant shall provide a deed restriction, which shall run with the land in perpetuity for new individual Lot A, limiting access to Lot A from the new cul-de-sac only and not from Meeker Road.

19. Prior to applying for final subdivision approval, the applicant shall obtain approval from the Bernards Township Health Department for the septic locations on new Lots B, C, and K, pursuant to the Health Department's July 26, 2000 report.

20. The fact that certain lots shall be encumbered by the various easements and deed restrictions mentioned herein and the fact that the overall site abuts the former municipal land fill site shall be fully disclosed and appropriately noticed to prospective individual lot purchasers in the first instance. Proper noticing shall be demonstrated to the satisfaction of the Township Engineer prior to issuance of building permits for each of the lots in Bernards Township.


21. No land disturbance on any of the new lots shall be permitted until a tree removal/preservation plan is approved by the Township Engineer for the respective lot.

22. No land disturbance related to the off-site water line installation shall be permitted until construction plans including a tree removal/preservation plan are approved by the Township Engineer.

I hereby certify that the foregoing is a true and correct copy of the resolution duly adopted by the Planning Board of the Township of Bernards in the County of Somerset, State of New Jersey, at its meeting held on 1/30/01 Mary Eula
Secretary, Planning Board

**BERNARDS TOWNSHIP
DEPARTMENT OF ENGINEERING SERVICES
PLANNING/ZONING BOARDS**

TO: Planning Board Members

FROM: Peter A. Messina, P.E., P.P.
Township Engineer/Planner 

DATE: October 3, 2000

APPLICANT: Estate of Margaret Durkin (Pheasant Cross)

APPLICATION: Preliminary Major Subdivision No. DP00-014P

LOCATION: 111 Meeker Road; Block 90, Lots 2 & 3 in Bernards and Block 101, Lot 4 in Bernardsville

ZONE: R-1 Residential (3 acre lots) in Bernards and R-1A Residential (3.16 acre lots) in Bernardsville

LOT AREA: 45.48 acres (37.70 acres in Bernards and 7.78 acres in Bernardsville)

WETLANDS: Delineation has been verified by NJDEP. Transition area waivers and general permits are required from NJDEP.

PROPOSAL: Eleven (11) lots ranging from 3.0 to 8.5 acres along a new 1,900 foot long cul-de-sac. Nine (9) lots, including eight (8) new buildable lots and one (1) existing dwelling, would be in Bernards. Two (2) new buildable lots at the end of the cul-de-sac would be in Bernardsville. Two (2) of the Bernards lots would also contain detention basins.

EXCEPTIONS:

1. Section 21-15.1.d.1/Table 501 Minimum lot frontage (required 125'; proposed 78.54' for lots G & H, Bernardsville lots)
2. Section 21-15.1.d.1/Table 501 Minimum lot width (required 250'; proposed 50' for lots G & H, Bernardsville lots)

DESIGN STANDARD MODIFICATIONS:

1. Section 21-36.1.c Maximum length of cul-de-sac (permitted 1,000'; proposed 1,900')

WAIVERS:

1. Section 21-54.4.a.45.b Landscape plan information (required: show all existing 6" trees within the limit of disturbance and 30' beyond; proposed: only trees within the proposed road are shown)

GENERAL COMMENTS:

The applicant proposes an overall density of 0.24 du/ac, whereas a maximum of 0.33 du/ac is permitted. The Bernardsville Borough Planning Board granted preliminary approval for the Borough's portion of the subdivision via resolution adopted September 28, 2000.

SPECIFIC COMMENTS:

Plans reviewed: plan set dated through June 7, 2000 and steep slope plan dated July 24, 2000.

1. Sheet 1 – amend the List of Drawings to include the steep slopes map and correct the Township Clerk's name to Szabo.
2. Sheet 2 – add a graphic scale.
3. Sheet 2 – amend the Bernards zoning table to reflect the exceptions required for the deficient frontage and width on lots G and H. Also note the required design standard modification. Add a note stating that the designation of front, side and rear yards is subject to change based upon the final orientation of the dwelling on each lot.
4. Sheet 2 – revise the building envelope for Lot J to show a front yard to the north, a rear yard to the south and a 75' side yard to the west. Revise the building envelope for Lot K to show a 75' side yard to the north.
5. Sheet 2 – indicate proposed lot numbers and street numbers as directed by the Township Surveyor.
6. Sheet 2 – show 10' X 350' sight triangles on the north and south sides of the proposed street intersection, per Section 21-37.1.
7. Sheet 2 – note that all wetlands and wetland transition areas, as may be modified by NJDEP, shall be contained within conservation easements running to Bernards Township, per Section 21-14.1.c.
8. Sheet 2 – note that lots G and H shall be deed restricted to limit the number of Bernardsville dwellings served by the new cul-de-sac to two (2).

9. Sheet 2 – add notes indicating maintenance responsibilities of the two (2) detention basins and the cul-de-sac island.
10. Sheet 2 – revise Lot C such that the driveway for Lot C is contained entirely on Lot C.
11. Sheet 2 – provide a 50' wide greenway/public access easement along the southerly lot lines of Lot C, linking the proposed cul-de-sac to the adjacent Township properties at Lots 5 and 11.02, Block 90.
12. Sheet 2 – note that Lot A shall be deed restricted to prohibit driveway access to Meeker Road.
13. Sheet 3 – note that all existing above ground utilities are to be removed.
14. Sheet 3 – amend note 6 to state that fire hydrant locations shall be subject to approval by the Township Fire Official.
15. Sheet 3 – show the proposed street sign location.
16. Sheet 3 – show a 12" wide stop bar and a 50' long double yellow centerline stripe at the street intersection.
17. Sheet 3 – provide detailed grading and tree removal plans for the water line extension along Meeker Road.
18. Sheet 3 – show existing inlet C to be removed and replaced with a new "B" type inlet in the curb return.
19. Sheet 3 – note that dry wells shall be approved as deemed necessary by the Township Engineer on a lot-by-lot basis upon review of soils testing at the time of building permit applications.
20. Sheet 3 – show rip-rap at flared end section on Lot C.
21. Sheets 3 & 4 – add a bus stop concrete or paver pad stone outside the sight triangle on the south side of the street intersection.
22. Sheets 3 & 4 – Discuss the need for a sidewalk within this development. If provided, the sidewalk should be located along the east/south side of the cul-de-sac.
23. Sheets 3 & 4 – clearly identify the portions of the existing driveway, which are to be removed and to remain.

24. Sheets 3 & 4 – note that all existing structures are to be removed unless otherwise indicated on the plans.
25. Sheets 3 & 4 – show locations, details, easements and provisions for maintenance for any proposed development identification signs.
26. Sheets 3 & 4 – provide a shared driveway with mutual access easements for Lots G and H.
27. Sheet 4 – label driveway slopes on each lot and note that driveway slopes shall not exceed 10% (13% for lots G and H) or 8% within 8' of the curb line.
28. Sheet 4 – revise anti-tracking pad to 200' long.
29. Sheet 7A – label length of granite block in curb detail to be minimum 12". Show a driveway depressed curb detail.
30. Sheet 7A – show details for rip-rap and low flow channels at both detention basins.
31. Sheet 7A – show water quality sump inlet locations on the subdivision plans (this detail conflict with the type "B" inlet detail).
32. Sheet 7B – show a stop sign detail using a 6" x 6" wood post painted white.
33. Sheet 7B – add a "no outlet" sign to the street sign detail.
34. Sheet 7B – relocate the tree protection detail to sheet T1.
35. Sheet T1 – revise note No. 2 to state "...prior to any land disturbance on each individual lot." Add the following tree protection notes:
 - A. Final tree removal plans and replacement tree calculations shall be subject to approval by the Township Engineer upon submission of individual building permit applications.
 - B. If during construction, it is determined by the applicant and the Township Engineer that a tree designated for removal can be preserved, said tree should be protected in accordance with Township standards. Appropriate credit shall be given toward the tree replacement requirements if the tree is preserved.
 - C. If during construction, it is determined by the Township Engineer that a tree designated for preservation cannot be protected in accordance with Township standards, the tree shall be removed and replacement trees shall be required.
 - D. Tree protection measures shall comply with Section 21-45.
36. Misc. – an off-tract traffic contribution and development fee per Section 21-76.16 shall be required.

37. Misc. – prospective lot purchasers should be provided with disclosure statements indicating such items as easements restrictions, homeowner's association responsibilities, location of township landfill, etc., as applicable.

38. Misc. – any approval of this preliminary subdivision application should be conditioned upon the applicant obtaining approval from the Bernards Township Health Department for the septic locations on lots B, C, and K prior to applying for final subdivision approval, pursuant to the Health Department's July 26, 2000 report.

39. Misc – submit digitized computer disk copies of all plan sheets upon final approval of the plans.

40. Misc. – discuss the possibility of providing an emergency access route from the cul-de-sac to Meeker Road, across adjacent properties. Attempts to acquire such access should be documented.

The applicant is requested to address the above comments.

C: Mr. A. Garvin, Esq.
Mr. G. Geiger, Esq.
Mr. K. Page, PE, PP

MARIE EULA

From: JANET LAKE
Sent: Monday, December 04, 2000 11:55 AM
To: MARIE EULA
Cc: DAVID SCHLEY
Subject: Durkin/ Pheasant Cross

CC Dave
Pete

Date: December 4, 2000

To: Marie Eula, Planning Secretary

From: Janet Lake, Fire Official

Re: Pheasant Cross, (Durkin)
Meeker Road
Block 90 Lot 2 & 3 Township Bernards
Block 101 Lot 4 Borough of Bernardsville

I apologize for the lateness of this commentary. I remembered the name Durkin and thought I had done the written report when it appeared on the Planning Board Agenda. It turns out I did not review the site plan, but did meet with the Township Engineer, Planning Board Attorney and both Fire Chiefs to discuss the length of the cul-de-sac.

Due to the length of this cul-de-sac it was suggested that an emergency access road through the dump in Bernardsville be pursued. This would be a big help with Bernardsville's access. There are also concerns about people calling 911 for a fire or other emergency and getting Bernardsville. This would cause a delay in response time.

I called today and left a message for Bernardsville's Fire Official. I would like to meet with him along with the Fire Chiefs from both towns to discuss the matter. A written report will be sent to you with their suggestions, if I can arrange a meeting. Due to the lateness of this report I will try to do this as soon as possible.

Somehow the Fire Chief and I did not see this plan. I have no doubt that you left them in my office for me. During our construction this summer things got a bit un-organized, again my apologies.

I have called Kevin Page of Page Engineering Consultants, PC in order to get a copy of the hydrant site plan that he showed to the Planning Board at its last meeting. It is my understanding that hydrants have been placed closer then the required 400 ft. If in fact this is the case, we have no problem with the developer meeting more than the minimum requirement as long as placement of these hydrants is acceptable.

Hydrants shall not be supplied by less than an eight-inch water main.

Hydrants must be located within three feet of the curb line of streets.

12/4/00

Each hydrant shall provide a minimum flow rate of 1,000 gallons per minute at 20 pounds per square inch residual pressure for a minimum duration of two hours. Hydrants shall be installed in accordance with ANSI/AWWA C 502, "Dry Barrel Fire Hydrants," latest edition. Hydrants shall be tested in accordance with NFPA 291. A written report of this data shall be supplied to me for review.

The fire service water and hydrants shall be installed and in service prior to bringing combustibles to the construction site.

Trash and debris shall be removed from the construction site as often as necessary to maintain a fire-safe construction site.

Flammable or combustible liquids shall be stored, handled or used on the construction site in accordance with the applicable provisions of NFPA 30, NFPA 58 and NFPA 395.

Finished grade measured out from where the exterior wall or foundation of a building meets such grade, shall not exceed a slope of eight percent for a distance of at least 10 feet.

A developer shall be required to include a provision in all deeds to property purchasers providing a right of way to the township and the local fire department as may be needed for access to any such fire protection device.

Hard all-weather surface access roads shall be provided to all structures under construction at all times.

MARIE EULA

From: JANET LAKE
Sent: Monday, December 11, 2000 2:28 PM
To: MARIE EULA
Cc: DAVID SCHLEY
Subject: Durkin Bv.doc

CC: Dave
Pete

Date: December 11, 2000
To: Marie Eula, Planning Board Secretary
From: Janet Lake, Fire Official
Re: Pheasant Cross, (Durkin)
Meeker Road
Block 90 Lot 2 & 3 Township of Bernards
Block 101 Lot 4 Borough of Bernardsville

This morning I met with Assist. Chief Ron Salko, Ex-Chief Frank Ferrante of Bernardsville Fire Department and Chief Mark Ierubino of Basking Ridge Fire Department concerning this site plan.

There were questions about which town would provide services to the two lots in Bernardsville. There was talk concerning the possibility of Bernards Township taking over the two lots in Bernardsville. All three men agreed that the only concern they have is in making sure the dispatch center is aware of who is to be called in an emergency. It was decided that they would discuss this issue more, after a decision is made by the Committees from each town. Response time for both fire companies is about the same to this site.

The cul-de-sac stops prior to the lot lines for the houses in Bernardsville. The driveways to these properties are approximately 400 ft. long. It was suggested that the cul-de-sac be extended up to the property lines of these lots, and that there be a K- turn around half way up the driveway to these two dwellings as well as to the house on lot C. These driveways would have to be capable of supporting fire department vehicles.

Fire Chief Ierubino has asked that the roadway be widened to 32 ft. given the fact that it is the only access to the site. He has also asked that the island be removed from the cul-de-sac and the turning radius be increased to 60 ft. to accommodate ladder trucks.

The fire hydrant in the island on the circle is to be removed. Two hydrants, one on each side of the circle are to be installed instead.

12/11/00

There was discussion about an emergency access road being placed through the dump site on the Bernards Township side. This discussion was at a previous meeting with the Town Engineer Mr. Messina and Planning Board Attorney Mr. Garvin called to discuss the length of the cul-de-sac. Chief Ierubino would like to know if the building of this emergency access is a possibility.

Our Fire Protection Ordinance requires that fire hydrants be installed along the route to a residential subdivision. They must meet the same distance, flow and pressure requirements as the hydrants inside the site.

**ESTATE OF MARGARET DURKIN
TIMOTHY A. DURKIN, EXECUTOR
FINAL MAJOR SUBDIVISION
#DP01-019P
BLOCK 90, LOTS 2 AND 3**

WHEREAS, the Estate of Margaret Durkin, Timothy A. Durkin, Executor, as owner and applicant, has applied to the Bernards Township Planning Board for final major subdivision approval for property on the easterly side of Meeker Road, known and designated as Block 90, Lots 2 and 3, on the Bernards Township Tax Map; and

WHEREAS, the applicant submitted a final plat consisting of one sheet prepared by Page Engineering Consultants, P.C., dated August 14, 2001, together with a cul-de-sac planting plan, consisting of one sheet, prepared by Bruce John Davies, ASLA, dated January 22, 2002; and

WHEREAS, the Board considered the application at a hearing held on January 8, 2002 and January 22, 2002; and

WHEREAS, the Board made the following findings and conclusions:

1. The Planning Board granted preliminary major subdivision approval to the applicant as appears in a resolution adopted January 30, 2001. Amended preliminary approval, necessary due to changes relating to the emergency access drive, was granted by the Planning Board as appears in a resolution adopted July 11, 2001.
2. The preliminary approval was made subject to 22 conditions, and the amended preliminary approval was made subject to 10 conditions. The applicant has complied with the conditions, sufficient for the Board to determine the applicant is entitled to final subdivision approval.
3. The application was reviewed by the Board's Engineer, who rendered a report on December 19, 2001. The report recommended various modifications to the final plat, all of which were technical in nature. The applicant agreed at the hearing to make the modifications requested.
4. The applicant presented to the Board a landscape plan for the proposed islands at the end of Wisteria Way. The Planning Board debated the benefits of landscaping the island or paving the island. A straw poll of the Board was taken, and the majority indicated it favored landscaping of the island as proposed by the applicant. Concern was raised regarding the potential cost to the municipality of having to maintain the landscaped island. The applicant offered that the final plat could be amended to provide a notation that the municipality shall provide no landscaping maintenance on the island. The developer also offered that it would maintain the island until the lots are sold or until the street was accepted, whichever was later. The applicant's engineer represented that, in his experience, one of the neighboring property owners on the cul-de-sac would in all likelihood adopt the island for maintenance. The applicant would not agree to make such a provision a restriction on either or both of the lots abutting the cul-de-sac.

5. It was reported to the Board that the various easements, of which there are many in this matter, have been prepared and reviewed as to form as required by the preliminary approval.

6. The proposed plan was found to conform to municipal ordinance, and be consistent with the conditions established at the time of preliminary approval and amendment to the preliminary approval. As a result, pursuant to N.J.S.A. 40:55D-50(a) the Board determined the applicant was entitled to final major subdivision approval;

NOW, THEREFORE, BE IT RESOLVED that this resolution serve to memorialize the action of the Planning Board of Bernards Township in approving the application of the Estate of Margaret Durkin, Timothy A. Durkin, Executor, for final major subdivision approval subject to the following conditions:

1. Unless otherwise specified to the contrary, the word “applicant” as used in this resolution shall mean the present property owner and applicant if different, and all future successors in title, agents or assigns.

2. The applicant shall obtain approval from any and all boards, authorities or other agencies, including specifically, the Bernards Township Health Department, whether those agencies be Federal, State, County or local, of whatsoever nature, which shall be required by law in connection with the application.

3. The applicant shall pay all fees required by the Bernards Township Land Development Ordinance including but not limited to, the developer’s fees required in accordance with Section 21-76.16 of the Municipal Code.

4. The applicant shall submit proof that all real estate taxes have been paid in full.

5. The applicant shall comply with all laws and/or regulations applicable to the property.

6. The applicant shall cause to be executed, delivered, and/or recorded, as appropriate, all easements and agreements required and necessitated by the approval, including but not limited to those related to conservation, driveway, sewer and detention basins. Easements, agreements and restrictions shall not be recorded until the Township Attorney has issued written approval, and an appropriate ordinance has been adopted by the Bernards Township Committee.

7. The driveway to service new lots located in the Borough of Bernardsville shall be curved as much as possible and located so as to minimize tree disturbance for that portion of the property situate in Bernards Township, which location shall be established to the satisfaction of the Township Engineer. The applicant shall execute and record an easement, satisfactory to all parties involved, which shall be equal to the width of the driveway disturbance for the purposes of the construction, repair maintenance, and servicing of a public water line to the common property boundaries with those lots in Bernardsville Borough.

8. The cul-de-sac shall not be further extended.

9. The houses for the lots shall be located so as to minimize steep slope disturbance to the satisfaction of the Township Engineer, who shall review the detailed grading plan submitted by the applicant at the time of building permit review.

10. A deed restriction shall be placed of record to run with the land in perpetuity on Lots 2.02 and 3.01 in Block 90, respectively, to the effect that the storm water management detention basin located on said lot shall be maintained by that individual lot owner.

11. The initial deeds of conveyance of the lots shall contained a restriction to run with the land in perpetuity in form satisfactory to the Township, that in the event the owner of any lot within the subject property shall seek to further develop any lot by addition of impervious coverage in the form of a swimming pool, tennis court or other individual structure or facility, that such property owner shall provide additional storm water management infrastructure in the form of dry wells or such other similar or appropriate form to compensate for the additional storm water runoff generated by the new improvement so that there will be no net increase in the rate and volume of runoff, all to the satisfaction of the Township Engineer.

12. The deeds to Lots 4 and 4.01, Block 101, in the Borough of Bernardsville shall contain a deed restriction which shall run with the land in perpetuity limiting the number of Bernardsville dwellings accessed via the new cul-de-sac to a total of two, specifically, Lots 4 and 4.01.

13. The deed to Lot 2.01 in Block 90 at the corner of Meeker Road and Wisteria Way, shall contain a deed restriction which shall run with the land in perpetuity limiting access to the lot from the new cul-de-sac road, and not from Meeker Road.

14. The fact that certain lots shall be encumbered by the various easements and deed restrictions mentioned herein, and as shown on the final plat, and the fact that the overall site abuts the former municipal land fill site shall be fully disclosed and appropriately noticed to prospective individual lot purchasers in the first instance. Proper notice shall be demonstrated to the satisfaction of the Township Engineer and Planning Board Attorney prior to the issuance of any building permits for each of the lots in Bernards Township.

15. No land disturbance on any of the new lots shall be permitted until a tree removal/preservation plan in compliance with the ordinance is approved by the Township Engineer for the respective lot.

16. No land disturbance related to the off site water line installation shall be permitted until construction plans, including a tree removal/preservation plan, are approved by the Township Engineer.

17. The final plat shall be amended as follows:

a. A note shall be added that Bernards Township shall have no responsibility to provide landscape maintenance on the cul-de-sac island.

b. The key map, zoning tables, and zoning notes as shown on the preliminary plan shall be added.

c. Subdivision notes numbered 10 and 11 as shown on Sheet 2 of the preliminary plans shall be added.

d. The labeling of Block 90, Lot 4, to indicate N/F Borough of Bernardsville shall be corrected.

e. State plane coordinates for three monuments shall be provided.

f. The conservation easement label (both words and arrows) shall be revised so that the locations/limits of easements shall be made clear to prospective home buyers who may be reviewing the plat, sufficient to satisfy the Township Engineer.

g. The label for the emergency access easement on Lot 2.03 shall be added.

h. All restrictions and conditions referenced in this resolution which are not incorporated in the final plat shall be incorporated in the final plat. Whether or not they are to also be perfected by deed restriction on individual lots.

18. The applicant shall enter into a developer's agreement with the Township, and post a performance guarantee in the amount of 120% of the cost of the public improvements, and upon release of the performance guarantee post a maintenance guarantee in the amount of 15% of the cost of the improvements.

19. The applicant shall install the landscaping on the cul-de-sac pursuant to the landscape plan dated January 22, 2002, hereinabove referenced.

I, Frances Florio, Secretary to the Planning Board of the Township of Bernards in the County of Somerset, do hereby certify that the foregoing is a true and correct copy of a resolution duly adopted by the said Planning Board on the day of March, 2002.

FRANCES FLORIO, Secretary

**ESTATE OF MARGARET DURKIN
TIMOTHY A. DURKIN, EXECUTOR
AMENDED PRELIMINARY MAJOR SUBDIVISION
DP01-011P
BLOCK 90, LOTS 2 & 3**

WHEREAS, the owner applicant, the Estate of Margaret Durkin, has applied for relief from condition No. 16 of a Resolution of the Planning Board of Bernards Township adopted on January 30th, 2001, for property on the easterly side of Meeker Road and shown as Block 90 Lots 2 and 3 on the tax map of Bernards Township; and

WHEREAS, the Planning Board of Bernards Township conducted public hearings on this application at its meetings held on June 19th and July 11th, 2001, of which public notice and notice by the applicant have been given as required by law; and

WHEREAS, the Planning Board after considering the application, documents and testimony has made the following finds of fact and conclusions of law:

1. The Planning Board's memorializing Resolution adopted on January 30th, 2001, which granted preliminary major subdivision approval to the applicant's property shown as Block 90, Lots 2 and 3 on the tax map of Bernards Township, contained the following Condition No.16:

“ The applicant shall use diligent and best efforts to determine if it is feasible to bring an emergency access roadway into the applicant's tract from the contiguous property to the east owned by Bernards Township. If it is determined to the satisfaction of the Township Engineer that such alternate access cannot be provided from the east through the property owned by Bernards Township, the applicant shall return to the Planning Board to reopen the public hearing with notice to property owners in order to seek relief from this condition.”

2. The Planning Board received and reviewed the report of the Bernards Township Fire Official dated June 9th, 2001 and June 29th, 2001.

3. The Township Engineer is satisfied that the use of the said Bernards Township property, which was a landfill but has now been environmentally “capped”, as a part of the emergency access road for the applicant's tract is not feasible. That determination is supported by the said report of the Township Fire Official.

4. The applicant has now submitted an alternative plan for the construction of an emergency access roadway. That proposal is all as shown on and in accordance with a plan entitled “Preliminary Major Subdivision of Pheasant Cross Block 90 Lots 2 & 3 Township of Bernards Block 101 Lot 4 Borough of Bernardsville County of Somerset State of New Jersey” prepared by Page Engineering Consultants PC, dated June 7th, 2000, and last revised July 6th, 2001, consisting of one sheet.

5. The new proposed emergency access roadway will begin at the southwesterly corner of the applicant's proposed new Lot K and thereafter extend over proposed new Lot J which contains the extant dwelling house on the tract and utilizes the driveway, for same, eventually intersecting with the new cul-de-sac roadway to service the subdivision at proposed new Lot E.

6. The emergency access roadway is gravel and will be twelve feet in width except where wider vehicle passing areas shall be provided as deemed necessary by the Township Fire Official.

7. The responsibility for maintenance of the emergency driveway shall be solely that of the owners of new Lots J and K.

8. The Planning Board concurs that the emergency access roadway should not be constructed as originally proposed for consideration utilizing the Township's said landfill property to the east of the applicant's tract. Therefore, the Planning Board concludes that the applicant is entitled to relief from Condition No. 16.

9. The Planning Board further concludes that the applicant's proposal for an alternate emergency access roadway is reasonable and is approved as a part of this approval as an amendment to the preliminary major subdivision approval heretofore granted.

NOW THEREFORE, be it RESOLVED by the Planning Board of Bernards Township on this 11th day of July, 2001, that the action taken by the said Planning Board on July 11th, 2001, in approving the application of the Estate of Margaret Durkin, Timothy A. Durkin, Executor, for relief from a significant condition for property shown as Block 90 Lots 2 and 3 on the tax map of Bernards Township and all as shown on and in accordance with the aforesaid plans is hereby AFFIRMED and MEMORIALIZED subject, however, to the following conditions:

1. Unless otherwise specified to the contrary, the word "applicant" as used hereafter in the conditions, shall mean the present property owner and applicant if different, and all future successors in title, agents or assigns.

2. Approval from any and all Boards, Authorities, including specifically the Bernards Township Sewerage Authority, whether Federal, State, County or local of whatsoever nature which shall be required by law in connection with the application.

3. The payment of all fees required by the Bernards Township Land Development Ordinance including specifically, developer fees required as per Section 21-76.16.

4. The applicant shall submit proof that all real estate taxes have been paid in full.

5. Compliance with all laws and/or regulations applicable to the property.

6. For all easements, including but not limited to conservation, driveway, and access, the applicant shall submit the form of written easement, including metes and bounds descriptions with copies of the plans and this resolution to the Township Attorney within thirty days of the adoption date of this resolution. Easements shall not be recorded until the Township Attorney has issued written approval and an appropriate ordinance has been adopted by the Bernards Township Committee or an appropriate resolution has been adopted by the Bernards Township Sewerage Authority.

7. The applicant shall forthwith amend and resubmit the plan to the satisfaction of the Township Engineer to comply with the report of the Township Engineer to the Planning Board dated June 14th, 2001 and the report of the Township Fire Official to the Planning Board dated June 29th, 2001.

8. The applicant shall submit the proposed form of maintenance agreement for the emergency access roadway to be entered into between the property owners of proposed new Lots J and K for approval by the Township Attorney and Township Engineer, which agreement shall be memorialized in written form prior to the issuance of any building permit for any lot within the applicant's tract. The agreement shall state the facts of the emergency access roadway including the facts that there shall be no gates or signs along the roadway and that the roadway shall remain unobstructed at all times.

9. The facts of the emergency access roadway and the proposed on-site retention basin *vis a vis* the individual lot owner/s responsible for maintenance of same shall be reasonably and conspicuously set forth in any sales literature marketing the lots of the applicant's subdivision.

10. Unless otherwise specified herein, this approval is subject to all of those conditions set forth within this Planning Board's prior resolution dated January 30, 2001 with regard to this project.

SUBMIT 21 COPIES TOTAL

FORM A

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

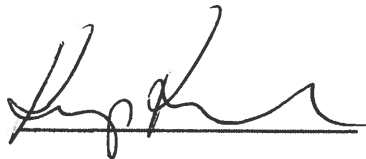
Applicant: Faizan Ahmed & Kevin Kirkwood

Block: 2301 **Lot:** 4 & 5

Street Address: 48 & 62 Wisteria Way, Basking Ridge

I, Faizan Ahmed & Kevin Kirkwood, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:



Date:

12/21/21

SUBMIT ORIGINAL + 2 COPIES

FORM TO BE SENT TO TAX COLLECTOR, ONE COLLYER LANE,
BASKING RIDGE, NEW JERSEY, 07920 (908) 204-3078
FOR CERTIFICATION OF CURRENT PROPERTY TAX PAYMENTS. CERTIFICATION WILL
BE MAILED TO YOU WHEN IT IS COMPLETED.
DO NOT SUBMIT APPLICATION WITHOUT PROOF OF TAXES PAID.

CERTIFICATION OF CURRENT PROPERTY TAX PAYMENTSBLOCK 2301 LOT 4PROPERTY LOCATION: 48 Wisteria WayASSESSED TO: KirkwoodADDRESS: 48 Wisteria WayREQUESTED BY: Faizan AhmedPHONE NUMBER: 732-579-7443MAIL CERTIFICATION TO: 11 Ridge Road, Green Brook NJ 08812

I CERTIFY THAT THE PROPERTY TAXES ARE CURRENT, PAID THROUGH
4th quarter 2021

*I verify that this information accurately reflects
municipal tax records.*

Tax Collector
Township of Bernards
Somerset County



A handwritten signature in black ink, appearing to read "K. Sant'Angelo".

KEVIN SANT'ANGELO,
TAX COLLECTOR

K. Ferratti - admin assistant.
to collector

SUBMIT ORIGINAL + 2 COPIES

FORM TO BE SENT TO TAX COLLECTOR, ONE COLLYER LANE,
BASKING RIDGE, NEW JERSEY, 07920 (908) 204-3078
FOR CERTIFICATION OF CURRENT PROPERTY TAX PAYMENTS. CERTIFICATION WILL
BE MAILED TO YOU WHEN IT IS COMPLETED.
DO NOT SUBMIT APPLICATION WITHOUT PROOF OF TAXES PAID.

CERTIFICATION OF CURRENT PROPERTY TAX PAYMENTSBLOCK 2301 LOT 5PROPERTY LOCATION: 62 Wisteria WayASSESSED TO: FaizanADDRESS: 62 Wisteria WayREQUESTED BY: Faizan AhmedPHONE NUMBER: 732-579-7443MAIL CERTIFICATION TO: 11 Ridge Road, Green Brook NJ 08812

I CERTIFY THAT THE PROPERTY TAXES ARE CURRENT, PAID THROUGH
4th quarter 2021.


KEVIN SANT'ANGELO,
TAX COLLECTOR

*I verify that this information accurately reflects
municipal tax records.*

Tax Collector
Township of Bernards
Somerset County



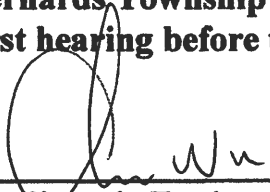
*K. Ferratti - admin. assistant
to Collector*

**ADDENDUM TO THE BERNARDS TOWNSHIP
PLANNING BOARD APPLICATION**

**APPROVALS REQUIRED BY LOCAL, COUNTY,
STATE AND OTHER AGENCIES**

PERMITS	APPLICABLE	N/A	PENDING	RECEIVED
Somerset County Planning Bd.***		N/A		
Somerset County Road Opening Permit		N/A		
Bernards Sewerage Authority		N/A		
NJDEP:		N/A		
a) Stream encroachment		N/A		
b) Filing Floodplain		N/A		
c) Other		N/A		
Army Corp of Engineers:		N/A		
a) Section 404		N/A		
b) Other		N/A		
NJDOT:		N/A		
a) Road opening permit		N/A		
b) Drainage permit		N/A		

***** All applications for subdivision or site plan, whether Preliminary, Final, Minor or Major, must be submitted to Somerset County Planning Board by the applicant and proof of submittal must be received by Bernards Township prior to the scheduling of the application for the first hearing before the Bernards Township Planning Board.**



Applicant's Engineer

GB 34581

PE Number

12/21/2021

Date

SUBMIT 21 COPIES TOTAL

FORM G

**TOWNSHIP OF BERNARDS
APPLICATION FOR TREE REMOVAL PERMIT**

DATE: 12-20-2021

1. Name and address of the owner of the premises and status of legal entity (individual, partnership, corporation of this or any other state, etc.) _____

Faizan Ahmed & Kevin Kirkwood

2. Status of the applicant with respect to land (owner, lessee, tenant, purchaser, under contract, etc.) _____

Faizan Ahmed owner of 62 Wisteria Way

Kevin Kirkwood owner of 48 Wisteria Way

3. Name and address of the applicant for the permit if other than the owner (attach owner's written consent) _____

4. Description of the premises where tree removal is to take place, including lot and block numbers and street address Two single family residential dwelling in block 2301
Lot 4 & 5 and their corresponding addresses are 48 Wisteria way and 62 Wisteria way

5. A list of all trees to be removed with a DBH equal to or greater than six inches identified by size and species, including total number of each species to be removed (attach separate sheet if necessary) _____

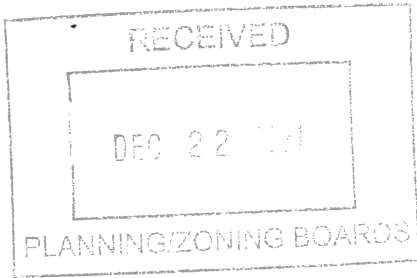
No trees to be removed

6. Purpose for tree removal (construction, street or roadway, driveway, utility easement, recreation areas, patio, parking lot, etc.)

No trees to be removed

7. Proof that there are no delinquent property taxes or assessments due on the property for which the application is submitted (attach certification from tax collector).

8. Trees that had been removed within the past two years _____



109 #75 - Chf #001 CM



R PETER WIDIN COUNTY CLERK
SOMERSET COUNTY, NJ
2002 JUL 17 11 55 44 AM
BK 5176 PG 2223-2233
INSTRUMENT # 2002065429

↓
RECORD & RETURN TO

Denise Szabo, R M C
Bernards Township
One Collyer Lane
Basking Ridge, New Jersey 07920

Prepared By


Michael J Vitiello, Esq.,

EMERGENCY ACCESS EASEMENT

THIS EMERGENCY ACCESS EASEMENT is made on this 25th day of June, 2002,
by and between

**TIMOTHY A. DURKIN AND CHARLES P. DURKIN, JR., AS CO-EXECUTORS
OF THE ESTATE OF MARGARET DURKIN**, having an address c/o Timothy A Durkin,
Co-Executor, P O Box 58, Bernardsville, New Jersey 07924-0058 (hereinafter referred to as the
“Grantor”)

TOWNSHIP OF BERNARDS, a municipal corporation of the State of New Jersey,
whose address is One Collyer Lane, Basking Ridge, New Jersey 07920 (hereinafter “Grantee”
or “Bernards”)

WITNESSETH:

WHEREAS, Grantor is the fee simple title owner of property located in the Township of
Bernards, County of Somerset, and State of New Jersey, designated as Block 90, Lots 2 04 and
2 03 (the “Property”), as show on the official tax map of the Township of Bernards and on a final
plat entitled “Pheasant Cross, Block 90, Lots 2 & 3, Township of Bernards, Block 101, Lot 4,
Borough of Bernardsville,” prepared by Page Engineering Consultants, PC, dated August 14,
2001, as recorded with the Somerset County Clerk’s office on July 10, 2002 at Book 5173, Page
1204

WHEREAS, Grantor received from the Bernards Township Planning Board (the "Board") preliminary major subdivision approval memorialized by resolution dated January 30, 2001, amended preliminary subdivision approval memorialized by resolution dated July 11, 2001, and final major subdivision approval memorialized by resolution date March 5, 2002, and

WHEREAS, Conditions 8 and 9 of the July 11, 2001, resolution required Grantor to

- 8 The applicant shall submit the proposed form of maintenance agreement for the emergency access roadway to be entered into between the property owners of proposed new Lots J and K for approval by the Township Attorney and Township Engineer, which agreement shall be memorialized in written form prior to the issuance of any building permit for any lot within the applicant's tract. The agreement shall state the facts of the emergency access roadway including the facts that there shall be no gates or signs along the roadway and that the roadway shall remain unobstructed at all times.
- 9 The facts of the emergency access roadway and the proposed on-site retention basin vis a vis the individual lot owner responsible for maintenance of same shall be reasonably and conspicuously set forth in any sales literature marketing the lots of the applicant's subdivision.

WHEREAS, Grantor and Grantee desire to memorialize the rights and obligations to the Easement Premises more formally by drafting and executing this Emergency Access Easement

NOW, THEREFORE, in consideration of the sum of One Dollar (\$1 00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, and the premises covenants and conditions hereinafter contained, Grantor does hereby grant and convey to Grantee, its successors and assigns forever, and Grantee does hereby accept, the easement set forth herein on the terms and conditions herein contained

1 **Grant of Easement** The Grantor grants and conveys to the Grantee, its successors and assigns, an easement in, under, through and across that portion of Grantor's Property as shown on Schedule "A" and made a part hereto (the "Easement Area") for the purpose of utilizing for any and all emergency access purposes, including, but not limited to, four wheel drive vehicles of the police, fire and first aid squad of any governmental entity having jurisdiction in the area

2 **Maintenance** Grantor shall maintain the Easement Area in an unobstructed manner so as to preserve at all times, including during snow fall in winter, the right of Grantee to utilize the Easement Area for the purposes set forth herein. Grantor shall post no signs or construction gates in the Easement Area. Grantor shall cut back and clear any bushes or growth

along the easement area Grantor shall maintain a minimum overhead clearance of 16 feet along the Easement Area.

3 **Rights of Grantee** The Grantee and its agents, servants, employees and contractors shall have the right without notice to enter upon those portions of the Grantor's Property which are necessary to gain access to the Easement Area in connection with its replacement, reconstruction, repair and maintenance subject to the terms of Section 4

4 **Grantor's Standard of Care** The Grantor agrees to exercise reasonable care in the use and enjoyment of the Easement Area and in the taking of such action with respect thereto as may be permitted by the terms of this Easement Agreement The Grantor agrees further to use its best efforts to perform all work within the Easement Area in a workmanlike manner, with a minimum of inconvenience to Grantor and to complete such work expeditiously Upon the completion of any work within the Easement Area by the Grantor or its agents, servants, employees or contractors, the Grantor shall expeditiously remove or shall cause to be removed, all tools, equipment, building and debris from the Grantor's Property as nearly as possible to its condition immediately prior to the undertaking The Grantor agrees that it shall be exclusively responsible, at its sole cost and expense for the replacement, reconstruction, repair and maintenance of the Easement Area

5 **Rights and Obligations of Grantee** Grantee, its successors and assigns, after acceptance of this Emergency Access Easement by the Grantee, shall have the right to enter upon the Easement Area during any and all emergency situations Should Grantor not maintain the Easement Area, Grantee shall also have the right to maintain the Easement Area to a condition to allow emergency and other four-wheel drive vehicles to traverse same during any and all emergency situations and seek reimbursement from Grantor for all its costs

6 **Governmental Laws** Grantor and Grantee shall be required to comply with all applicable governmental laws, rules and regulations concerning the Easement Area

7 **Reservation of Rights by Grantor for Driveway and Other Uses** Subject to the limitations set forth in this Emergency Access Easement, Grantor shall have the right to use, occupy and enjoy the subsurface under and the air space over the Easement Area for a driveway and any lawful purpose which does not unreasonably interfere with or unreasonably threaten the safe, proper or convenient use, occupancy or enjoyment of the Easement Area by Grantee If Grantor performs any work within the Easement Area, Grantor agrees to perform all work in a workmanlike manner and to restore the Easement Area to the condition as it existed prior to said work

8 **Default and Remedies** If either Grantor or Grantee shall default in the performance of any of its obligations under this Emergency Access Easement (the "Defaulting Party"), and such default shall continue for a period of thirty (30) calendar days after notice shall have been given to such Defaulting Party of the default and demanding that the same be cured (unless such default cannot with due diligence be wholly cured within such period of thirty (30) calendar days, in which case such party shall have such longer period as shall be necessary to cure the default), the other party (the "Curing Party") shall have the right (but not the obligation),

without waiving or releasing any other right or remedy in connection with the default, to cure such default for the account of the Defaulting Party, and may enter the Easement Area for such purpose. The Defaulting Party shall reimburse the Curing Party for any costs and expenses incurred by such Curing party in effecting such cure within thirty (30) calendar days after receipt of a written demand therefor. Interest shall be charged on any such costs and expenses from the date that they are incurred at a rate equal to the lesser of (i) the Prime Rate, as announced from time to time by the Wall Street Journal, plus one (1) percent per annum, or (ii) the maximum interest rate permitted by applicable law.

9 **Notices** All notices or other communications required or permitted to be given under this Emergency Access Easement shall be given in writing and delivered personally or mailed by certified or registered mail, postage prepaid, or by a respectable priority delivery service such as Federal Express or UPS, addressed to the address first set forth above. The foregoing addresses may be changed or supplemented by written notice given as above provided. Any notice, if sent by certified mail, shall be deemed to have been received by the addressee on the third business day after posting in the United States mail, if sent by priority delivery service, on the first business day after being deposited with such service, or if delivered personally, on the day of such delivery.

10 **Binding Effect** The terms, covenants and conditions herein contained shall run with the land and shall be binding upon and inure to the benefit of the successors and assigns of the parties hereto.

11 **Governing Law** This Emergency Access Easement shall be governed by and construed in accordance with the laws of the State of New Jersey. Venue of any dispute shall be in the Superior Court of New Jersey, Somerset County.

12 **No other Agreements** This Emergency Access Easement contains the entire understanding of the parties hereto with respect to the subject matter hereof. This Emergency Access Easement shall not be modified except by a written instrument signed by both parties hereto.

13 **Miscellaneous** If any provision of this Emergency Access Easement is found to be invalid or unenforceable, the remainder of this Emergency Access Easement shall be unaffected thereby. The invalidation of any provision shall not serve to materially interfere with the easement rights herein conveyed. The paragraph headings are for convenience and reference only and shall not limit or otherwise affect the meaning hereof.

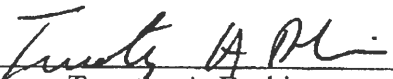
[SIGNATURE BLOCKS ON NEXT PAGE]

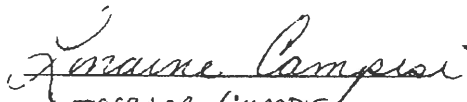
IN WITNESS WHEREOF, the Grantor and Grantee have each executed this Emergency Access Easement as of the date of year first set forth above Grantee executes this Emergency Access Easement to acknowledge its consent to the terms and conditions herein contained

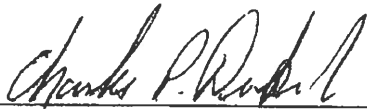
WITNESS:

GRANTOR:


GRACE J SHIN

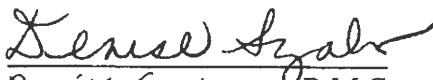

Name Timothy A Durkin
Title Co-Executor of the Estate of Margaret Durkin

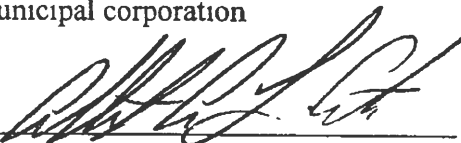

Lorraine Campisi


Name. Charles P. Durkin, Jr
Title Co-Executor of the Estate of Margaret Durkin

WITNESS OR ATTESTED BY.

TOWNSHIP OF BERNARDS
A municipal corporation


Denise Szabo , R.M.C.

BY 
Albert Licata , Mayor



KENNON SURVEYING SERVICES, Inc.

P. O. Box 4477, 5 Powder Horn Drive, Suite #4

Phone: 732-564-1818

Warren, New Jersey 07059

Fax: 732-564-9999

SCHEDULE A Page 1 of 3

Property Description
Pheasant Cross
30' Wide Emergency Access Easement
Block 90, Lots 2 03 and 2 04
Bernards Township
Somerset County, New Jersey

A tract of land being part of Lots 2 03 and 2 04, Block 90 as shown on a map entitled "Pheasant Cross, Block 90, Lots 2 and 3, Township of Bernards and Block 101, Lot 4, Borough of Bernardsville, County of Somerset, State of New Jersey, Final Plat," prepared by Page Engineering Consultants dated 8/14/01 and being more particularly described as follows

Commencing at the intersection of the easterly line of Meeker Road 16.5' perpendicular distance easterly from the centerline thereof with the southerly line of Lot 1 02, Block 90 in the Township of Bernards, thence,

- A Along the southerly line of said Lot 1 02 North $72^{\circ} 25' 22''$ East 396 37', thence,
- B Along the southerly line of the aforementioned Lot 2 03 along a curve to the right having a radius of 155 00', an arc length of 5 02', and a central angle of $01^{\circ} 51' 18''$ to the POINT OF BEGINNING of the herein described tract, thence,
- 1 Entering into said Lot 2.03 North $11^{\circ} 49' 38''$ West 39 39', thence,
- 2 Along a curve to the right having a radius of 255 00', an arc length of 59 17', a central angle of $13^{\circ} 17' 41''$ whose chord bears North $05^{\circ} 10' 48''$ West 59 04', thence,
- 3 North $01^{\circ} 28' 02''$ East 59 62', thence,
- 4 Along a curve to the to the left having a radius of 470.00', and arc length of 58 80', a central angle of $07^{\circ} 10' 06''$ whose chord bears North $02^{\circ} 07' 01''$ West 58 76', thence,
- 5 North $05^{\circ} 42' 04''$ West 41 22', thence,
- 6 Along a curve to the left having a radius of 200 00', an arc length of 82 56', a central angle of $23^{\circ} 39' 04''$ whose chord bears North $17^{\circ} 31' 36''$ West 81 97', thence,
- 7 North $29^{\circ} 21' 08''$ West 36 19', thence,

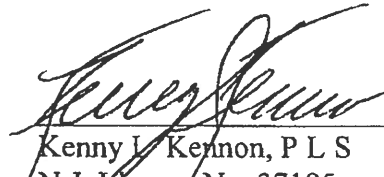
KSS 10-12-01
1 of 3

- 8 Continuing through said Lot 2 03 and entering said Lot 2 04 along a curve to the right having a radius of 140 00', an arc length of 107 40', a central angle of 43° 57' 12" whose chord bears North 07° 22' 32" West 104 78', thence,
- 9 North 14° 36' 03" East 22 69', thence,
- 10 Along a curve to the left having a radius of 295 00', an arc length of 92 44', a central angle of 17° 57' 12" whose chord bears North 05° 37' 27" East 92 06', thence,
- 11 North 03° 21' 09" West 39 14', thence,
- 12 Along a curve to the right having a radius of 120 00', an arc length of 158 75', a central angle of 75° 47' 57" whose chord bears North 34° 32' 50" East 147 43', thence,
- 13 North 72° 26' 48" East 75 66', thence,
- 14 Along a curve to the right having a radius of 160 00', an arc length of 112 61', a central angle of 40° 19' 31" whose chord bears South 87° 23' 26" East 110 30'; thence,
- 15 Along a curve to the left having a radius of 50 00', an arc length of 30 11', a central angle of 34° 30' 01" whose chord bears South 84° 28' 41" East 29 65' to the easterly line of said Lot 2 04, thence,
- 16 Along said easterly line South 21° 17' 09" East 30 36', thence,
- 17 Leaving said easterly line and entering said Lot 2 04 along a curve to the right having a radius of 80 00', an arc length of 53 20', a central angle of 38° 06' 05" whose chord bears North 86° 16' 43" West 52 22', thence,
- 18 Along a curve to the left having a radius of 130 00', an arc length of 91 50', a central angle of 40° 19' 31" whose chord bears North 87° 23' 26" West 89 62', thence,
- 19 South 72° 26' 48" West 75 66', thence,
- 20 Along a curve to the left having a radius of 90 00', an arc length of 119 07', a central angle of 75° 47' 57" whose chord bears South 34° 32' 50" West 110 57', thence,
- 21 South 03° 21' 09" East 39 14', thence,
- 22 Along a curve to the right having a radius of 325 00', an arc length of 101 84', a central angle of 17° 57' 12" whose chord bears South 05° 37' 27" West 101 42" thence,
- 23 Continuing through said Lot 2 04 and entering the aforementioned Lot 2 03 South 14° 36' 03" West 22 69', thence,
- 24 Along a curve to the left having a radius of 110 00', an arc length of 84 38', a central angle of 43° 57' 12" whose chord bears South 07° 22' 32" East 82 33', thence,

100 10 12 31
2 05 3

- 25 South 29° 21' 08" East 36 19', thence,
- 26 Along a curve to the right having a radius of 230.00', an arc length of 94 94', a central angle of 23° 39' 04" whose chord bears South 17° 31' 36" East 94 27', thence,
- 27 South 05° 42' 04" East 41 22', thence,
- 28 Along a curve to the right having a radius of 500 00', an arc length of 62 56', a central angle of 07° 10' 06" whose chord bears South 02° 07' 01" East 62 52', thence,
- 29 South 01° 28' 02" West 59 62', thence,
- 30 Along a curve to the left having a radius of 225 00', an arc length of 52 21', a central angle of 13° 17' 41" whose chord bears South 05° 10' 48" East 52 09', thence,
- 31 South 11° 49' 38" East 40 26' to the southerly line of said Lot 2 03, thence,
- 32 Along said southerly line along a curve to the left having a radius of 155 00', an arc length of 30 06', a central angle of 11° 06' 42" whose chord bears South 79° 50' 00" West 30 01' to the POINT OF BEGINNING of the herein described tract

10.12.01
Date


Kenny L. Kennon, P L S
N J License No. 37195

STATE OF NEW JERSEY

COUNTY OF SOMERSET ^{SS.}

I certify that on April 18, 2002, Albert L. Cata, personally came before me, and this person acknowledged under oath, to my satisfaction, that:

- (a) this person signed, sealed and delivered this document as Mayor of the Township of Bernards, a public body corporate and politic of the State of New Jersey, and
- (b) this person knows the proper seal of the Township of Bernards which was affixed to this document, and
- (c) this document was signed and made by the Township of Bernards as its voluntary act and deed duly authorized by a proper resolution adopted by the Township Committee

Rita M. Osborne
[Notary Public]

RITA M. OSBORNE
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Mar. 2, 2007

STATE OF NEW JERSEY)
COUNTY OF INDERIS) SS

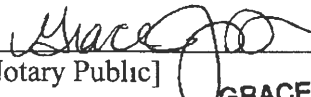
I CERTIFY as follows

1 On JUNE 25, 2002, TIMOTHY A DURKIN personally appeared before me,

2 I was satisfied that this person is the person who executed the attached instrument as Co-Executor of the Estate of Margaret Durkin,

3 This person stated that he was authorized to execute the instrument as Co-Executor of the Estate of Margaret Durkin, and that he executed this instrument as the act of such entity, and

4 The full and actual consideration paid or to be paid for the transfer of title is One Dollar (\$1 00)


[Notary Public] GRACE J. SHIN
Attorney at Law
State of New Jersey

STATE OF NEW YORK)
COUNTY OF NEW YORK) SS

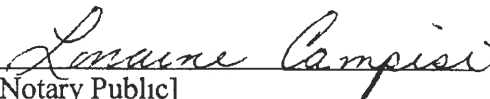
I CERTIFY as follows

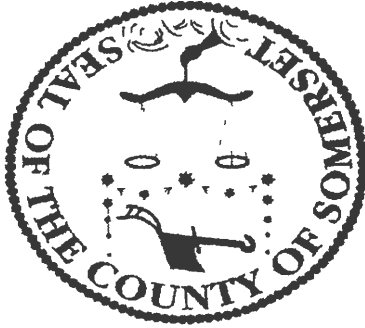
1 On JUNE 12, 2002, CHARLES P DURKIN, JR personally appeared before me,

2 I was satisfied that this person is the person who executed the attached instrument as Co-Executor of the Estate of Margaret Durkin,

3 This person stated that s/he was authorized to execute the instrument as Co-Executor of the Estate of Margaret Durkin, and that s/he executed this instrument as the act of such entity, and

4 The full and actual consideration paid or to be paid for the transfer of title is One Dollar (\$1 00)


[Notary Public] LORRAINE CAMPISI
Notary Public, State of New York
No 01CA6029615
Qualified in Queens County
Commission Expires 08/23/2005



R PETER WIDIN
SOMERSET COUNTY CLERK
20 GROVE STREET
P O BOX 3000
SOMERVILLE, NJ 08876-1262

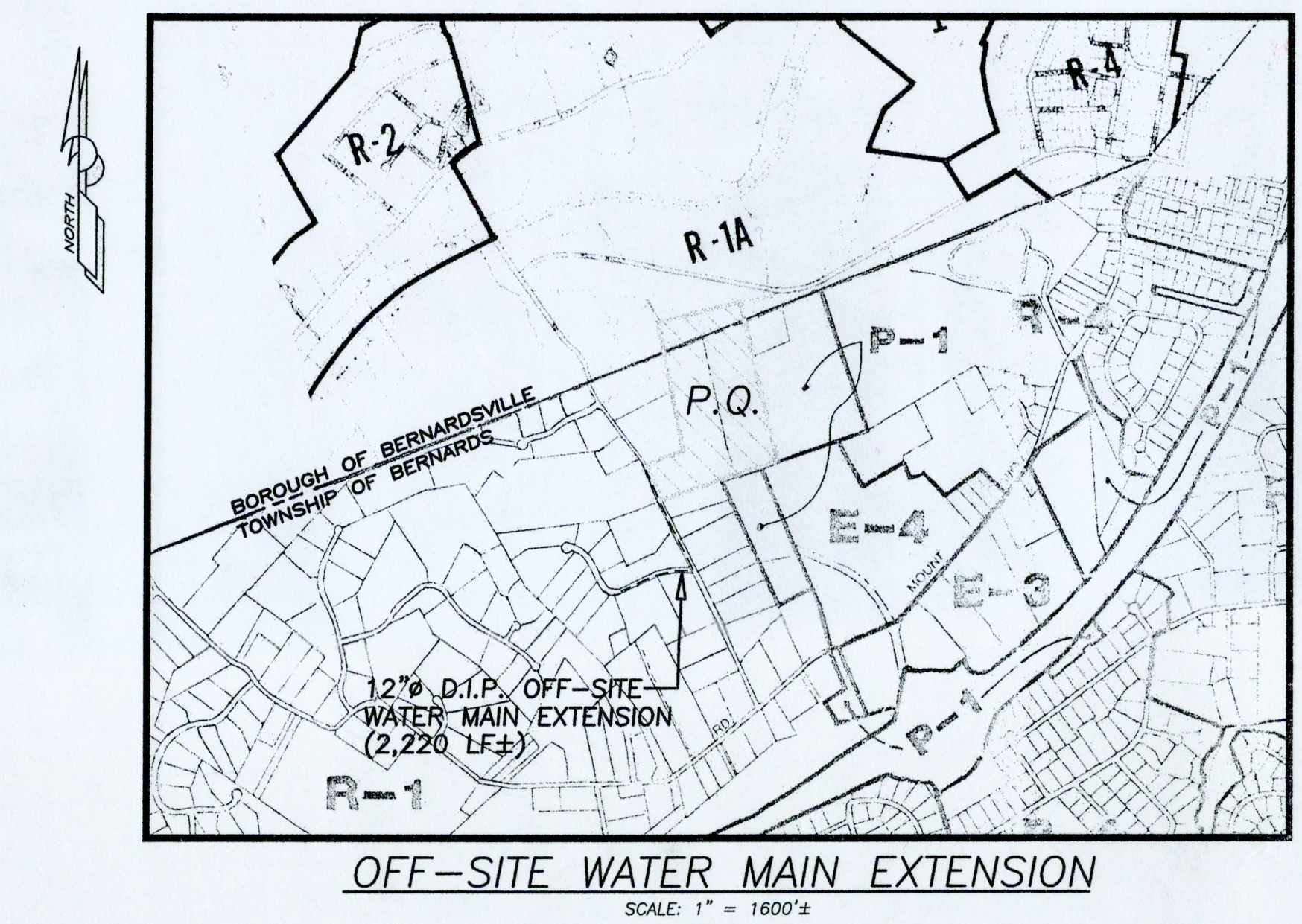
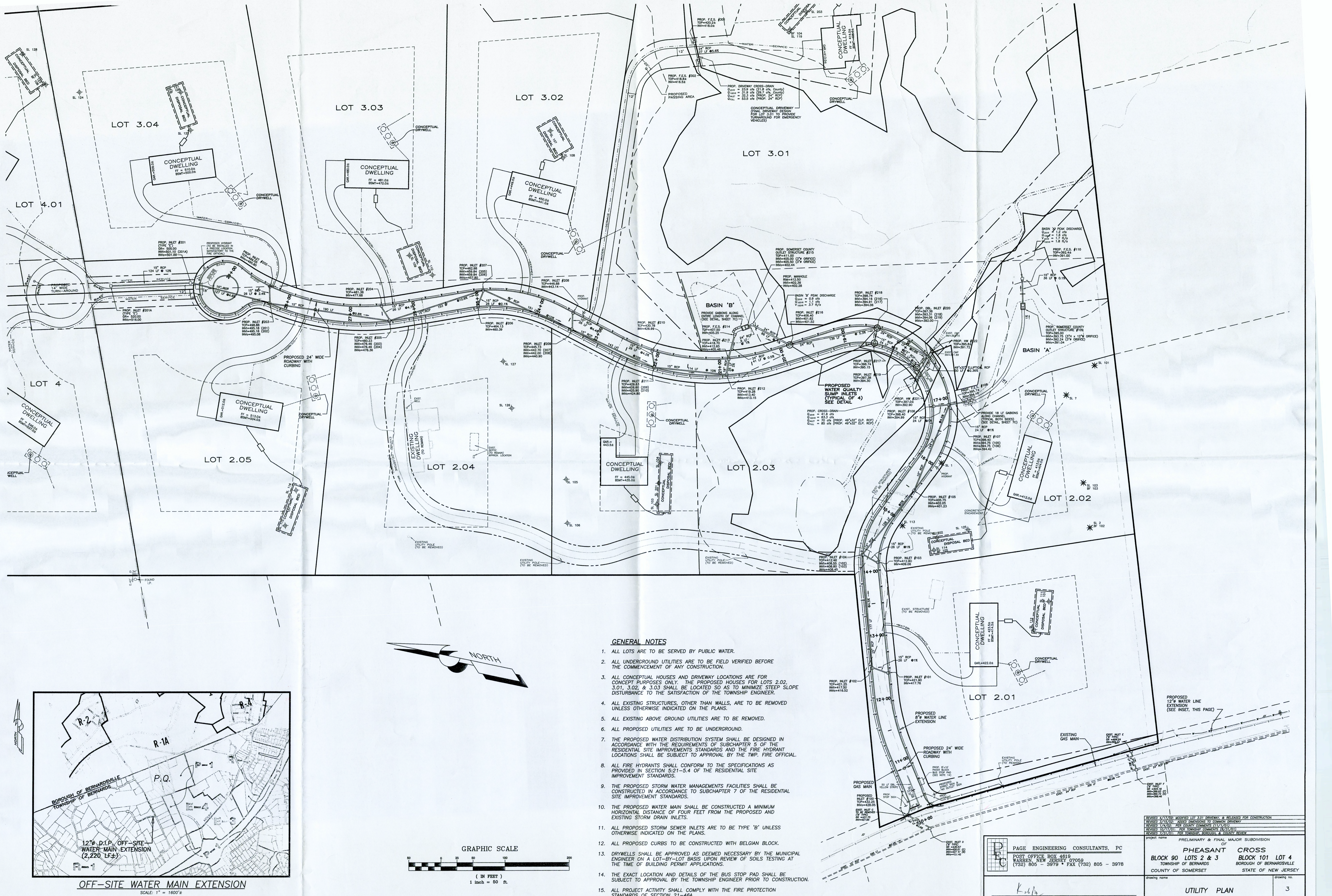
Recorded: 07/17/2002 11 55:44 AM
Book: OPR 5176 Page: 2223-2233
Instrument No.: 2002065429
EASEMT 11 PGS \$75.00

Recorder: HECKMAN

DO NOT DISCARD

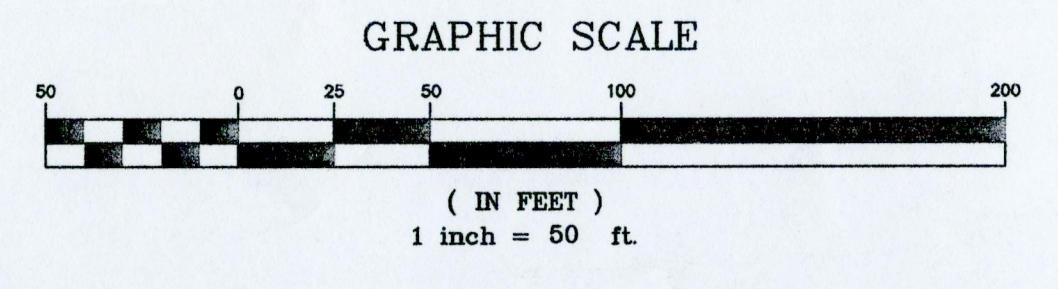


2002065429



GENERAL NOTES

1. ALL LOTS ARE TO BE SERVED BY PUBLIC WATER.
2. ALL UNDERGROUND UTILITIES ARE TO BE FIELD VERIFIED BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION.
3. ALL CONCEPTUAL HOUSES AND DRIVEWAY LOCATIONS ARE FOR CONCEPT PURPOSES ONLY. THE PROPOSED HOUSES FOR LOTS 2.02, 3.01, 3.02, & 3.03 SHALL BE LOCATED SO AS TO MINIMIZE STEEP SLOPE DISTURBANCE TO THE SATISFACTION OF THE TOWNSHIP ENGINEER.
4. ALL EXISTING STRUCTURES, OTHER THAN WALLS, ARE TO BE REMOVED UNLESS OTHERWISE INDICATED ON THE PLANS.
5. ALL EXISTING ABOVE GROUND UTILITIES ARE TO BE REMOVED.
6. ALL PROPOSED UTILITIES ARE TO BE UNDERGROUND.
7. THE PROPOSED WATER DISTRIBUTION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBCHAPTER 5 OF THE RESIDENTIAL SITE IMPROVEMENTS STANDARDS AND THE FIRE HYDRANT LOCATIONS SHALL BE SUBJECT TO APPROVAL BY THE TWP. FIRE OFFICIAL.
8. ALL FIRE HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS AS PROVIDED IN SECTION 5-21-5.4 OF THE RESIDENTIAL SITE IMPROVEMENT STANDARDS.
9. THE PROPOSED STORM WATER MANagements FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE TO SUBCHAPTER 7 OF THE RESIDENTIAL SITE IMPROVEMENT STANDARDS.
10. THE PROPOSED WATER MAIN SHALL BE CONSTRUCTED A MINIMUM HORIZONTAL DISTANCE OF FOUR FEET FROM THE PROPOSED AND EXISTING STORM DRAIN LINES.
11. ALL PROPOSED STORM SEWER INLETS ARE TO BE TYPE 'B' UNLESS OTHERWISE INDICATED ON THE PLANS.
12. ALL PROPOSED CURBS TO BE CONSTRUCTED WITH BELGIAN BLOCK.
13. DRYWELLS SHALL BE APPROVED AS DEEMED NECESSARY BY THE MUNICIPAL ENGINEER ON A LOT-BY-LOT BASIS UPON REVIEW OF SOILS TESTING AT THE TIME OF BUILDING PERMIT APPLICATIONS.
14. THE EXACT LOCATION AND DETAILS OF THE BUS STOP PAD SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP ENGINEER PRIOR TO CONSTRUCTION.
15. ALL PROJECT ACTIVITY SHALL COMPLY WITH THE FIRE PROTECTION STANDARDS OF SECTION 21-46A.



PAGE ENGINEERING CONSULTANTS, PC
POST OFFICE BOX 4619
WARREN, NEW JERSEY 07059
(732) 805 - 3979 • FAX (732) 805 - 3978

PRELIMINARY & FINAL MAJOR SUBDIVISION OF
PHEASANT CROSS
BLOCK 90 LOTS 2 & 3
TOWNSHIP OF BERNARDS
COUNTY OF SOMERSET

drawing name
UTILITY PLAN

drawing no.
3

REVISIONS:
4/17/02: MODIFIED LOT 3.01 DRIVEWAY, & RELEASED FOR CONSTRUCTION
3/15/02: ADDED DIMENSIONS TO COMMON DRIVEWAY
1/15/02: PER SOUTH COMMENTS (1/17/01)
10/17/01: PER TOWNSHIP COMMENTS (8/27/01)
7/27/01: PER TOWNSHIP COMMENTS & COUNTY REVIEW

checked by
scale
project no.

MEEKER ROAD

N 11°49'38" W

LOT 3

LOT 2

368.88'

LOT 5
BLOCK 2301
(Old Lot 2.04, Old Block 90)
138207.7 SQ. FT.
3.1728 ACRES

386.34'

LOT 4

LOT 6

Legend:

x 104.04 DENOTES EXISTING SPOT ELEVATION
- 106 DENOTES EXISTING CONTOURS
ALL UNITS ARE IN FEET

ELEVATIONS ARE BASED ON ASSUMED EL=100.00
ON TOP OF CATCH BASIN LOCATED AT THE
WESTERLY LINE OF WISTERIA WAY IN FRONT OF
THE PROPERTY



Graphic Scale
1"=20'

GENERAL NOTES:

1. Property Known and Designated as Lot 5 in Block 2301 as shown on the current Tax Map of Township of Bernards.
2. Property situated in the R-1 Residential Zone District.
3. The Existing Topography was surveyed in the field by FORMOSA ENGINEERING INC. dated March 9, 2021.
4. All utilities will be underground.

References:

Deed: Book 5176 Page 3339-3346
Tax map: Lot 5 in Block 2301, Township of Bernards, Somerset County, New Jersey
File map: Being known as Lot 2.04 in Block 90 shown on "Final Plat, Pheasant Cross, Block 90 Lots 2 & 3, Township of Bernards, Block 101 Lot 4, Borough of Bernardsville, County of Somerset, State of New Jersey" and filed in the Somerset County Clerk's Office on July 10, 2002 in Book 5173 Page 1204

Existing Plot Plan

WISTERIA WAY

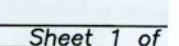
(50' R.O.W.)

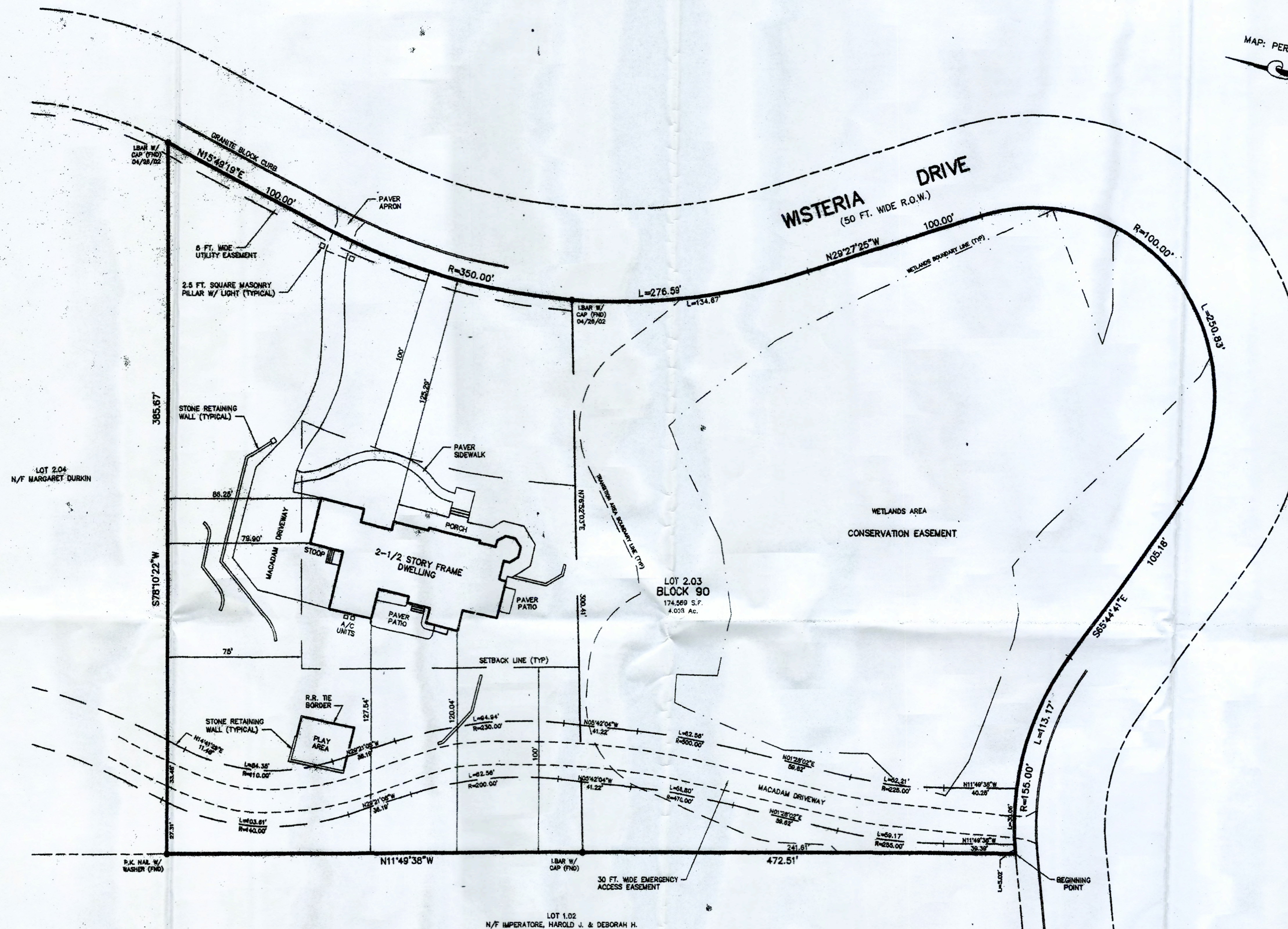
WAY

FORMOSA ENGINEERING INC.

188 U.S. ROUTE 1
EDISON, NJ 08817
TEL: (732) 632 8087 FAX: (732) 964 3900
E-mail: awformosaeng@aol.com

DRAWN	C. C.	TOPOGRAPHY SURVEY PLAN
APP.	A. WU	62 Wisteria Way, Basking Ridge
SCALE	1"=20'	Tax Lot 5 in Block 2301
DATE	05/36/2021	Township of Bernards
PROJ. NO.	08821	SOMERSET COUNTY, NEW JERSEY
		ANDREW K. WU P.E. AND P.L.S. PROFESSIONAL ENGINEER AND PROFESSIONAL LAND SURVEYOR New Jersey LICENSE NO. GB34581





THIS SURVEY IS CERTIFIED TO:

KEVIN P. KIRKWOOD and NATHALIE A. KIRKWOOD, his wife;
AMBROSIO, KYREAKAKIS, DILORENZO, McRAFF & McKENNA;
ELITE TITLE;
HSBC

MAP REFERENCE:

MAP ENTITLED: PHEASANT CROSS, BLOCK 90, LOTS 2 & 3, TOWNSHIP OF BERNARDS, BLOCK 101, LOT 4, BOROUGH OF BERNARDSVILLE, COUNTY OF SOMERSET COUNTY, STATE OF NEW JERSEY. WHICH MAP WAS FILED ON 07/10/2001 IN DEED BOOK 5173, PAGE 1204.

[illegible]

STEPHEN E. PARKER
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 38187

PARKER

ENGINEERING & SURVEYING P.C.
370 EAST MAIN STREET, SOMERVILLE, N.J. 08876
(908) 725 - 4400 - FAX (908) 722 - 4401

DRAWN BY
CA

CHECKED BY	DEP
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SCALE
1"=40'

DATE 06/11/04

FILE	5144
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SHEET
1 OF 1

SURVEY OF PROPERTY

TAX MAP LOT 2.03 BLOCK 90

TOWNSHIP OF BERNARDS

SOMERSET COUNTY, NEW JERSEY

h/s

DANIEL E. PARKER

NEW JERSEY LAND SURVEYOR LIC. NO. 35886

FILE	SHEET
06/11/04	5144 1 OF