

BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION  
**Regular Meeting of April 26, 2021-7 pm**

The Environmental Commission meeting for April 26, 2021 will be conducted using Zoom Video Conferencing. The public will be able to view the meeting live by clicking on this link

<https://us02web.zoom.us/j/84227527333?pwd=ODRtMDRsaXg0dVlpZzVaK0NhRUJXdz09> at 7:00 PM

Or by calling 1-646-558-8656 and entering Meeting ID: 842 2752 7333 and Passcode: 892361

Public comment will be accepted via e-mail. Please include your name and address in the e-mail and send comments to [kcartoccio@bernards.org](mailto:kcartoccio@bernards.org). They will be read during the public comment section.

**Meeting Agenda**

- 1. Call to Order**
- 2. Open Public Meeting Statement**
- 3. Flag Salute**
- 4. Roll Call**
- 5. Approval of EC Meeting Minutes Regular and Reorganization –[March 22, 2021](#)**
- 6. Reports and Miscellaneous Correspondence**
  - a. [Correspondence -Moye](#)
- 7. Old Business**
  - a. **Status on Current Projects:**
    - i. Public Outreach
    - ii. GSWA Native Plant Sale
    - iii. Reusable Bag Design Challenge
- 8. New Business**
  - a. **Applications:**
    - i. [RCP Realty Associates LLC.-ZB-21-007](#)—31 Country Lane-Bulk variances and lot not fronting on a public street-Demolish existing house and build new single family dwelling.
    - ii. [Sefchovich----ZB-21-010](#)—91 Queen Anne Drive—Pool (SPA) not located behind the rear building line of adjacent dwellings.
    - iii. [Lesnick—ZB-21-011](#)—6 Cedar Street—Pool not located behind rear building line of adjacent dwellings.
    - iv. [Naulty--ZB-20-012](#)—1 Pin Oak Court—Pool not located behind the rear building line of adjacent dwelling.
    - v. [Calvert—ZB-21-020](#)—19 Fieldstone Drive—6’ high solid fence in front yard (through lot)
- 9. Comments by Public**
- 10. Comments by Members**
- 11. Adjournment**

Kelly Julian, Secretary



Please call (908) 204 - 3000 seventy-two (72) hours in advance if accommodations are required, including assistive listening devices (ALD).



## ***Bernards Township Environmental Commission***



### **BERNARDS TOWNSHIP ENVIRONMENTAL COMMISSION MINUTES – March 22, 2021 – 7pm**

#### **CALL TO ORDER**

Chairperson Ann Parsekian called the meeting to order at 7:03 pm via Zoom Conference call in accordance with the Open Public Meeting Act of 1975.

#### **FLAG SALUTE**

All those assembled saluted the flag.

#### **ROLL CALL**

**Present:** Joan Bannan, John Crane, Debra DeWitt, Nancy Cook, Jane Conklin, James LaMaire, Ann Parsekian, Sarah Wolfson

**Absent:** Alice Smyk, Jason Roberts

**Also Present:** Kaitlin Cartoccio – Recording Secretary, Todd Edelstein – Resident, Phillip Gao – Resident

#### **APPROVAL OF MEETING MINUTES**

Motion to approve the February 22, 2021 minutes made by Nancy Cook, seconded by Jane Conklin. Joan Bannan abstained. All others in favor, motion carried.

#### **REPORTS & MISCELLANEOUS CORRESPONDENCE**

**a. 2021 EC Reusable Bag Project**

There was discussion regarding the materials used for the reusable bags and in using recycled plastic bags instead of a new material. The contest to design the bag will be open to K-8 students and will be advertised shortly.

**b. 2021 RHS Trex Project**

Met with the Ridge High School Green Team via Zoom. The Green Team raised money with the intent to purchase plastic bag recycling containers but have decided to sign up for the Trex challenge instead.

**c. GSWA Native Plant Sale**

Native plant sale schedule for April sponsored by the Great Swamp Watershed Association. EC members will help by delivering plants from the headquarters in Harding.

**d. Spotted Lantern Fly & Other Potential EC Projects**

Spotted lantern flies have been and will continue to be threat to native plants in Bernards Township. Ideas were discussed on how to play a more active role in eradicating spotted lantern flies including re-releasing the information flyer back in the fall and putting up signs in the park.

**e. Social Media Outreach**

None.





## ***Bernards Township Environmental Commission***



### **OLD BUSINESS**

None

### **NEW BUSINESS**

- i. **Fellowship Senior Living Inc – PB-20-005 – 8000 Fellowship Rd** – Preliminary/Final Major Site Plan

John Crane recused himself at 7:41 pm. After reviewing the application it was noted that Fellowship Village still has to apply for a general permit from the NJDEP to construct the boardwalk. Still awaiting other comments.

Motion by Jim LaMaire, seconded by Nancy Cook.

All in favor, motion carried.

- ii. **Braemar Partners – ZB-20-027- 3066-3074 Valley Road** – Preliminary/Final Major Site Plan, Conditional Use (D-3) to Construct an Assisted Living Facility.

After reviewing this application the Environmental Commission would like to note that the northern boundary of the property borders the Passaic River. Additionally a large portion of the property is bound by wetlands. A wetlands transition waiver is needed from the NJDEP. Additionally, the EC recommends that the Planning Board speak with the applicant regarding the use of rain gardens and other approaches to stormwater management. The applicant should also consult the native plant list posted on the EC's webpage for appropriate native tree replacement as the proposed Norway Spruce is not a native tree.

Motion by Debra DeWitt, seconded by Nancy Cook.

All in favor, motion carried.

- iii. **Distributed Solar Development LLC – PB-21-001-295 North Maple Avenue** – Preliminary/Final Site Plan to Install a Solar Canopy to an Existing Parking Deck & Design Exception.

No comment.

Motion by James LaMaire, seconded by Debra DeWitt.

All in favor, motion carried.

- vi. **Vial – ZB-21-008 – 10 Brook Avenue – Spa (Pool)** – Not Located Behind Rear Building Line of Adjacent Dwelling



## ***Bernards Township Environmental Commission***



John Crane returned at 8:16 pm. In regards to this application, pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season, or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants township residents to use the best management practices available when discharging pool water.

Motion by Nancy Cook, seconded by Debra DeWitt.

All in favor, motion carried.

**vii. Simao-ZB-21-009- 20 Canoe Brook Lane - Not Located Behind Rear Building Line of Adjacent Dwelling,**

The Environmental Commission notes the presence of the existing easement on the property and that the proposed pool will be in proximity of the easement boundary. The proposed fence will run along a portion of the boundary itself. The easement should not be disturbed during construction and the applicant should include enough space between the fence and the easement boundary for any future adjustments. Stone boundary markers should be used for the conservation easement. The EC acknowledges the applicant using the rain gardens but would like to remind the applicant that storage requirements should be met as per the Planning Board. The applicant should also consult the native plants list posted on the EC's webpage for appropriate native trees, plants, and shrubs.

Motion by John Crane, seconded by Jane Conklin.

All in favor, motion carried.

### **COMMENTS BY MEMBERS**

Todd Edelstein commented that Lord Stirling School closed, and the property is for sale. Currently there are no applications for the property.

### **PUBLIC COMMENT**

Ann Parsekian mentioned there was a RHS student interested in volunteering but there are no positions. Perhaps the EC could consider a junior commissioner. Nancy Cook is working on a tour of the recycling plant for April. The Watershed Ambassador will not be able to present until the fall due to staff turnover. John Crane brought up a plant sale that used to occur at Southard Park as a potential pick up spot for the native plant sale.

### **ADJOURNMENT**

Meeting was adjourned at 9:03 pm by Nancy Cook and seconded by James LaMaire. All in favor, motion carried.

Respectfully submitted,  
Kaitlin Cartoccio, Meeting Secretary



## ***Bernards Township Environmental Commission***

**TO:** Zoning Board Chairperson and Members

**FROM:** Ann Parsekian, Chairperson  
Bernards Township Environmental Commission

**DATE:** March 26, 2021

**RE:** Applications review

The Environmental Commission reviewed these applications at their March 22, 2021 meeting and forwards the following comments.

### **Board of Adjustment**

#### **Braemar Partners – ZB-20-027. 306603074 Valley Road**

The Environmental Commission has reviewed this application and has the following comments:

The EC notes that the northern boundary of the property borders the Passaic River and that a substantial portion of the property is constrained by wetlands per the furnished exhibits based on NJDEP and FEMA data, and that a wetland transition waiver is required from NJDEP.

The drainage plan proposes a sizable detention basin at the rear of the building complex. Although the application was submitted prior to approval of Bernards Township's newly revised stormwater ordinance, the EC urges the Planning Board discuss with the applicant the use of rain gardens and/or other green approaches to stormwater management to replace or enhance the detention basin.

The EC notes that the applicant proposes to plant 270 of the 270 trees required in the tree replacement schedule. The applicant should consult the native plant lists posted on the EC webpage for appropriate native trees, shrubs, and plants. The Norway Spruce is not a native tree in New Jersey. [Recommended Tree and Shrub List](#)

In light of the close proximity of the proposed construction to exceptional resource value wetlands and the Passaic River, the EC recommends that the Board seek assurances that the required silt fence be properly installed and regularly maintained throughout the construction period.

#### **Vial – ZB-21-008 10 Brook Avenue**

The Environmental Commission has reviewed this application and notes that pool water discharge may result from backwashing of filters, or from the draining of swimming pools at the end of season, or during maintenance. This water often contains pool treatment chemicals that can cause damage to the receiving environment in the form of non-point source pollution. Therefore, the Environmental Commission wants Bernards Township residents to use best management practices when discharging pool water. [BMPs: Pool Water Discharge](#)



## ***Bernards Township Environmental Commission***

**Zimao – ZB-21-009 20 Canoe Brook Lane**

The Environmental Commission has reviewed this application and has the following comments:

The EC notes the presence of an existing conservation easement on the property and that the proposed pool will be in close proximity of the easement boundary. It appears that the proposed fence will run along a portion of the easement boundary. The conservation easement should not be disturbed during construction, and the applicant should include sufficient, differentiated space between the fence and the easement boundary to facilitate any future maintenance that may be required. If stone boundary markers have not been installed for the conservation easement, they should now be a requirement.

The EC notes that, although this application was submitted prior to the Township's adoption of new, green stormwater requirements, two rain gardens have been proposed to handle storm water. The EC supports the use of rain gardens to address stormwater, and will defer to the Board's professionals on appropriate volume calculations. The applicant should consult the native plant lists posted on the EC webpage for appropriate native trees, shrubs, and plants to use in their landscaping. [Recommended Tree and Shrub List](#)

Cc: David Schley, Township Planner  
Cyndi Kiefer, Secretary; for distribution to BOA members



## ***Bernards Township Environmental Commission***

**TO:** Planning Board Chairperson and Members

**FROM:** Ann Parsekian, Chairperson  
Bernards Township Environmental Commission

**DATE:** October 24, 2020

**RE:** **Fellowship Senior Living-PB20-005**  
**Distributed Solar Development-PB21-001**

The Environmental Commission reviewed the following applications at their March 22, 2021 meeting and submits the following comments:

**Fellowship Senior Living – PB-20-005 8000 Fellowship Road**

The Environmental Commission has reviewed this application and notes that the applicant has not yet applied for a permit from NJDEP for the proposed recreational boardwalk.

**Distributed Solar Development LLC – PB-21-001 295 North Maple Avenue**

The Environmental Commission has reviewed this application and has no comments at this time.

**Cc:** David Schley, Township Planner  
Cyndi Kiefer, Secretary; for distribution to PB members and Attorney to applicant

4-26 meeting

EC Correspondence



**ENVIRONMENTAL ASSOCIATES  
INC.**

***Specializing in the Assessment and Management  
of the Ecological Resources***

315 Mountain View Drive  
Kunkletown, Pennsylvania 18058

Phone: (610) 681-6030

Fax: (610) 681-6031

March 5, 2021

**TO:** Bernards Township Environmental Commission  
Bernards Township Planning Board  
Bernards Township Construction Official  
Somerset County Planning Board

**RE: LEGAL NOTIFICATION**

**Applicant:** William and Carol Moye  
313 Martinsville Road  
Basking Ridge, New Jersey 07920

**Property:** 313 Martinsville Road  
Block 11401 - Lot 11  
Bernards Township, Somerset County, New Jersey

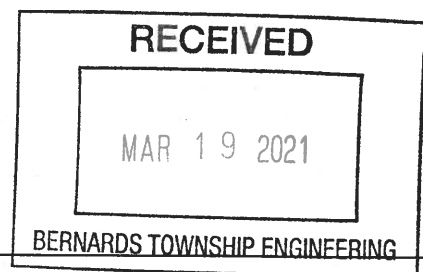
I am sending you this letter to inform you that I am submitting an application for a permit or approval to the New Jersey Department of Environmental Protection (NJDEP) under the Freshwater Wetlands Protection Act Rules, N.J.A.C. 7:7A on behalf of the applicant listed above. The permit or approval will either establish the boundary of freshwater wetlands on the above property, or will authorize the applicant to conduct regulated activities on the property.

The applicant is applying for the following approval(s):

- ☐ Letter of Interpretation (establishes the official boundary line of any regulated freshwater wetlands, open waters, or transition areas on the property, and if freshwater wetlands are present, identifies their resource value)
- ☒ General permit authorization (authorizes regulated activities, such as construction or development, in wetlands and adjacent transition areas)
- ☐ Individual transition area waiver (authorizes regulated activities, such as construction or development, in areas adjacent to wetlands)
- ☐ Individual freshwater wetlands permit (authorizes regulated activities, such as construction or development, in both wetlands and adjacent transition areas)
- ☐ Open water fill permit (authorizes regulated activities, such as construction or development, in open waters)
- ☐ FHA - Individual Permit

The activities for which this application requests NJDEP approval are (I have checked all of those that apply):

- ☐ No regulated activities, just establishing where regulated wetlands (if any) are found on the above referenced property
- ☐ Cutting or clearing of trees and/or other vegetation
- ☐ Placement of pavement or other impervious surface
- ☒ Placement of one or more buildings or other structures
- ☐ Expansion of existing pavement, buildings, or other structures
- ☐ Other (describe): \_\_\_\_\_



EASTERN STATES  
ENVIRONMENTAL ASSOCIATES  
INC.

Page 2.

If you would like to inspect a copy of this application, it is on file at the Municipal Clerk's Office in the town in which the property is located, or you can call the NJDEP at (609) 777-0454 to make an appointment to see this application at NJDEP offices in Trenton during normal business hours.

The rules governing freshwater wetlands permits and approvals are found in the NJDEP's Freshwater Wetlands Protection Act rules at N.J.A.C. 7:7A. You can view or download these rules on the NJDEP Land Use Regulation Program website at [www.state.nj.us/dep/landuse](http://www.state.nj.us/dep/landuse), or you can find a copy of these rules in the county law library at your county courthouse.

As part of the NJDEP's review of this application, NJDEP personnel may visit the subject property, and the portion of any neighboring property that lies within 150 feet of the subject property line, to perform a site inspection. This site inspection will involve only a visual inspection and possibly minor soil borings using a 4" diameter hand auger. The inspection will not result in any damage to vegetation or to property improvements.

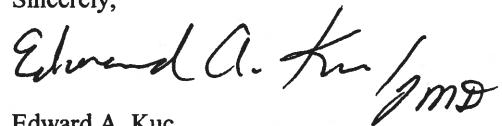
The NJDEP welcomes any comments you may have on this application. If you wish to comment on this application, comments should be submitted to the NJDEP in writing within 15 days after you receive this letter. However, written comments will *continue* to be accepted until the NJDEP makes a decision on the application. Comments cannot be accepted by telephone. Please submit any comments you may have in writing, along with a copy of this letter, to:

New Jersey Department of Environmental Protection  
Division of Land Use Regulation  
Mail Code 501-02A; P.O. Box 420  
Trenton, New Jersey 08625  
Att: Somerset County Section Chief

When the NJDEP has decided whether or not this application qualifies for approval under the Freshwater Wetlands Protection Act rules, NJDEP will notify the municipal clerk of the final decision on this application.

If you have questions about this application, you can contact Eastern States Environmental Associates, Inc. or the applicant at the address listed at the top of this notification.

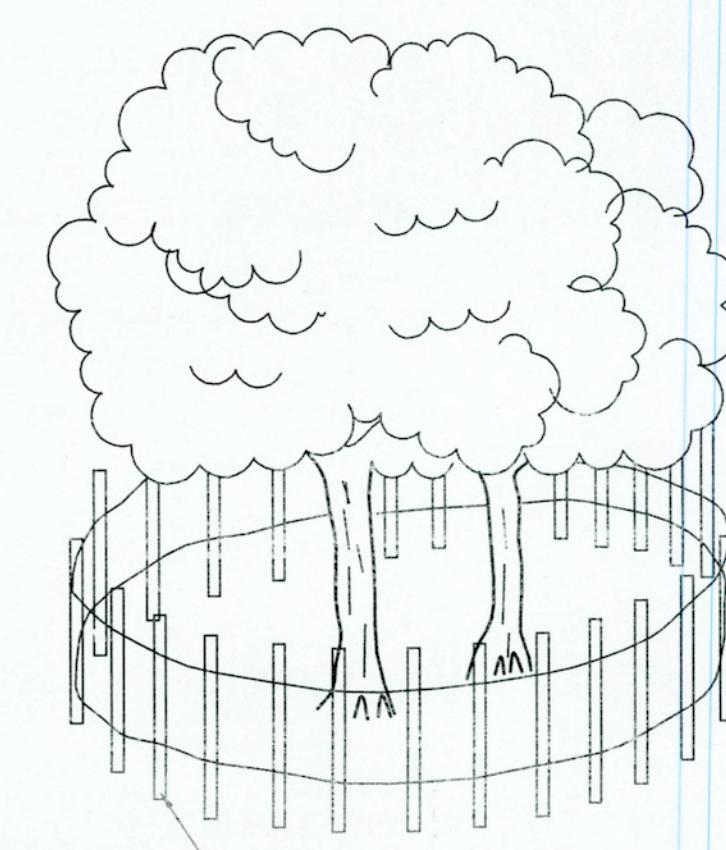
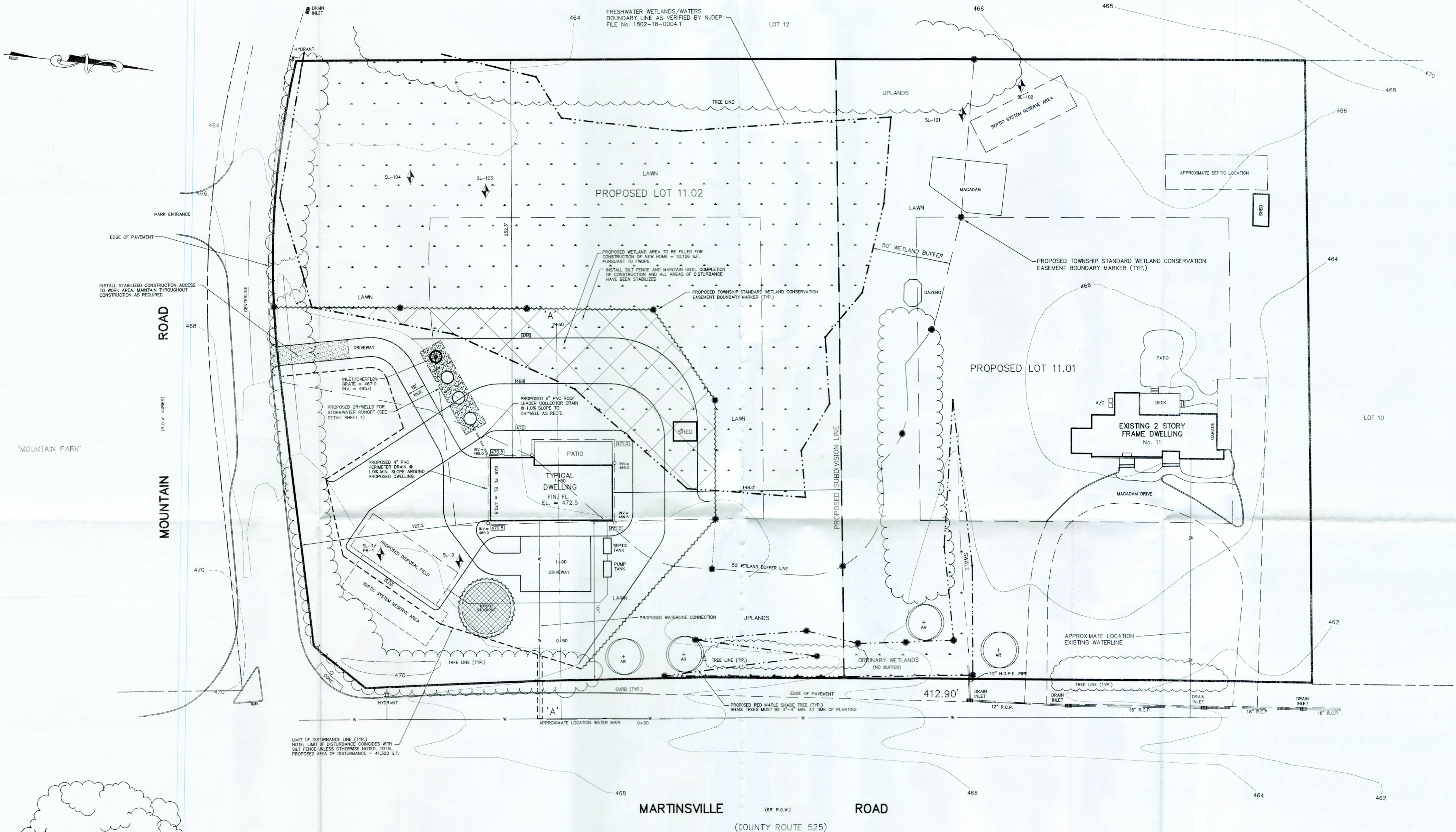
Sincerely,



Edward A. Kuc  
Principal Ecologist

EAK/jmd  
Enclosure: Site Map  
CMRRR  
cc: NJDEP

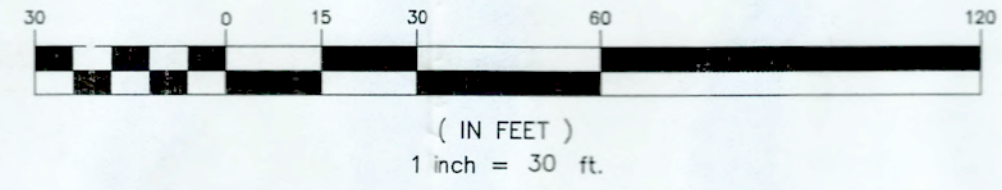




**NOTES:**  
 ESTIMATE A TREE'S "PROTECTED ROOT ZONE" (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).  
 1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.  
 2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.  
 - DBH x 1.5 "CRITICAL ROOT RADIUS" FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES  
 - DBH x 1.0 "CRITICAL ROOT RADIUS" FOR YOUNGER, HEALTHY, OR TOLERANT SPECIES

**TREE PROTECTION DETAIL**  
 NOT TO SCALE

**GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN**



5	11/05/20	PER CLIENT
4	07/20/20	PLANNING BOARD
3	03/16/20	PLANNING BOARD
2	10/15/19	ADD WETLANDS
1	03/20/17	PER TOWNSHIP REVIEW
NO.	DATE	REVISION

*D.E. Parker*  
**DANIEL E. PARKER**  
 NEW JERSEY LAND SURVEYOR LIC. NO. 35866



DRAWN BY: DEP/PJD  
 CHECKED BY: S.E.P.  
 SCALE: AS NOTED

**MINOR SUBDIVISION**  
 LOT 11 BLOCK 11401 - 11 MOUNTAIN AVENUE  
 TOWNSHIP OF BERNARDS  
 SOMERSET COUNTY, NEW JERSEY

*Steph E. Parker*  
**STEPHEN E. PARKER**  
 NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 36187

DATE: 01/13/17  
 FILE: 5705  
 SHEET: 3 OF 4



REVISED

**TOWNSHIP OF BERNARDS  
ZONING BOARD OF ADJUSTMENT  
APPLICATION STATUS FORM**

Application No: ZB21-007 Block: 3901 Lot: 5 Zone: R-2

Applicant: RCP REALTY ASSOCIATES LLC

Address of Property: 31 COUNTRY LANE

Description: BULK VARIANCES + LOT NOT FRONTING ON  
A PUBLIC STREET - DEMOLISH EXISTING HOUSE  
AND BUILD NEW SINGLE FAMILY DWELLING

**APPLICATION CHECKLIST**

<input checked="" type="checkbox"/>	Original + 16 copies of Application	<input checked="" type="checkbox"/>	Engineering Plan/Plot Plan
<input checked="" type="checkbox"/>	W-9	<input checked="" type="checkbox"/>	Architectural Plans
<input checked="" type="checkbox"/>	Site Visit Consent (A)	<input checked="" type="checkbox"/>	Survey
<input checked="" type="checkbox"/>	Ownership Form (B)	<input checked="" type="checkbox"/>	Photographs
<input checked="" type="checkbox"/>	200' Property Search List (C)	<input checked="" type="checkbox"/>	Wetlands Report/LOI
<input checked="" type="checkbox"/>	Tax Certification (D)	<input checked="" type="checkbox"/>	Application Fee
<input checked="" type="checkbox"/>	Notice to be Served/Published (E)	<input checked="" type="checkbox"/>	Escrow Deposit
<input checked="" type="checkbox"/>	Dimensional Statistics Form (F)	<input checked="" type="checkbox"/>	Imaging Fee
<input type="checkbox"/>	Contributions Disclosure Form (G)	<input type="checkbox"/>	Tax Map Revision Fee
		<input checked="" type="checkbox"/>	Checklist

**SCHEDULING**

1.19.21 Original Submission Date  
3.20.21 Completeness Deadline (45 days)  
\_\_\_\_ Incomplete Date  
\_\_\_\_ Resubmission Date  
\_\_\_\_ Date Complete 60  
5.19.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_ Notice to Property Owners  
\_\_\_\_ Date of Publication  
\_\_\_\_ Completeness Hearing  
5.5.21 Public Hearing  
\_\_\_\_ Carried to Date  
\_\_\_\_ Decision - Approved/Denied  
\_\_\_\_ Resolution Memorialized  
\_\_\_\_ Resolution Published

**DISTRIBUTION**

1.19.21 Environmental Comm  
\_\_\_\_ Fire Official  
\_\_\_\_ LCFAS  
\_\_\_\_ Police

**NOTES**

**REVISED - ADDENDUM TO BOARD OF ADJUSTMENT APPLICATION**  
**RCP REALTY ASSOCIATES, LLC**  
**31 COUNTRY LANE, BLOCK 3901, LOT 5**

The proposed deck shown on the architectural elevations will be an “open deck.” The lattice enclosure currently shown on the architectural elevations will be deleted and the deck will be an “open deck.”

The following are responses to the respective Application Items noted “See Addendum”:

10. **[DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS:]**

- A. Variance for Lot Area. The R-2 Zone requires a minimum lot area of 2 acres. The subject property has a lot area of 0.847 acres. The lot area is a pre-existing condition which will remain. [Ord. #585, Table 501; Ord. #1103, § 27; Ord. #1371, 8-24-1999, amended; Ord. #1888, 9-12-2006, amended]
- B. Variance for Front Yard Setback. The R-2 Zone requires a front yard setback of 100 feet. The existing structure has a front yard setback of 61.8 feet. The proposed structure will have a front yard setback of 52.8 feet. Due to the depth of the lot, the applicant cannot comply with the front yard setback. [Ord. #585, Table 501; Ord. #1103, § 27; Ord. #1371, 8-24-1999, amended; Ord. #1888, 9-12-2006, amended]
- C. Variance for Rear Yard Setback. The R-2 Zone requires a rear yard setback of 100 feet. The existing structure has a rear yard setback of 45.5 feet. The proposed structure will have a rear yard setback of 28.8 feet. Due to the depth of the lot, the applicant cannot comply with the rear yard setback. [Ord. #585, Table 501; Ord. #1103, § 27; Ord. #1371, 8-24-1999, amended; Ord. #1888, 9-12-2006, amended]
- D. Variance for Improvable Lot Area. The R-2 Zone requires an improvable lot area of 22,000 S.F. The existing improvable lot area is 0 (zero) S.F. Due to the size of the lot, the applicant cannot comply with the improvable lot area. [§21-10.4.b, (Table 401-A)]
- E. Lot is not fronting on a public street. Bernards Township Ordinance § 21-21.2 requires “All lots shall have frontage on a public street ...” [§ 21-21.2. Public Streets. [Ord. #585, § 509B]]. This lot fronts on a private road, Country Lane, as shown on Township of Bernards Tax Map 39 (attached hereto as Exhibit A).

With the exception of the aforementioned variances, the Applicant believes that no other variance, waiver or exception is required in order to grant the approval requested. However, if the Board directs that additional variance(s), waiver(s) or exception(s) is/are needed, the Applicant may seek the same in accordance with such direction.

11. **[THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE**

## APPLICATION:]

Variances A, B, and C are pre-existing, non-conforming conditions which will remain. Variance A, Lot Size will not be exacerbated and Variances B and C will be slightly exacerbated.

The positive criteria are satisfied for the following reasons: The variance for the Lot Area is an existing condition and the applicant has offered to purchase additional property from neighbors or to sell their existing lot to neighbors. The variances for front and rear yard setbacks cannot be complied with by the applicant because of the depth of the lot ( $\pm$  130 feet). The minor increase in the size of the building is necessary to accommodate a contemporary home.

There is no substantial detriment to the public good or the zone plan for the following reasons: The structure is already there. The applicant is replacing the existing, distressed 1½ story single-family home with a new, two-story single-family home, in approximately the same footprint, which will be in keeping with size of existing homes on Country Lane (see attached exhibit B – House sizes on Country Lane). The new home will be approximately 3,830 square feet. We are constructing a single-family home in a single-family zone. We are removing a distressed structure and replacing it with new construction which will be a benefit to neighboring properties. The requested variances, in substance, already exist.

As to Variance E, pursuant to N.J.S.A. § 40:55D-36. Appeals. “Where the enforcement of section 26 of P.L.1975, c.291 (C.40:55D-35) would entail *practical difficulty or unnecessary hardship*, or where the circumstances of the case do not require the building or structure to be related to a street, the board of adjustment may upon application or appeal, vary the application of section 26 of P.L.1975, c.291 (C.40:55D-35) and direct the issuance of a permit subject to conditions that *will provide adequate access for firefighting equipment, ambulances and other emergency vehicles necessary for the protection of health and safety . . .*”

Country Lane is sufficiently improved and accessible. It provides, and has provided in the past, adequate access for firefighting equipment, ambulances, and other emergency vehicles.

**SUBMIT 17 COPIES TOTAL**

**FORM F**

**REVISED - DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA	2 Acres	0.847 Acres	0.847 Acres
LOT WIDTH	250 Feet	278.3 Feet	278.3 Feet
FRONTAGE	125 Feet	217.4 Feet	217.4 Feet
FRONT YARD SETBACK	100 Feet	61.8 Feet	52.8 Feet
REAR YARD SETBACK	100 Feet	45.5 Feet	28.8 Feet
COMBINED SIDE YARD	100 Feet	176.4 Feet	170.6 Feet
SIDE YARD	50 Feet	66.6 Feet	60.3 Feet
COVERAGE	15%	6.4%	9.1%
HEIGHT	35 Feet	< 35 Feet	34.8 Feet
<i>IF REQUIRED,</i> GROSS FLOOR AREA	N/A		
<i>IF REQUIRED,</i> FLOOR AREA RATIO	N/A		
<i>IF REQUIRED,</i> IMPROVABLE LOT AREA	22,000 S.F.	0 S.F.	0 S.F.

EC

**TOWNSHIP OF BERNARDS**  
**ZONING BOARD OF ADJUSTMENT**  
**APPLICATION STATUS FORM**

Application No: ZB21-007 Block: 3901 Lot: 5 Zone: R-2

Applicant: RCP REALTY ASSOCIATES LLC

Address of Property: 31 COUNTRY LANE

Description: BULK VARIANCES + LOT NOT FRONTING ON  
A PUBLIC STREET - DEMOLISH EXISTING HOUSE  
AND BUILD NEW SINGLE FAMILY DWELLING

**APPLICATION CHECKLIST**

<input checked="" type="checkbox"/> Original + 16 copies of Application	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> W-9	<input checked="" type="checkbox"/> Architectural Plans
<input checked="" type="checkbox"/> Site Visit Consent (A)	<input checked="" type="checkbox"/> Survey
<input checked="" type="checkbox"/> Ownership Form (B)	<input checked="" type="checkbox"/> Photographs
<input checked="" type="checkbox"/> 200' Property Search List (C)	<input checked="" type="checkbox"/> Wetlands Report/LOI
<input checked="" type="checkbox"/> Tax Certification (D)	<input checked="" type="checkbox"/> Application Fee
<input checked="" type="checkbox"/> Notice to be Served/Published (E)	<input checked="" type="checkbox"/> Escrow Deposit
<input checked="" type="checkbox"/> Dimensional Statistics Form (F)	<input checked="" type="checkbox"/> Imaging Fee
<input type="checkbox"/> Contributions Disclosure Form (G)	<input type="checkbox"/> Tax Map Revision Fee
	<input checked="" type="checkbox"/> Checklist

**SCHEDULING**

1.19.21 Original Submission Date 60  
3.20.21 Completeness Deadline (45 days)  
\_\_\_\_ Incomplete Date  
\_\_\_\_ Resubmission Date  
\_\_\_\_ Date Complete 60  
5.19.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_ Notice to Property Owners  
\_\_\_\_ Date of Publication  
\_\_\_\_ Completeness Hearing  
5.5.21 Public Hearing  
\_\_\_\_ Carried to Date  
\_\_\_\_ Decision - Approved/Denied  
\_\_\_\_ Resolution Memorialized  
\_\_\_\_ Resolution Published

**DISTRIBUTION**

1.19.21 Environmental Comm  
\_\_\_\_ Fire Official  
\_\_\_\_ LCFAS  
\_\_\_\_ Police

**NOTES**

**Bisogno, Loeffler & Zelley, L.L.C.**

**Attorneys at Law**  
88 South Finley Avenue  
Post Office Box 408  
Basking Ridge, New Jersey 07920

**Vincent T. Bisogno**

**vbisogno@baskingridgelaw.com**

**Paul H. Loeffler** (Member N.J. & N.Y. Bars)

**ploeffler@baskingridgelaw.com**

**Frederick B. Zelley** (Member N.J. & Pa. Bars)

**fzelley@baskingridgelaw.com**

**Paul D. Mitchell**

**pmitchell@baskingridgelaw.com**

**Telephone: (908) 766-6666**

**Facsimile: (908) 766-7809**

January 19, 2021

Ms. Cynthia Kiefer, Board Secretary  
Bernards Township Zoning Board of Adjustment  
277 South Maple Avenue  
Basking Ridge, New Jersey 07920

Via Hand Delivery

Re: Application for  
Applicant: RCP Realty Associates, LLC  
Tax Block 3901, Lot 5 – 31 Country Lane

Dear Ms. Kiefer:

Enclosed herewith please find the following:

1. Bernards Township Zoning Board of Adjustment Application (Original + 16)
2. Other Professionals (additional sheet) (17)
3. Addendum to Application (Narrative) (Original + 16)
4. Site Inspection Consent Form [Form A] (Original + 16)
5. Statement of Ownership [Form B] (Original + 2)
6. 200' Property Owners List [Form C] (3)
7. Property Tax Certification [Form D] (3)



8. Proposed Notice of Hearing [Form E] (3)
9. Dimensional Statistics Sheet [Form F] (17)
10. Checklist [Appendix D, Article III] (17)
11. Copy of Applicant's Deed (17)
12. Site Photographs (4 photos) (17 sets)
13. Engineering Plans by Kastrud Engineering, LLC (1 Sheet) (17 Sets)
14. Topographic Survey by James P. Deady Surveyor, LLC (1 Sheet) (1 Original)
15. Architectural Plans by John James, Architect (6 Sheets) (17 Sets)
16. Architectural Rendering by John James, Architect (1 Sheets) (17 Sets)
17. Our client's checks in the respective amounts of \$100.00 for the application fee, \$1,500.00 for the escrow, and \$25.00 for the digital imaging fee.
18. Form W-9 (1)

If any additional documentation is needed in order to make this application complete, kindly advise our office accordingly. If not, kindly advise us when the application has been deemed to be complete and of the scheduled hearing date. Needless to say, our client would like to have the application heard as soon as possible.

Thank you for your attention and anticipated continued cooperation in this matter. Should you have any questions or concerns, or if we may otherwise be of any further assistance, please do not hesitate to contact me.

Very truly yours,



Paul D. Mitchell

Enclosures

cc: RCP Realty Associates, LLC (via e-mail)

**TOWNSHIP OF BERNARDS**  
**2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance<br><input type="checkbox"/> Use ("d") Variance<br><input type="checkbox"/> Conditional Use ("d") Variance<br><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance<br><input type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision<br><input type="checkbox"/> Interpretation of Zoning Ordinance<br><input type="checkbox"/> Minor Subdivision<br><input type="checkbox"/> Major Subdivision - Preliminary / Final<br><input type="checkbox"/> Other (specify): |
|--|--|
- 

**1. APPLICANT:** RCP Realty Associates, LLC

Address: 30 Country Lane, Basking Ridge, New Jersey 07920

Phone: (home) \_\_\_\_\_ (work) \_\_\_\_\_ (mobile) (908) 642-0344

Email (*will be used for official notifications*): saadehbeverly@gmail.com

**2. OWNER** (*if different from applicant*): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (*will be used for official notifications*): \_\_\_\_\_

**3. ATTORNEY:** Paul D. Mitchell / Bisogno, Loeffler & Zelle, LLC

Address: 88 South Finley Avenue, P.O. Box 408, Basking Ridge, New Jersey 07920

Phone: (908) 766-6666 Email (*will be used for official notifications*): pmitchell@baskingridgelaw.com

**4. OTHER PROFESSIONALS** (*Engineer, Architect, etc. Attach additional sheet if necessary*):

Name: John James Profession: Architect

Address: 11 Inwood Place, Maplewood, New Jersey 07040

Phone: (973) 378-3118 Email (*will be used for official notifications*): contact@johnjamesarchitect.com

**5. PROPERTY INFORMATION:** Block(s): 3901 Lot(s): 5 Zone: R-2

Street Address: 31 Country Lane Total Area (*square feet/acres*): 35,719/0.82

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?** ☒ No ☐ Yes (*if yes, explain or attach Board resolution*) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?** ☒ No ☐ Yes (*if yes, explain*) \_\_\_\_\_

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**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

☒ No    ☐ Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:**

The property is a single-family home in the R-2 Zone. The existing home is severely distressed. The applicant is proposing to tear down the existing 1½ story structure and to construct a two-story single-family home in approximately the same footprint.

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**

See addendum.

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:**

See addendum.

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

**APPLICANT(S) SIGN HERE:**

I/we, Beverly A. Saadeh and William S. Hocking hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s):  and 

Sworn and subscribed before me, this 8th day of January, 2021.

  
Notary Paul D. Mitchell, An Attorney at Law of the State of New Jersey

**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application,

hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary

#### 4. Other Professionals (additional sheet)

Chris Kastrud, Engineer

1952 Route 22 East

Suite 104

Bound Brook, NJ 08805

(732) 667-7744

[ckastrud@kastrudengineering.com](mailto:ckastrud@kastrudengineering.com)

**ADDENDUM TO BOARD OF ADJUSTMENT APPLICATION**  
**RCP REALTY ASSOCIATES, LLC**  
**31 COUNTRY LANE, BLOCK 3901, LOT 5**

The following are responses to the respective Application Items noted "See Addendum":

**10. [DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS:]**

- A. Variance for Lot Area. The R-2 Zone requires a minimum lot area of 2 acres. The subject property has a lot area of 0.847 acres. The lot area is a pre-existing condition which will remain. [Ord. #585, Table 501; Ord. #1103, § 27; Ord. #1371, 8-24-1999, amended; Ord. #1888, 9-12-2006, amended]
- B. Variance for Front Yard Setback. The R-2 Zone requires a front yard setback of 100 feet. The existing structure has a front yard setback of 61.8 feet. The proposed structure will have a front yard setback of 58.3 feet. Due to the depth of the lot, the applicant cannot comply with the front yard setback. [Ord. #585, Table 501; Ord. #1103, § 27; Ord. #1371, 8-24-1999, amended; Ord. #1888, 9-12-2006, amended]
- C. Variance for Rear Yard Setback. The R-2 Zone requires a rear yard setback of 100 feet. The existing structure has a rear yard setback of 45.5 feet. The proposed structure will have a rear yard setback of 42.4 feet. Due to the depth of the lot, the applicant cannot comply with the rear yard setback. [Ord. #585, Table 501; Ord. #1103, § 27; Ord. #1371, 8-24-1999, amended; Ord. #1888, 9-12-2006, amended]
- D. Lot is not fronting on a public street. Bernards Township Ordinance § 21-21.2 requires "All lots shall have frontage on a public street ..." [§ 21-21.2. Public Streets. [Ord. #585, § 509B]]. This lot fronts on a private road, Country Lane, as shown on Township of Bernards Tax Map 39 (attached hereto as Exhibit A).

With the exception of the aforementioned variances, the Applicant believes that no other variance, waiver or exception is required in order to grant the approval requested. However, if the Board directs that additional variance(s), waiver(s) or exception(s) is/are needed, the Applicant may seek the same in accordance with such direction.

**11. [THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:]**

Variances A, B, and C are pre-existing, non-conforming conditions which will remain. Variance A, Lot Size will not be exacerbated and Variances B and C will be slightly exacerbated.

The positive criteria are satisfied for the following reasons: The variance for the Lot Area is an existing condition and the applicant has offered to purchase additional property from

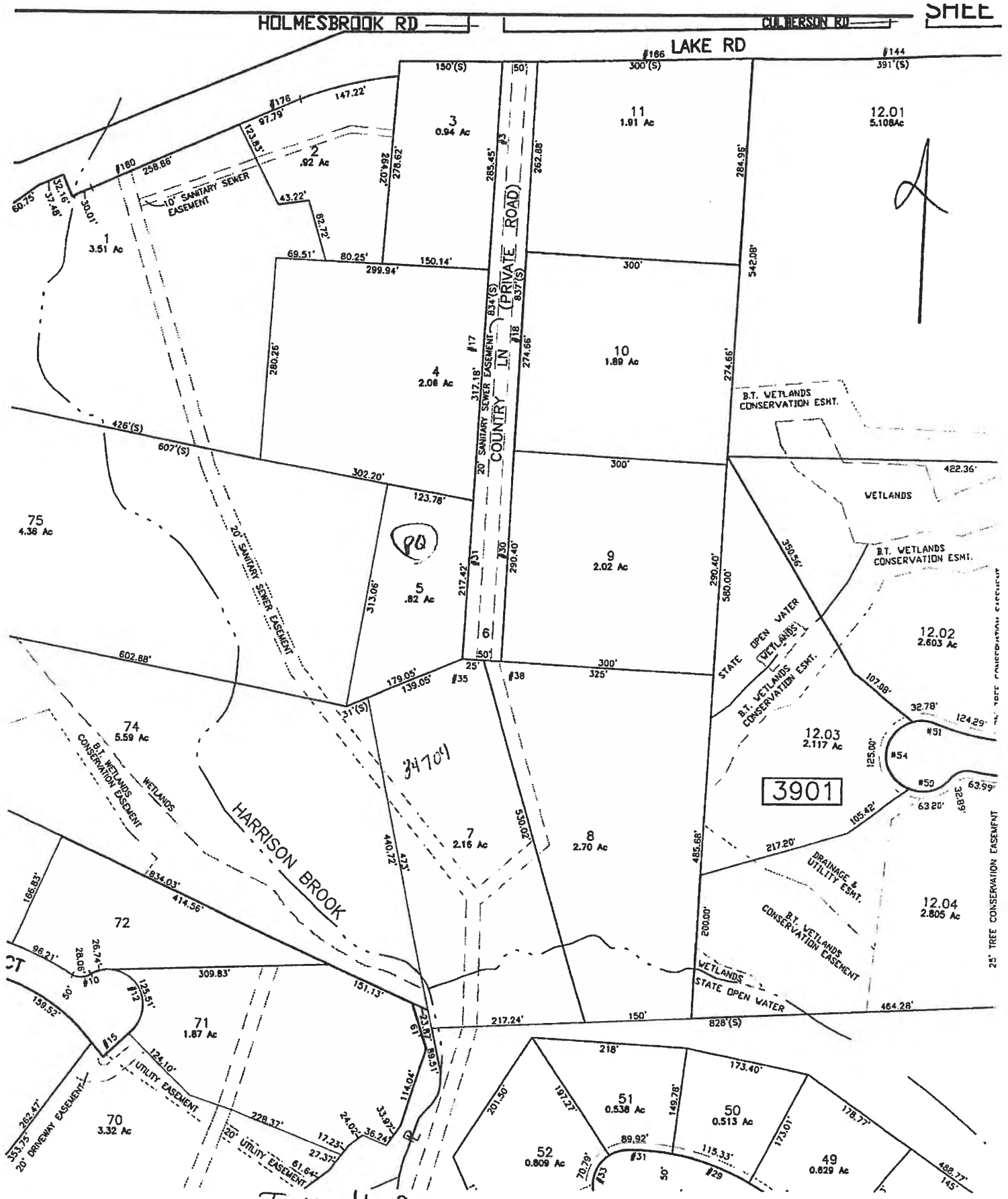
neighbors or to sell their existing lot to neighbors. The variances for front and rear yard setbacks cannot be complied with by the applicant because of the depth of the lot ( $\pm$  130 feet). The minor increase in the size of the building is necessary to accommodate a contemporary home.

There is no substantial detriment to the public good or the zone plan for the following reasons: The structure is already there. The applicant is replacing the existing, distressed 1½ story single-family home with a new, two-story single-family home, in approximately the same footprint, which will be in keeping with size of existing homes on Country Lane (see attached exhibit B – House sizes on Country Lane). The new home will be approximately 3,830 square feet. We are constructing a single-family home in a single-family zone. We are removing a distressed structure and replacing it with new construction which will be a benefit to neighboring properties. The requested variances, in substance, already exist.

As to Variance D, pursuant to **N.J.S.A. § 40:55D-36. Appeals.** “Where the enforcement of section 26 of P.L.1975, c.291 (C.40:55D-35) would entail ***practical difficulty or unnecessary hardship***, or where the circumstances of the case do not require the building or structure to be related to a street, the board of adjustment may upon application or appeal, vary the application of section 26 of P.L.1975, c.291 (C.40:55D-35) and direct the issuance of a permit subject to conditions that ***will provide adequate access for firefighting equipment, ambulances and other emergency vehicles necessary for the protection of health and safety . . .***”

Country Lane is sufficiently improved and accessible. It provides, and has provided in the past, adequate access for firefighting equipment, ambulances, and other emergency vehicles.

# Exhibit A



Tax Map  
Township of Bernards

## Exhibit B

Block	Lot	Class	Location	Area/S.F.
3901	3	2	3 COUNTRY LN	2996
3901	4	2	17 COUNTRY LN	2857
3901	5	2	31 COUNTRY LN	1470
3901	7	2	35 COUNTRY LN	4477
3901	8	2	38 COUNTRY LN	5403
3901	9	2	30 COUNTRY LN	2836
3901	10	2	18 COUNTRY LN	2672

**SUBMIT ORIGINAL AND 16 COPIES**

**FORM A**

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

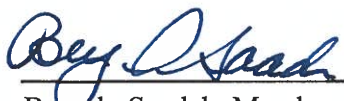
**SITE INSPECTION CONSENT FORM**

Applicant: RCP Realty Associates, LLC

Block: 3901 Lot: 5

Street Address: 31 Country Lane

I, Beverly Saadeh, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 1/8/21  
Beverly Saadeh, Member  
RCP Realty Associates, LLC

**APPENDIX D, ARTICLE III**

**Checklist**

**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\*

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	X		
2	A certificate from the tax collector indicating that taxes are paid.	X		
3	All required application and escrow deposit fees.	X		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	X		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	X		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	X		
7	Calculations of existing & proposed lot coverage percentages.	X		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	X		
9	Photographs of the property in the location of the proposed improvements.	X		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.	X		
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		X	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.	X		
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.	X		





ENVIRONMENTAL  
TECHNOLOGY  
INC.

Environmental Consultants



January 8, 2021

Ms. Beverly Saddeh, Managing Partner  
RCP Realty, LLC  
30 Country Lane  
Basking Ridge, NJ 07920

Re: Wetlands Delineation and Plan Review  
31 Country Lane  
Tax Map Lot 5, Block 3901  
Township of Bernards, Somerset County, NJ

Dear Ms. Saddeh:

This letter is to summarize our wetlands study on the referenced property and review of the proposed development plan.

Environmental Technology Inc. delineated freshwater wetlands on the referenced tract on August 20, 2020. The investigation utilized the Federal Manual for Identifying and Delineating Jurisdictional Wetlands dated January 10, 1989 which is the manual required to be used by the New Jersey Department of Environmental Protection (NJDEP). Such wetlands were surveyed and are depicted on the Lot Development Plan prepared by Kastrud Engineering, LLC, dated January 8, 2021.

Freshwater wetlands and their associated transition areas in this area of New Jersey are regulated by the New Jersey Department of Environmental Protection (NJDEP) pursuant to the New Jersey Freshwater Wetlands Protection Act (FWPA), P.L. 1987 and as stipulated in the rules regulating same (N.J.A.C. 7:7A).

Most freshwater wetlands require a setback referred to as a transition area based on the resource value of the freshwater wetlands. These transition areas are 0, 50 or 150 feet.

Based on our review of available NJDEP mapping and email correspondence from NJDEP, we have determined that the on-site wetlands are intermediate resource value and a 50 foot transition area is required. This wetlands transition area is depicted on the referenced plan.

Ms. Beverly Saddeh  
Re: Wetlands Delineation and Plan Review  
31 Country Lane  
Tax Map Lot 5, Block 3901  
Township of Bernards, Somerset County, NJ

January 8, 2021

All proposed disturbance for the project is well outside of the 50 foot wetlands transition area. Accordingly, the proposed project does not require any NJDEP authorizations for wetlands or transition areas.

The information provided is based on the most current information available and our best professional judgment.

Please do not hesitate to contact our office if you should have any questions regarding our findings.

Very truly,

ENVIRONMENTAL TECHNOLOGY INC.



David C. Krueger, President  
Professional Wetland Scientist 000662  
Certified Wetland Delineator WDCP94MD03101146B

cc: Christian M. Kastrud-via email

DCK  
#20143



**SOMERSET COUNTY**  
**DOCUMENT COVER SHEET**

STEVE PETER  
SOMERSET COUNTY CLERK  
PO BOX 3000  
20 GROVE STREET  
SOMERVILLE, NJ 08876

WWW.CO.SOMERSET.NJ.US

Steve Peter, County Clerk  
**Electronically Recorded Somerset County, NJ**  
2020 Dec 10 01:23:04 PM  
BK: 7283 PGS: 1504-1509  
Instrument # 2020063344

Fee: \$93.00 Doc Type: DEED  
CONS: \$200,000.00 EXEMPT: S  
NJ XFER FEE: \$935.00

(Official Use Only)

DATE OF DOCUMENT: 12/10/2020	TYPE OF DOCUMENT: DEED
FIRST PARTY (Grantor, Mortgagor, Seller, Assignor)	SECOND PARTY (Grantee, Mortgagee, Buyer, Assignee)
MCARTHUR MARTHA JANE	RCP REALTY ASSOCIATES LLC
ADDITIONAL PARTIES:	
MCARTHUR BRUCE MCARTHUR J DONALD	

<b>THE FOLLOWING SECTION IS REQUIRED FOR DEEDS ONLY</b>	
MUNICIPALITY: BERNARDS TOWNSHIP	MAILING ADDRESS OF GRANTEE: 31 Country Lane Basking Ridge, NJ 07920
BLOCK: 3901	
LOT: 5	
CONSIDERATION: \$200,000.00	

<b>THE FOLLOWING SECTION IS FOR ORIGINAL MORTGAGE BOOKING &amp; PAGING INFORMATION FOR ASSIGNMENTS, RELEASES, SATISFACTIONS, DISCHARGES &amp; OTHER ORIGINAL MORTGAGE AGREEMENTS ONLY</b>			
BOOK	PAGE	INSTRUMENT #	DOCUMENT TYPE

DO NOT REMOVE THIS PAGE  
THIS DOCUMENT COVER SHEET IS PART OF THE SOMERSET COUNTY FILING RECORD  
RETAIN THIS PAGE FOR FUTURE REFERENCE

**DEED**

Prepared by:  
  
 Peter V. McArthur, Esq.

Attorney-at-Law, State of New Jersey

This Deed is made on December 8, 2020,

**BETWEEN** Martha Jane McArthur, individually and Martha Jane McArthur and Bruce McArthur as Executors of the Estate of J. Donald McArthur, whose address is 31 Country Lane, Basking Ridge, New Jersey 07920, referred to as the Grantor,

**AND RCP Realty Associates LLC**

Whose post office address is about to be 31 Country Lane, Basking Ridge, New Jersey 07920, referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

Grantor. The Grantor makes this Deed as the Personal Representatives of the Estate of J. Donald McArthur, late of the Township of Bernard's, County of Somerset and State of New Jersey.

**TRANSFER OF OWNERSHIP.** The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of TWO HUNDRED THOUSAND AND 00/100 DOLLARS (\$200,000.00). The Grantor acknowledges receipt of this money.

**TAX MAP REFERENCE.** (N.J.S.A. 46:15-2.1) Township of Bernards, County of Somerset, Block No.: 3901, Lot No.: 5.

☐ No property tax identification number is available on the date of this deed. (Check box if applicable)

**PROPERTY.** The property consists of the land and all the buildings and structures on the land in the Township of Bernard's, County of Somerset and the State of New Jersey. All that certain tract or parcel of land, situated, lying and being in the Township of Bernard's, County of Somerset, State of New Jersey, more particularly described as follows:

**SEE ATTACHED SCHEDULE A**

**BEING** the same premises conveyed to Vesting Schedule

Title is currently vested in MARTHA JANE McARTHUR, BRUCE D. McARTHUR, JAMES McARTHUR, ROBERT D. McARTHUR AND MARION RAISER, Individually, and JANE McARTHUR AND BRUCE McARTHUR, Executors of the Estate of J. DONALD McARTHUR also known as JAMES DONALD McARTHUR.

William W. Ellis acquired title under deed from Evelyn Herrington, unmarried dated February 7, 1939 and recorded on February 14, 1939 in Deed Book C-24 Page 196 of Somerset County.

William W. Ellis and Martha W. Ellis, his wife conveyed the subject premises and more to Frances K. Gerty, unmarried under deed dated March 31, 1942 and recorded on April 4, 1942 in Deed Book X-24 Page 14.

Francis K. Gerty, unmarried re-conveyed the subject premises and more back to William W. Ellis and Martha W. Ellis, his wife under deed dated March 31, 1942 and recorded on April 4, 1942 in Deed Book X-24 Page 15.

William Ellis purportedly died leaving Martha W. Ellis surviving tenant by the entirety.

Martha W. Ellis, widow conveyed the subject premises to James Donald McArthur under deed dated November 19, 1949 and recorded on November 21, 1949 in Deed Book 725 Page 143.

James Donald McArthur conveyed the subject premises to James Donald McArthur and Martha Ellis McArthur, his wife under deed dated August 11, 1953 and recorded on August 11, 1953 in Deed Book 807 Page 39.

Martha Ellis McArthur died on August 13, 1984 leaving James Donald McArthur surviving tenant by the entirety.

James Donald McArthur also known as J. Donald McArthur died on August 3, 2001 leaving a Last Will and Testament dated August 31, 1990 and probated in the Somerset County Surrogate's Office on August 21, 2001 under Docket No. 01-00995. In and by said Last Will and Testament he left as residuary devisees his children, Martha Jane McArthur, Marion Raiser, James D. McArthur, Robert D. McArthur and Bruce D. McArthur, appointed Martha Jane McArthur and Bruce D. McArthur Co-Executors with Letters Testamentary issued on August 21, 2001. The Somerset County Surrogate confirmed that the Letters Testamentary remain in effect on November 5, 2020.

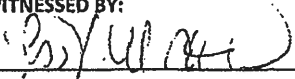
Martha Jane McArthur is executing the within Deed individually due to the fact she lived at the subject property subsequent to her Father's death.


SUBJECT to easements, restrictions of record, if any, and other such facts as an accurate survey would disclose, and municipal, State and Federal laws, ordinances and regulations affecting the use, occupancy and maintenance of the property.


**PROMISES BY GRANTOR.** The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

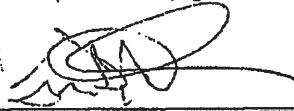
Signatures. The Grantor signs this Deed as of the date at the top of the first page.

WITNESSED BY:

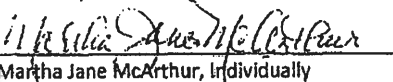
  
\_\_\_\_\_

  
\_\_\_\_\_

  
\_\_\_\_\_

  
\_\_\_\_\_

Estate of J. Donald McArthur by Bruce  
McArthur, co-Executor

  
Martha Jane McArthur, Individually

  
Estate of J. Donald McArthur by Martha Jane  
McArthur, co-Executor


Schedule A  
Legal Description  
*Attached*

STATE OF NEW JERSEY :  
: SS. :}  
COUNTY OF SOMERSET :

I CERTIFY that on ~~November~~ <sup>December</sup> 8, 2020,

*Estate of J. Donald McArthur by Bruce McArthur, co-Executor and Martha Jane McArthur, co-Executor and Martha Jane McArthur Individually*, personally came before me and acknowledged under oath, to my satisfaction, this person (or if more than one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed; and
- (c) made this Deed for: TWO HUNDRED THOUSAND DOLLARS (\$200,000.00) as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)

  
Notary  
PETER V. McARTHUR ESQ.  
AN ATTORNEY AT LAW OF  
NEW JERSEY

**RECORD AND RETURN TO:**

Bisogno, Loeffler & Zelley, LLC  
88 South Finley Avenue  
P.O. Box 408  
Basking Ridge, NJ 07920

**WESTCOR LAND TITLE INSURANCE COMPANY**

Prepared by the office of:

**TITLE LINES ♦ 15 Mendham Road ♦ Gladstone, New Jersey 07934**

**(908) 234-2620 ♦ fax (908) 234-0157**

**Schedule A**

File No. TL-56485

**LEGAL DESCRIPTION**

Township of Bernards, County of Somerset, State of New Jersey

BEGINNING at an iron pipe marking the southwest corner of the parcel hereinafter described, said pipe being at the angle in the line of lands now or formerly owned by Lewis W. Kriney, said pipe also being at the southeast corner of the First Tract of land now or formerly owned by William W. Ellis, as described in deed of March 31, 1942 and recorded in Book X-24 of Deeds for Somerset County, page 15, and running thence

- 1) Along the easterly line of the land now or formerly owned by William W. Ellis North 20° 39' East 313.06 feet to another iron pin marking the northeast corner of a lot containing 1.5 acres conveyed to William W. Ellis; thence
- 2) South 69° 21' East 123.78 feet to the westerly side of a road traversing the land now or formerly owned by Miss Evelyn Herrington; thence
- 3) Along the westerly sideline of the said road South 13° 38' West 217.42 feet; thence
- 4) South 77° 44' West 179.05 feet along the land now or formerly owned by Lewis W. Kriney to the place of BEGINNING.

NOTE FOR INFORMATION ONLY: Being known and designated as Lot 5 in Block 3901 on the official Tax Map of the Township of Bernards, County of Somerset, State of New Jersey.

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by WESTCOR LAND TITLE INSURANCE COMPANY. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company of its issuing agent that may be in electronic form.*

GIT/REP-3

(8-19)

(Print or Type)

# State of New Jersey

## Seller's Residency Certification/Exemption

### Seller's Information

Name(s)

Estate of J. Donald McArthur by Bruce McArthur, co-Executor and Martha Jane McArthur, co-Executor

Current Street Address

31 Country Lane

City, Town, Post Office

Basking Ridge

State

NJ

ZIP Code

07920

### Property Information

Block(s)

3901

Lot(s)

5

Qualifier

Street Address

31 Country Lane

City, Town, Post Office

Basking Ridge

State

NJ

ZIP Code

07820

Seller's Percentage of Ownership

100%

Total Consideration

200,000.00

Owner's Share of Consideration

200,000.00

Closing Date

12/9/20

### Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 14 apply to Residents and Nonresidents)

1. ☒ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☐ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☐ Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated Income Tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain.  
☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
15. ☐ The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
16. ☐ The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

### Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

12/8/20

Date

Martha Jane McArthur

Signature (Seller)

Indicate if Power of Attorney or Attorney in Fact

12/3/20

Date

Bruce McArthur co-Executor and individually

Signature (Seller)

Indicate if Power of Attorney or Attorney in Fact

Bruce McArthur co-Executor



RCP Realty Associates, LLC  
31 Country Lane, Block 3901, Lot 5

**Photo #1**





RCP Realty Associates, LLC  
31 Country Lane, Block 3901, Lot 5

**Photo #2**





RCP Realty Associates, LLC  
31 Country Lane, Block 3901, Lot 5

**Photo #3**

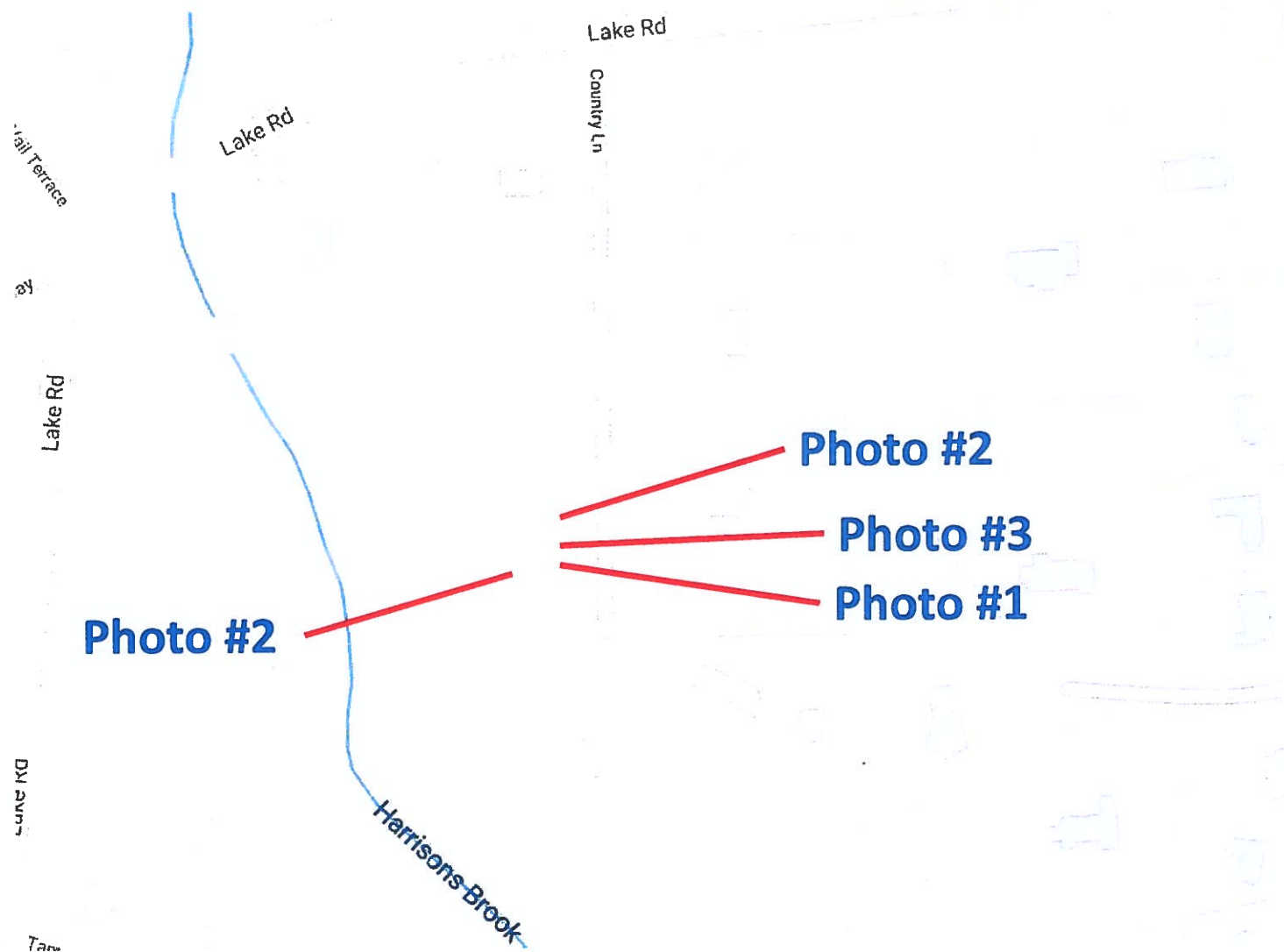




RCP Realty Associates, LLC  
31 Country Lane, Block 3901, Lot 5

**Photo #4**





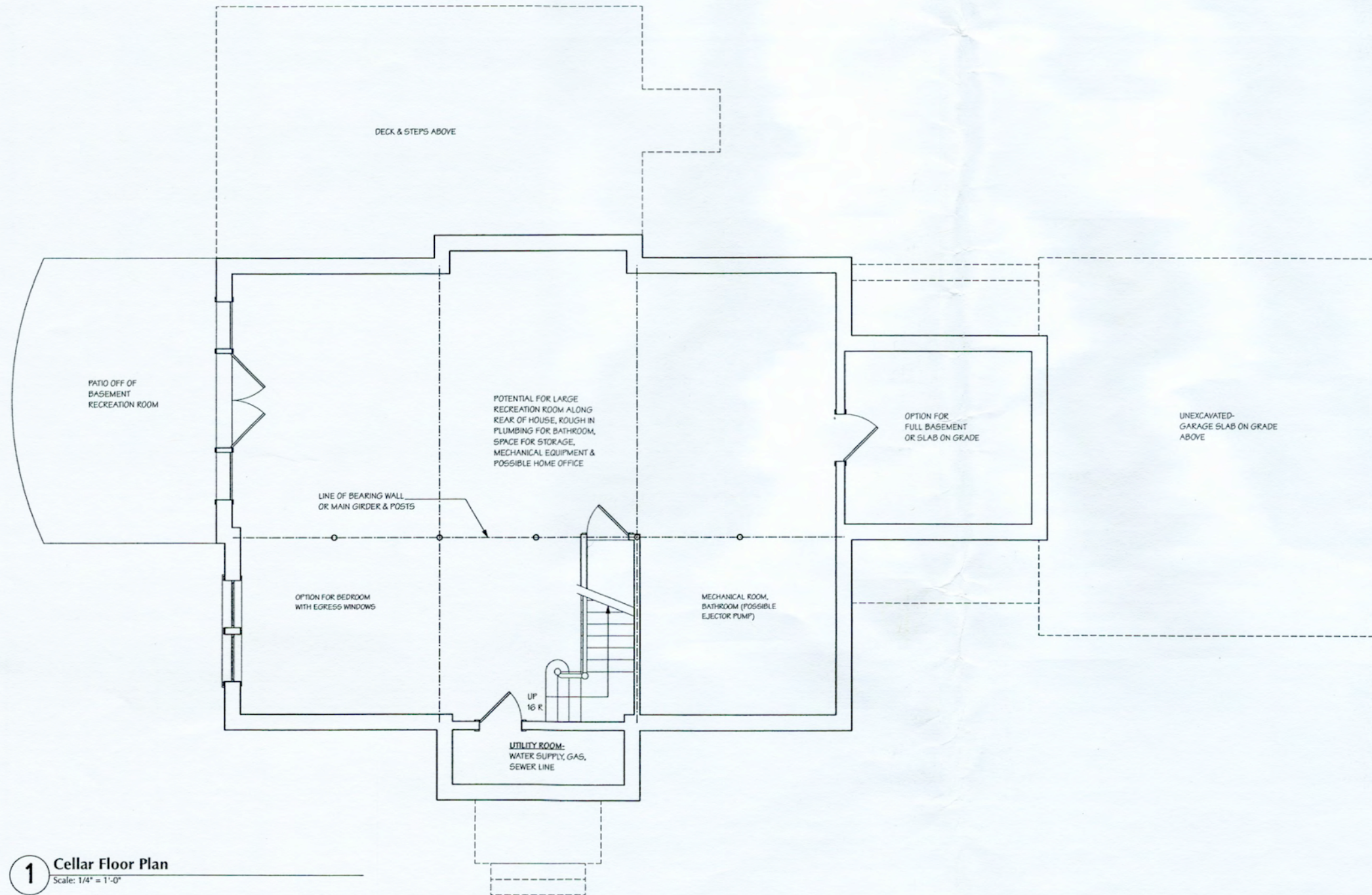




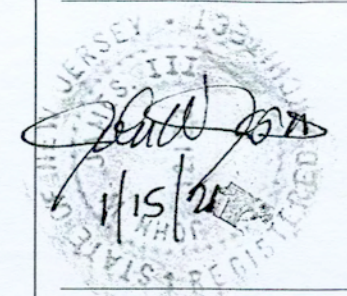
**Saadeh Residence - Front Rendering**  
**31 Country Lane, Basking Ridge, New Jersey 07920**

**John James Architect, AIA**  
**January 15, 2021**





**1** Cellar Floor Plan  
Scale: 1/4" = 1'-0"



**50% REDUCTION**

ZONING BOARD OF ADJUSTMENT 1/15/2021  
 ISSUE: date  
 JOB NUMBER: 2017-00X

**John James, Architect**

11 Inwood Place  
 Maplewood, NJ 07040  
 Telephone 973 378 3118  
 Fax 973 378 3007  
 New Jersey Cert. No. 12193

**Saadeh  
 Residence**

31 Country Lane  
 Basking Ridge, New Jersey  
 07920

drawing  
 title:

Cellar  
 Floor Plan

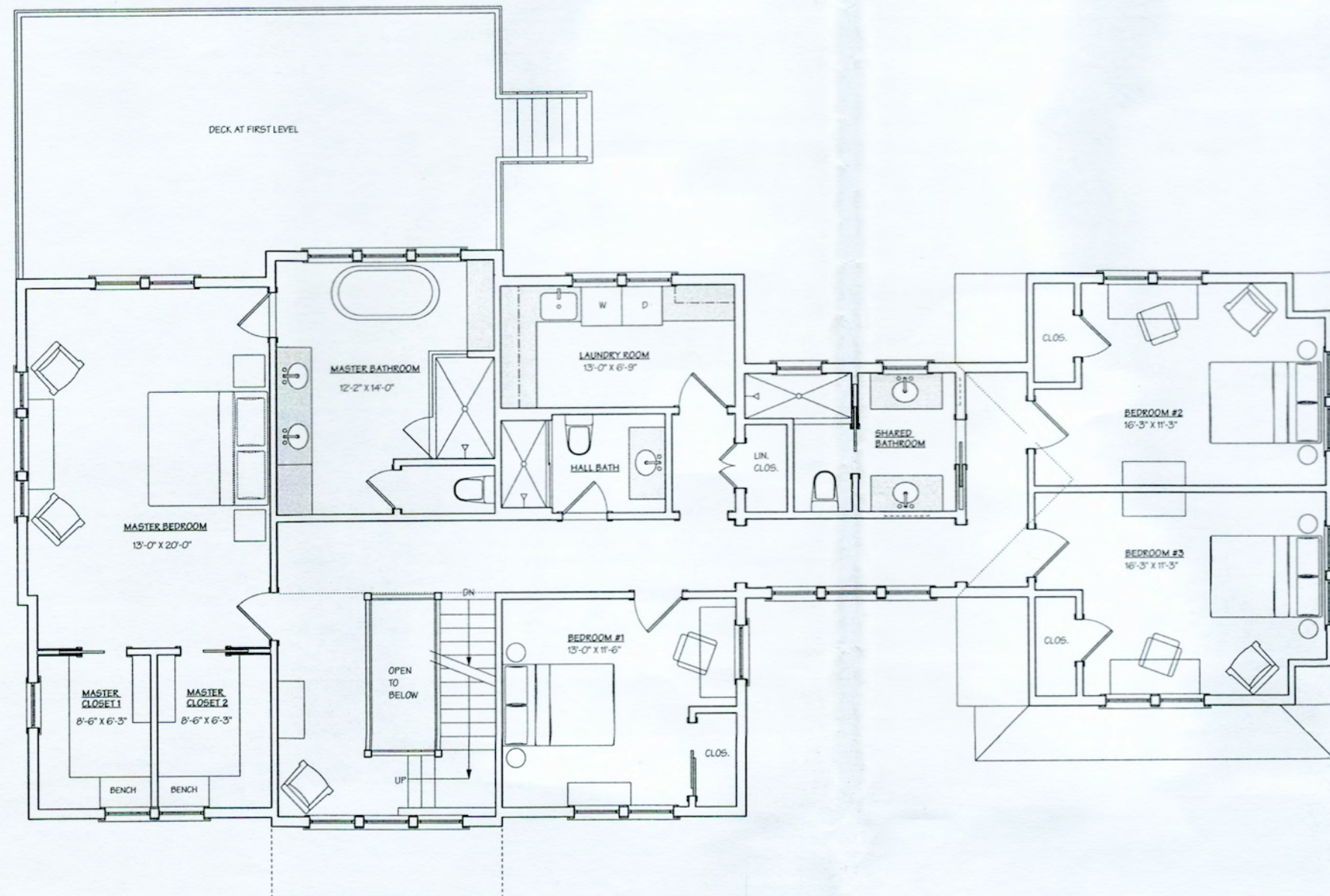
scale: 1/4"=1'-0"

**A - 0 1**  
 © 2020









**1 Second Floor Plan**  
Scale: 1/4" = 1'-0"

*John James, Architect*  
1/15/21  
REGISTERED ARCHITECT

50% REDUCTION

ZONING BOARD OF ADJUSTMENT 1/15/2021  
date  
job number: 2017-00X

**John James, Architect**

11 Inwood Place  
Maplewood, NJ 07040  
Telephone 973 378 3118  
Fax 973 378 3007  
New Jersey Cert. No. 12193

**Saadeh  
Residence**

31 Country Lane  
Basking Ridge, New Jersey  
07920

drawing  
title:

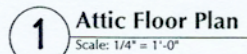
Second  
Floor Plan

scale: 1/4" = 1'-0"

**A - 03**

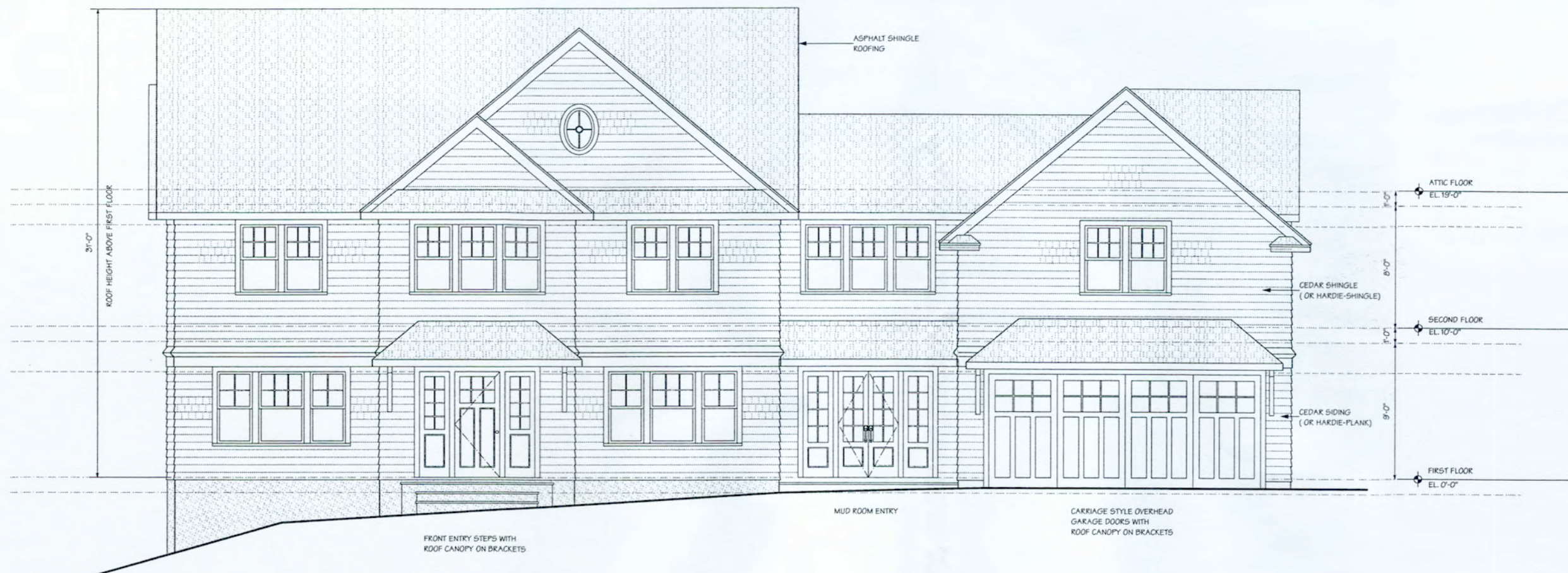
© 2020





2020

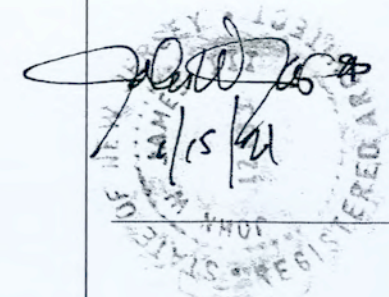




**1 Front Elevation**  
Scale: 1/4" = 1'-0"



**2 Rear Elevation**  
Scale: 1/4" = 1'-0"



50% REDUCTION

ZONING BOARD OF ADJUSTMENT 1/15/21  
Issue: date  
job number: 2020-00X

**John James, Architect**

11 Inwood Place  
Maplewood, NJ 07040  
Telephone 973 378 3118  
Fax 973 378 3007  
New Jersey Cert. No. 12193

**Saadeh  
Residence**

31 Country Lane  
Basking Ridge, New Jersey  
07920

drawing  
title:

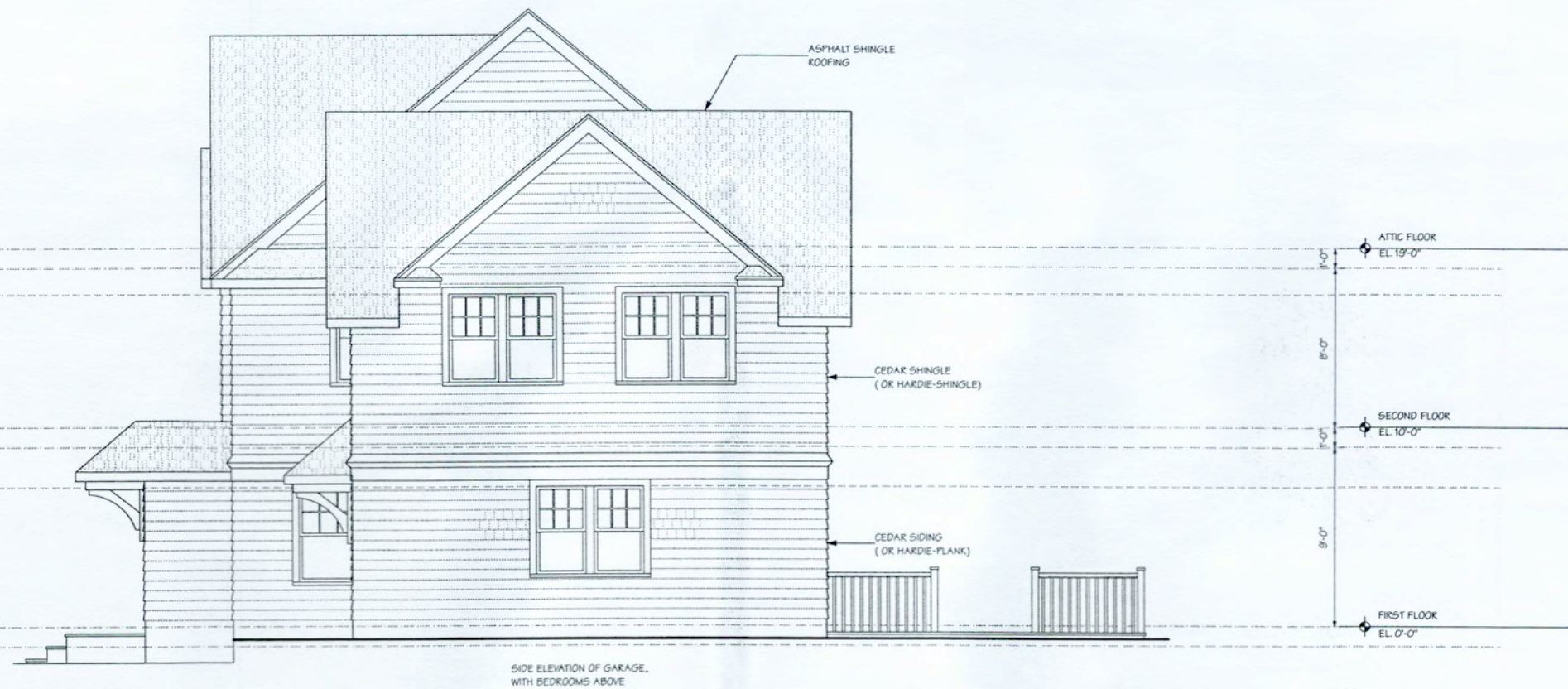
Front & Rear  
Elevations

scale: 1/4" = 1'-0"

A - 20

© 2020





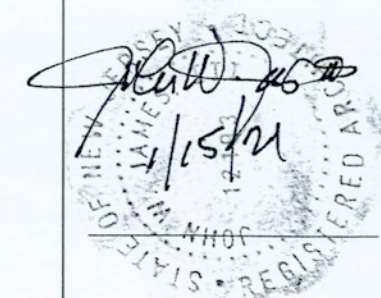
**1 Right Side Elevation**  
Scale: 1/4" = 1'-0"



**2 Left Side Elevation**  
Scale: 1/4" = 1'-0"

WOOD DECK WITH LATTICE  
PANELS BELOW, DOORS TO  
BELOW DECK STORAGE AREA

WINDOWS & DOORS AT WALK OUT  
PORTION OF CELLAR



50% REDUCTION

ZONING BOARD OF ADJUSTMENT 1/15/21  
Issue: date  
job number: 2020-00X

**John James, Architect**

11 Inwood Place  
Maplewood, NJ 07040

Telephone 973 378 3118  
Fax 973 378 3007

New Jersey Cert. No. 12193

**Saadeh  
Residence**

31 Country Lane  
Basking Ridge, New Jersey  
07920

drawing  
title:

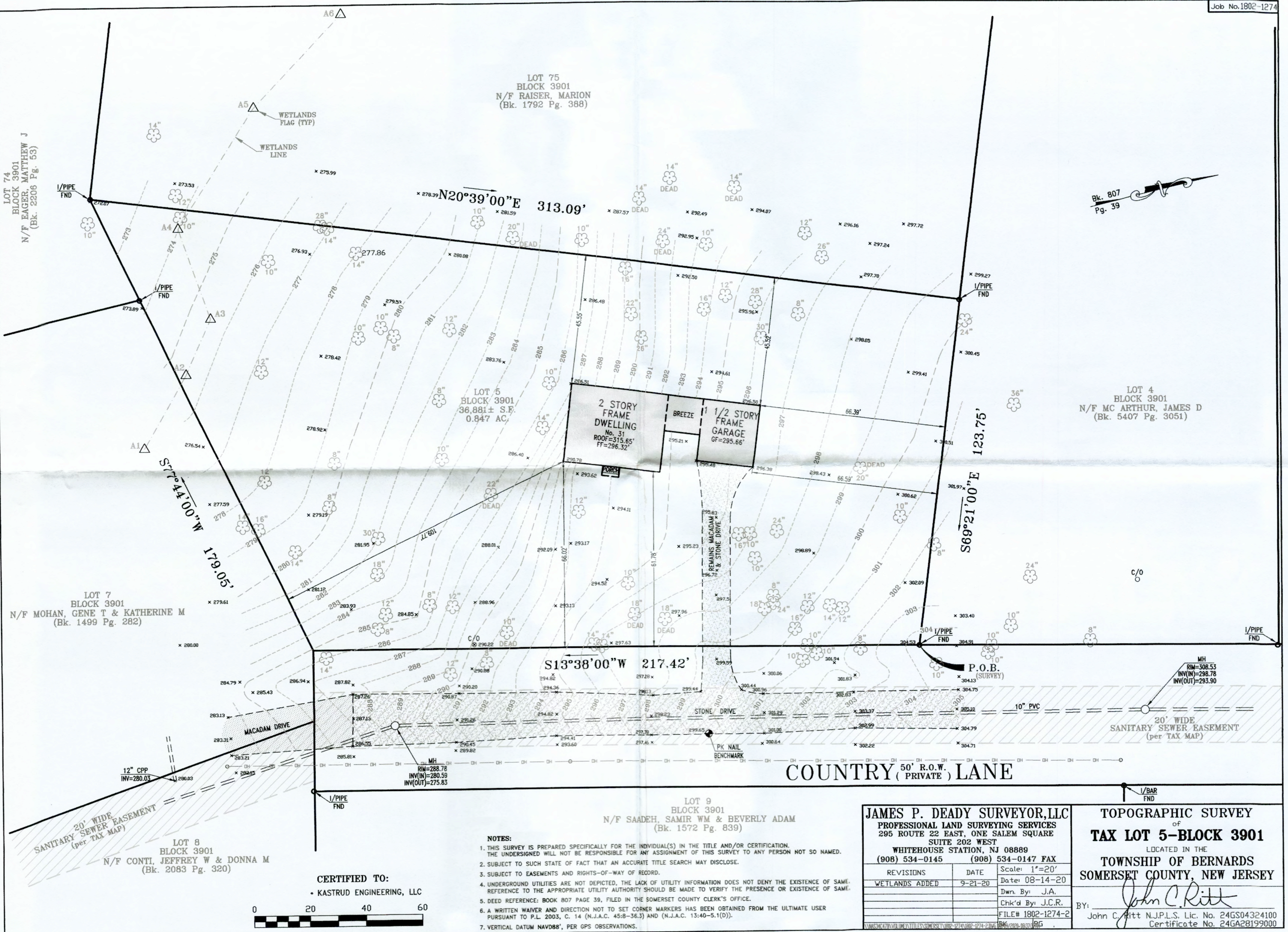
Left & Right Side  
Elevations

scale: 1/4" = 1'-0"

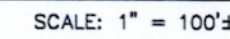
A - 21

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BOUND BROOK, NEW JERSEY 08805  
PH 732.667.7744 FAX 732.667.7741











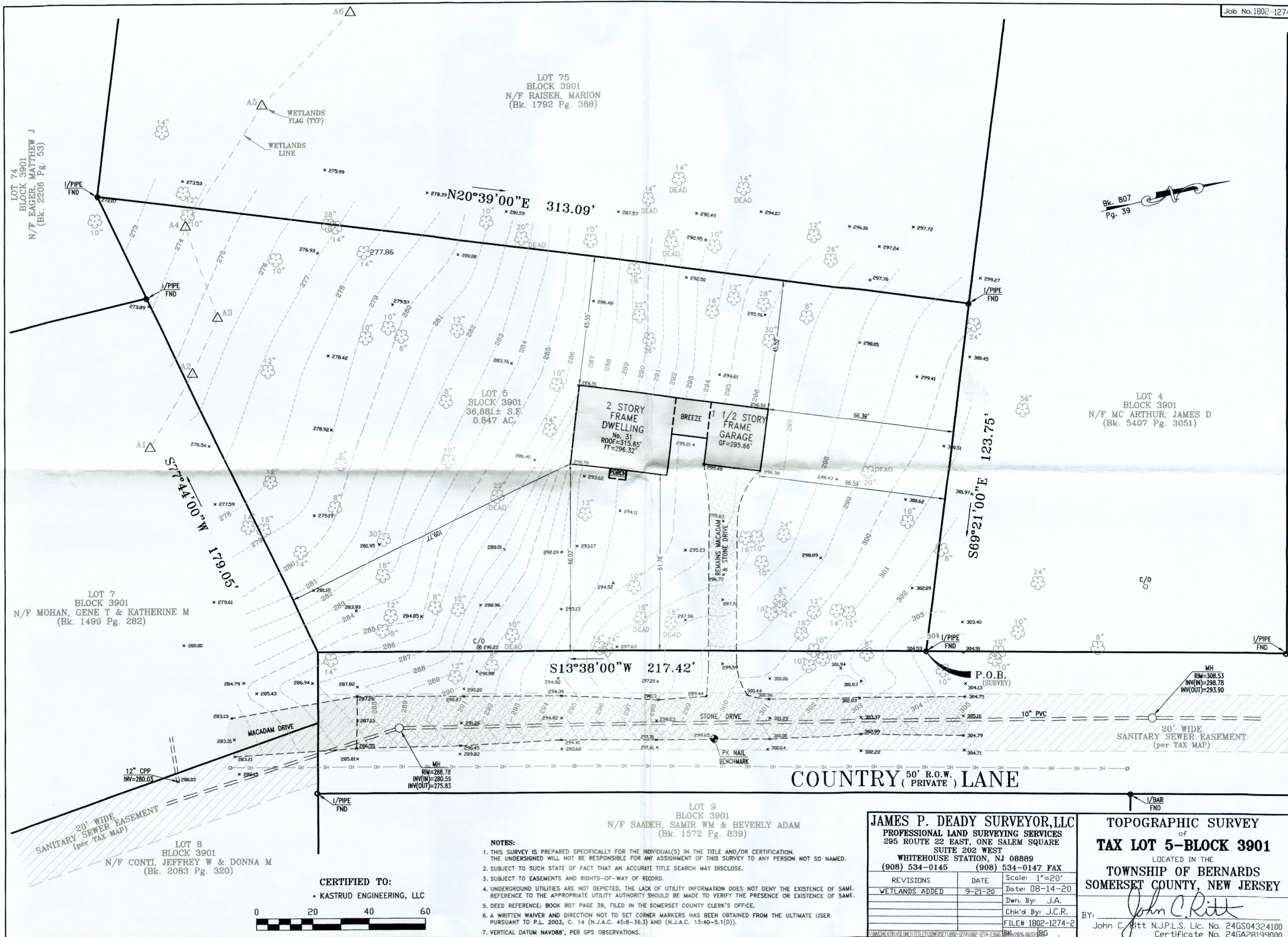


SHEET:	LOT DEVELOPMENT PLAN	
PROJECT:	PROPOSED SINGLE-FAMILY DWELLING BLOCK 3901 LOT 5 31 COUNTRY LANE TOWNSHIP OF BERNARDS SOMERSET COUNTY NEW JERSEY	
DRAWING FILE:	<div> <div>1</div> <div>1</div> </div>	
PROJECT NUMBER:	REV. 1	

PROPOSED SINGLE-FAMILY  
DWELLING  
BLOCK 3901 LOT 5  
31 COUNTRY LANE  
TOWNSHIP OF BERNARDS  
SOMERSET COUNTY NEW JERSEY

WORKING FILE: 490	1
TEST NUMBER: -0490	1





REVISED



EC

**TOWNSHIP OF BERNARDS**  
**ZONING BOARD OF ADJUSTMENT**  
**APPLICATION STATUS FORM**

Application No: ZB21-010 Block: 4802 Lot: 1.03 Zone: R-4

Applicant: SEFCHOVICH, PHIL & BONILLA, TAMARA

Address of Property: 91 QUEEN ANNE DRIVE

Description: POOL (SPA) NOT LOCATED BEHIND THE  
REAR BUILDING LINE OF ADJACENT DWELLINGS

**APPLICATION CHECKLIST**

<input checked="" type="checkbox"/> Original + 16 copies of Application	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> W-9	<input type="checkbox"/> Architectural Plans
<input checked="" type="checkbox"/> Site Visit Consent (A)	<input checked="" type="checkbox"/> Survey
<input type="checkbox"/> Ownership Form (B)	<input checked="" type="checkbox"/> Photographs
<input checked="" type="checkbox"/> 200' Property Search List (C)	<input type="checkbox"/> Wetlands Report/LOI
<input checked="" type="checkbox"/> Tax Certification (D)	<input type="checkbox"/> Application Fee
<input type="checkbox"/> Notice to be Served/Published (E)	<input type="checkbox"/> Escrow Deposit
<input checked="" type="checkbox"/> Dimensional Statistics Form (F)	<input type="checkbox"/> Imaging Fee
<input type="checkbox"/> Contributions Disclosure Form (G)	<input type="checkbox"/> Tax Map Revision Fee
	<input type="checkbox"/> Checklist

**SCHEDULING**

1.22.21 Original Submission Date 60  
3.23.21 Completeness Deadline (45 days)  
\_\_\_\_ Incomplete Date  
\_\_\_\_ Resubmission Date  
\_\_\_\_ Date Complete 60  
5.22.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_ Notice to Property Owners  
\_\_\_\_ Date of Publication  
\_\_\_\_ Completeness Hearing  
5.5.21 Public Hearing  
\_\_\_\_ Carried to Date  
\_\_\_\_ Decision - Approved/Denied  
\_\_\_\_ Resolution Memorialized  
\_\_\_\_ Resolution Published

**DISTRIBUTION**

1.22.21 Environmental Comm  
\_\_\_\_ Fire Official  
\_\_\_\_ LCFAS  
\_\_\_\_ Police

**NOTES**

**TOWNSHIP OF BERNARDS**  
**2020 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |   |  |
|---|--|
| <input type="checkbox"/> Bulk or Dimensional ("c") Variance<br><input type="checkbox"/> Use ("d") Variance<br><input type="checkbox"/> Conditional Use ("d") Variance<br><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance<br><input type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision<br><input type="checkbox"/> Interpretation of Zoning Ordinance<br><input type="checkbox"/> Minor Subdivision<br><input type="checkbox"/> Major Subdivision - Preliminary / Final<br><input type="checkbox"/> Other (specify): |
|---|--|

**1. APPLICANT:** Phil Sefchovich and Tamara Bonilla

Address: 91 Queen Anne Dr., Basking Ridge, NJ 07920

Phone: (home) 908-340-4356 (work) 908-927-1891 (mobile) 310-990-7866

Email (will be used for official notifications): p-sefchovich@hotmail.com

**2. OWNER** (if different from applicant): N/A

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** N/A

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**4. OTHER PROFESSIONALS** (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: Thomas W. Skrable Profession: Consulting Engineer

Address: 65 Ramapo Valley Road, Suite 213, Mahwah, NJ

Phone: 201-529-5010 Email (will be used for official notifications): \_\_\_\_\_

**5. PROPERTY INFORMATION:** Block(s): 4802 Lot(s): 1.03 Zone: R4

Street Address: 91 Queen Anne Drive Total Area (square feet/acres): 1.5 acres

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?** ☒ No ☐ Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?** ☒ No ☐ Yes (if yes, explain) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

[ ] No ☒ Yes (if yes, explain) See attached property survey.

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** Single family detached residence. Request approval for backyard patio, gazebo and spa. Given the size of the spa, for purposes of this request, given the proposed size of the spa, it is classified as a pool.

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**

Spa to exceed 8' x 8'. Section 21-18.1 pool not located behind rear building line of adjacent dwellings.

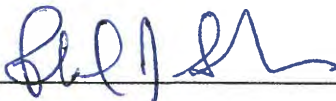
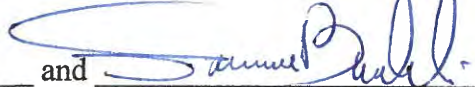
**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:**

Brings the house on par with those of my neighbors. It will enhance the neighborhood. Not a detriment to my neighbors since the backyard is completely buffered.

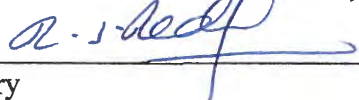
**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

**APPLICANT(S) SIGN HERE:**

I/we, Phil J. Sefcharich and Tamara Bonilla hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s):  and 

Sworn and subscribed before me, this 16 day of Jan, 2020. 2021

  
Notary

**SURENDAR REVURI**  
NOTARY PUBLIC OF NEW JERSEY  
ID # 50002731  
My Commission Expires 9/4/2024

**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application, hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary

SUBMIT ORIGINAL AND 16 COPIES

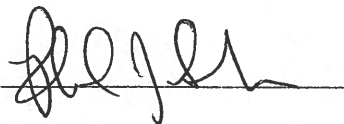
FORM A

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

Applicant: PHIL SEFCHOVICH Application: 2020 ZONING BOARD  
of ADJUSTMENT APPLICATION  
Block: 4802 Lot: 1,03  
Street Address: 91 QUEEN ANNE DR.

I, PHIL SEFCHOVICH, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:  Date: 3/4/20

8/19/20

BYHC 17 COPIES TOTAL

FORM G

**DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA	1 ac.	1.40	1.40
LOT WIDTH	200'	200.0	200.0
FRONTAGE	100'	146.9	146.9
FRONT YARD SETBACK	N/A	N/A	N/A
REAR YARD SETBACK	20' }	N/A	129.8
COMBINED SIDE YARD	40' { 20.1	N/A	130.2
SIDE YARD	20' }	N/A	36.8
COVERAGE	15%	8.51	10.18
HEIGHT			
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			





*Photo 1 Side view towards house.*



*Photo2 View away from house at patio location towards neighbor's yard.*



*Photo3 View towards house from spot of patio.*



*Photo 4 Yard view towards location of patio.*



# ZONE 2 OF THE STREAM BUFFER CONSERVATION EASEMENT

LINE	BEARING	DISTANCE
L1	S40°28'37"W	31.69'
L2	S36°59'04"W	22.95'
L3	S27°24'12"W	13.31'
L4	S52°31'45"W	22.69'
L5	S59°17'59"W	21.85'
L6	S60°46'45"W	27.22'
L7	S61°18'38"W	27.76'
L8	S63°47'51"W	25.94'
L9	S71°50'37"W	25.38'
L10	S64°24'43"W	25.83'
L11	S49°29'45"W	23.56'
L12	S49°47'08"W	18.06'
L13	N52°46'58"W	94.35'
L14	N58°06'21"E	273.07'
L15	S61°50'59"E	80.63'

NORTH  
NAD 27

## WETLANDS CONSERVATION EASEMENT

LINE	BEARING	DISTANCE
L16	S55°48'55"W	42.78'
L17	S57°25'34"W	21.37'
L18	S49°59'45"W	12.21'
L19	S75°53'32"W	18.60'
L20	S85°20'25"W	30.07'
L21	N58°06'21"E	234.39'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	50.00'	37.46'	36.59'	S34°21'03"W
C2	50.00'	1.41'	1.41'	S56°37'15"W
C3	50.00'	61.56'	57.74'	S40°37'18"W
C4	50.00'	8.24'	8.24'	S80°36'58"W
C5	50.00'	21.03'	20.87'	N82°36'46"W

## AS-BUILT LOT COVERAGE CALCULATION

	EXISTING
HOUSE	2,394 S.F.
COVERED PORCH	87 S.F.
PAVERS WALK & APPRON	331 S.F.
STONE DRIVE	2,449 S.F.
TOTAL	5,261 S.F.
	8.6 %

## CERTIFIED TO:

- PHILLIP J. SEFCHOVICH
- ADVISORS MORTGAGE GROUP, LLC, ITS SUCCESSORS  
AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR
- GUARDIAN SETTLEMENT AGENTS, INC., (TITLE No. 13-25971CR)
- STEWART TITLE GUARANTY COMPANY, INC.
- McNALLY & McGINN, LLC.

## DESCRIPTION:

BEING KNOWN & DESIGNATED AS LOT 1.03, BLOCK 4802 ON A MAP ENTITLED "FINAL PLAT MAJOR SUBDIVISION, TAX LOT 1-BLOCK 4802 (OLD TAX LOT 1.01-BLOCK 124), BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" DATED JUNE 14, 2011, LAST REVISED MARCH 22, 2013, & FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON OCTOBER 4, 2013 IN MAP BOOK 6675 PAGE 1698.

INTERSTATE HIGHWAY ROUTE 287  
VARIABLE WIDTHS

PROPOSED TWP.  
STANDARD MARKERS  
ALONG TRANSITION  
AREA BOUNDARY (TYP)

T.M. LOT 2  
BLOCK 4802  
LANDS N/F ALEXANDER, TRACY D.

AREA TO BE ADDED  
TO LOT 2 BLOCK 4802  
(778± S.F. / 0.018 AC.)

ANNIN ROAD  
50' R.O.W.

SLOPE EASEMENT  
PER FILED MAP #1254

## MAP REFERENCE:

1. "FINAL MAP, SUBDIVISION OF PROPERTY OF EDWARD L. KOTARSKI, BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" DATED JANUARY, 1968 AND FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON JUNE 10, 1968 AS MAP No. 1182.
2. "PRELIMINARY MAJOR SUBDIVISION PLANS, SUBDIVISION PLAN, LOT 1.01 IN BLOCK 124 SITUATED IN 165 ANNIN ROAD, BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" PREPARED BY DAVID E. FANTINA, P.E. ON NOVEMBER 6, 2006 & LAST REVISED ON DECEMBER 27, 2007.
3. "PRELIMINARY MAJOR SUBDIVISION PLANS, SUBDIVISION PLAN, LOT 1, BLOCK 4802 (OLD LOT 1.01 IN BLOCK 124) SITUATED IN 165 ANNIN ROAD, BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" PREPARED BY DAVID E. FANTINA, P.E. ON 11/06/2006 & LAST REVISED ON 9/15/2010.
4. "FINAL MAP, SLEEPY HOLLOW, KOTARSKI KONSTRUCTION KOMPANY, INC., BERNARDS TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" DATED MARCH 1966, REVISED APRIL 22, 1966 & FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON AUGUST 30, 1966 AS MAP No. 1126.
5. "SUBDIVISION MAP OF LOT 1, BLOCK 124, TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" PREPARED BY YANNACONE ASSOCIATES, INC. ON MARCH 8, 1996 & LAST REVISED ON JULY 11, 1996.
6. "FINAL PLAT MAJOR SUBDIVISION TAX LOT 1, BLOCK 4802 (OLD TAX LOT 1.01, BLOCK 124) LOCATED IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" PREPARED BY JAMES P. DEADY, LLC ON JUNE 14, 2011 & LAST REVISED ON MARCH 22, 2013.

LOT 1.02  
BLOCK 4802

S78°06'47"W 67.68'

JAMES P. DEADY SURVEYOR, LLC  
PROFESSIONAL LAND SURVEYING SERVICES  
admin@deadysurveying.com 295 ROUTE 22 EAST  
(908) 534-0145 ONE SALEM SQUARE  
(908) 534-0147 FAX SUITE 202 WEST  
WHITEHOUSE STATION, NJ 08889

REVISIONS	DATE	Scale: 1"=30'
		Date: 11-26-13
		Dwn. By: J.A.
		Chk'd By: J.C.R.
		FILE# 1802-610-12
		BK PG

SURVEY  
of  
**TAX LOT 1.03-BLOCK 4802**

LOCATED IN THE  
TOWNSHIP OF BERNARDS  
SOMERSET COUNTY, NEW JERSEY

BY: *John C. Ritt*  
John C. Ritt N.J.P.L.S. Lic. No. 24GS04324100  
Certificate No. 24GA28199000

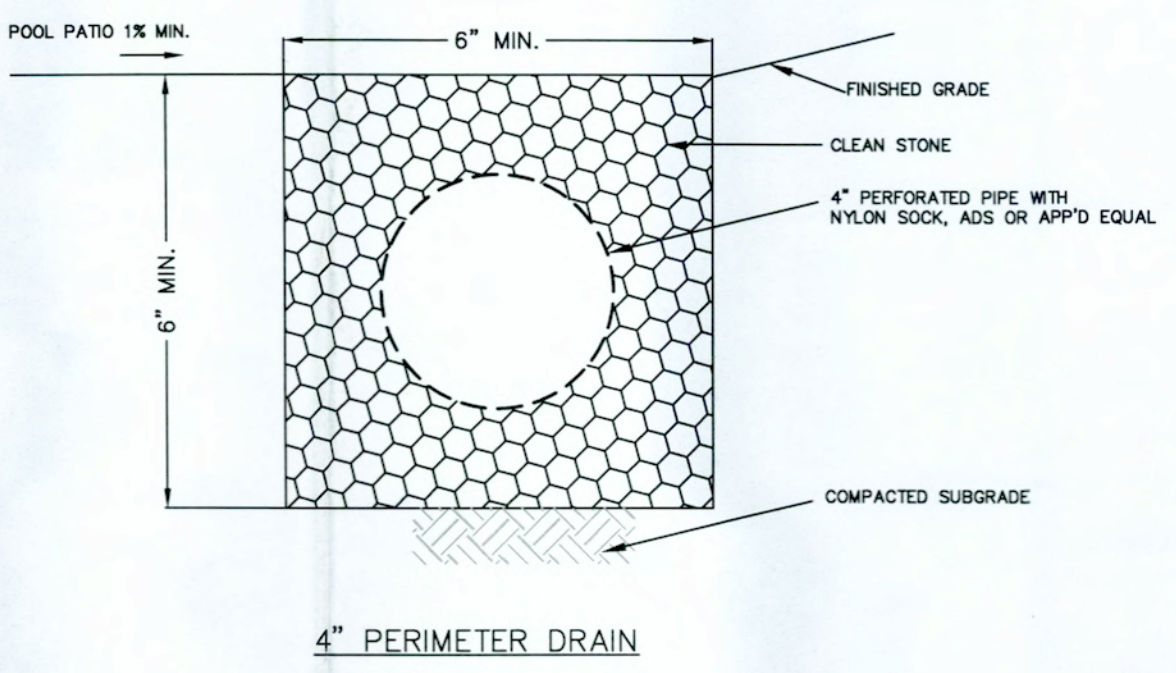
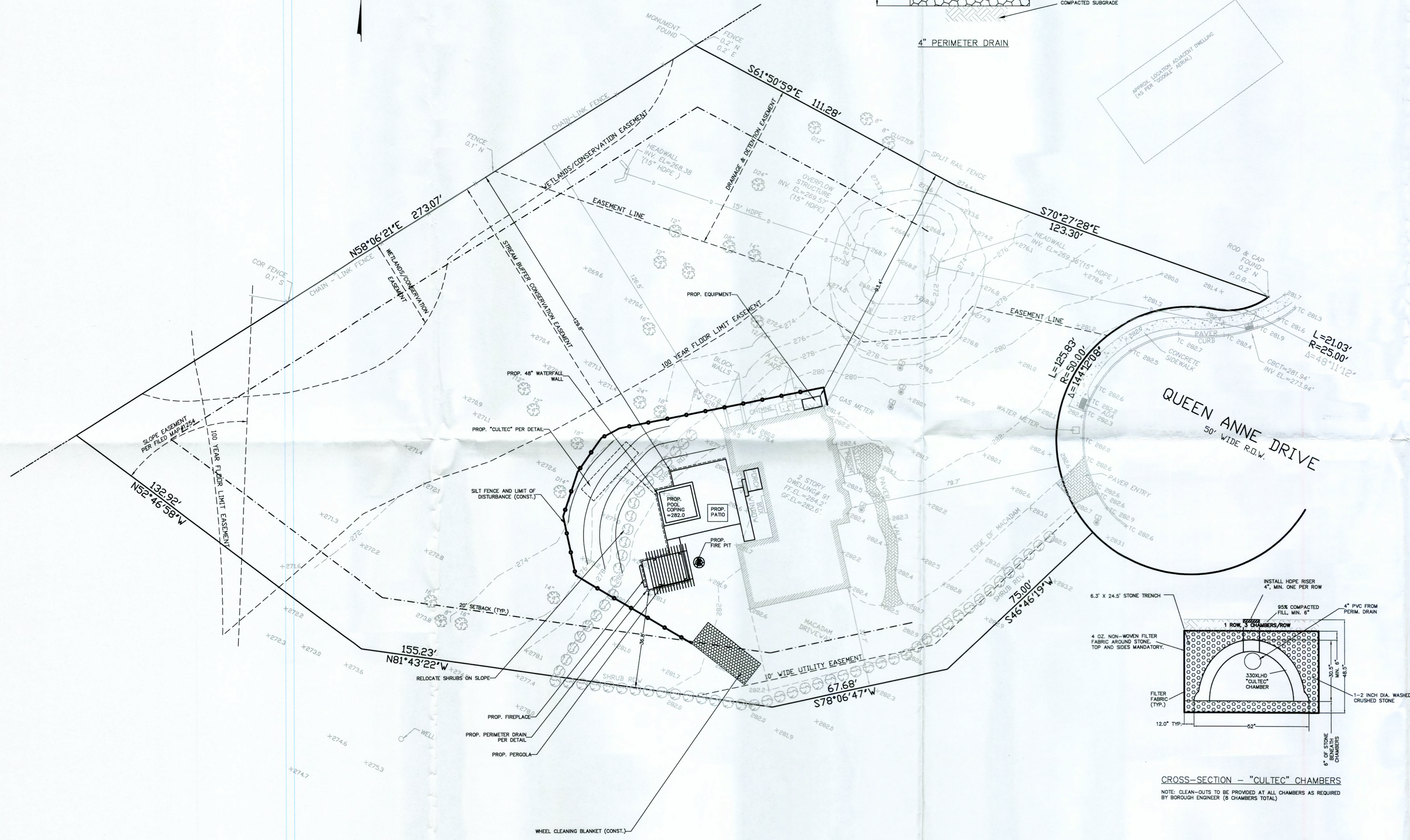
## NOTES:

1. THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
2. SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
3. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
4. UNDERGROUND UTILITIES ARE NOT DEPICTED, THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR EXISTENCE OF SAME.
5. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C. 14 (N.J.A.C. 45B-36.3) AND (N.J.A.C. 13:40-5.1(D)).



DRAINAGE CALCULATIONS  
(1,024 SF NEW IMPERVIOUS AREA)(2" RAINFALL)(1"/12")= 171 CF  
THREE (3) "CULTEC" UNITS IN 6.3'X24.5' STONE BED = 321 CF

DEED BOOK 6594 PAGE 3164



ZONING LEGEND		
R-4 RESIDENTIAL ZONE	REQUIRED	PROPOSED
MINIMUM SIDE YARD (FT.)	20	36.8
MINIMUM REAR YARD (FT.)	20	129.8
MAXIMUM COVERAGE (%)	15	10.18
MAXIMUM POOL/REAR YARD COVERAGE (%)	25	0.4

- NOTES:
- PROPERTY KNOWN AS LOT 1.03 BLOCK 4802 AS SHOWN ON THE CURRENT TAX MAPS OF THE TOWNSHIP OF BERNARDS.
  - APPLICANT/OWNER: BONILLA, 91 QUEEN ANNE DRIVE, BERNARDS, NJ
  - ZONE = R-4 RESIDENTIAL
  - TOTAL AREA OF LOT: 61,151.8 SF
  - IMPROVEMENTS ON OR UNDER THE LANDS ARE NOT VISIBLE MAY NOT BE SHOWN.
  - THERE ARE NO EXISTING OR PROPOSED CONVEYANCES OR DEED RESTRICTIONS.
  - VARIANCE REQUIRED: (SEE CHART)
  - THE PROPOSED POOL WILL UTILIZE THE EXISTING SERVICES FROM THE EXISTING DWELLING. THE LOCATION OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR OR OWNER PRIOR TO CONSTRUCTION. ALL NEW UTILITIES SHALL BE UNDERGROUND.
  - SURVEY INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM A SURVEY PREPARED BY JOHN J. BEZUYEN, PLS DATED 11/19/19.
  - ZERO (0) TREES TO BE REMOVED.

EARTHWORK CALCULATIONS		
PROP. POOL INCL. COPING		
AREA, CUT	=	196 SF
CUT	=	15 CY
PATIO/FILL AREA		
AREA, FILL	=	2,500 SF
FILL	=	93 CY
NET IMPORT	=	78 CY

IMPERVIOUS COVERAGE CALCULATIONS		
EX. DWELLING	=	2,489 SF
EX. DRIVEWAY/WALK/STEPS	=	2,692 SF
EX. CONC. PADS	=	20 SF
PROP. PATIO	=	855 SF
PROP. POOL (WATER)	=	139 SF
PROP. POOL EQUIP.	=	30 SF
TOTAL	=	6,914 SF
6,225 SF / 61,151.8 SF = 10.18%		

THOMAS W. SKRABLE, P.E., P.P., C.M.E.  
CONSULTING ENGINEER  
65 RAMAPO VALLEY ROAD, SUITE 213, MAHWAH, NJ 07648  
201-529-5010

DRAWN BY: T.S.  
SURVEYED BY: J.B.  
DESIGNED BY: T.S.  
CHECKED BY: T.S.  
D'WG NO. 19139PP0  
JOB NO. 19-139  
SHEET 1 OF 1  
1" = 20' H

REVISION NO.	DATE	DESCRIPTION	REVISION NO.	DATE	DESCRIPTION
1	8/4/20	AS PER CLIENT			

THOMAS W. SKRABLE, P.E.  
DATE 3/25/20  
PROFESSIONAL ENGINEER, NJ 36679, NY 75377  
PROFESSIONAL PLANNER, NJ 5204

SITE PLAN & SOIL EROSION & SEDIMENT CONTROL PLAN  
BLOCK 4802 LOT 1.03  
#91 QUEEN ANNE DRIVE  
TOWNSHIP OF BERNARDS  
SOMERSET COUNTY NEW JERSEY



FL

**TOWNSHIP OF BERNARDS**  
**ZONING BOARD OF ADJUSTMENT**  
**APPLICATION STATUS FORM**

Application No: ZB21-011 Block: 1803 Lot: 1 Zone: R-6

Applicant: LESNIK, HOWARD & KERI

Address of Property: 6 CEDAR STREET

Description: POOL NOT LOCATED BEHIND REAR BUILDING  
LINE OF ADJACENT DWELLINGS

**APPLICATION CHECKLIST**

☒ Original + 16 copies of Application  
☒ W-9  
☒ Site Visit Consent (A)  
☐ Ownership Form (B)  
☒ 200' Property Search List (C)  
☒ Tax Certification (D)  
☒ Notice to be Served/Published (E)  
☒ Dimensional Statistics Form (F)  
☐ Contributions Disclosure Form (G)

☒ Engineering Plan/Plot Plan  
☐ Architectural Plans  
☐ Survey  
☒ Photographs  
☐ Wetlands Report/LOI  
☒ Application Fee  
☒ Escrow Deposit  
☒ Imaging Fee  
☐ Tax Map Revision Fee  
☒ Checklist

**SCHEDULING**

1.25.21 Original Submission Date  
3.26.21 Completeness Deadline (45 days)  
\_\_\_\_ Incomplete Date  
\_\_\_\_ Resubmission Date  
\_\_\_\_ Date Complete 6.0  
5.25.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_ Notice to Property Owners  
\_\_\_\_ Date of Publication  
\_\_\_\_ Completeness Hearing  
5.5.21 Public Hearing  
\_\_\_\_ Carried to Date  
\_\_\_\_ Decision - Approved/Denied  
\_\_\_\_ Resolution Memorialized  
\_\_\_\_ Resolution Published

**DISTRIBUTION**

1.25.21 Environmental Comm  
\_\_\_\_ Fire Official  
\_\_\_\_ LCFAS  
\_\_\_\_ Police

**NOTES**



**TOWNSHIP OF BERNARDS**  
**2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance<br><input type="checkbox"/> Use ("d") Variance<br><input type="checkbox"/> Conditional Use ("d") Variance<br><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance<br><input type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision<br><input type="checkbox"/> Interpretation of Zoning Ordinance<br><input type="checkbox"/> Minor Subdivision<br><input type="checkbox"/> Major Subdivision - Preliminary / Final<br><input type="checkbox"/> Other (specify): |
|--|--|

**1. APPLICANT:** Howard and Keri Lesnik

Address: 6 Cedar St. Basking Ridge, New Jersey 07092

Phone: (home) \_\_\_\_\_ (work) 908-264-7701 (mobile) 973-819-5601

Email (will be used for official notifications): howardlesnik@gmail.com

**2. OWNER** (if different from applicant): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**4. OTHER PROFESSIONALS** (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: Jeff Egarian, PE Profession: Engineer

Address: 271 Route 46 West, Suite G208, Fairfield NJ 07004

Phone: 973-898-1401 Email (will be used for official notifications): jeffegarian.com

**5. PROPERTY INFORMATION:** Block(s): 1 Lot(s): 1803 Zone: \_\_\_\_\_

Street Address: 6 Cedar Street Total Area (square feet/acres): 30,059 sq. ft/

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?** ☒ No ☐ Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?** ☒ No ☐ Yes (if yes, explain) \_\_\_\_\_

**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

☒ No    ☐ Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:** \_\_\_\_\_

Single family residence pool installation in the rear yard of existing dwelling on property identified herein.

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**

A variance for locating an inground swimming pool not behind the rear building line of existing residential structures on adjoining lots, in violation of Section 21- 18.1 of the Land Development Ordinance

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:** \_\_\_\_\_

Applicant's home is situated on a corner lot and because of the location of the property, there is no acceptable conforming location on the property for the placement of a pool.

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

**APPLICANT(S) SIGN HERE:**

I/we, Howard Lesnik and Keri Lesnik hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): Howard Lesnik and Keri Lesnik

Sworn and subscribed before me, this 13<sup>th</sup> day of January, 2021.

Betty L. Fabrizio  
Notary

**BETTY L. FABRIZIO**  
NOTARY PUBLIC OF NEW JERSEY  
Comm. # 2274137  
My Commission Expires 7/18/2021

**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application, hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary



**SUBMIT ORIGINAL AND 16 COPIES**

**FORM A**

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

Applicant: Howard and Keri Lesnik

Block: 1 Lot: 1803

Street Address: 6 Cedar Street

I, Howard P. Lesnik, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature: Howard P. Lesnik Date: 1/12/21



# OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE

BASKING RIDGE, NJ 07920

(908) 204-3082 Fax (908) 766-1644

## \*\*\* 200 Foot Property Search \*\*\*

\*\* VALID FOR 90 DAYS \*\*

**Date:** 01/13/2021

**Block:** 1803 **Lot(s):** 1 **Qual:**

**Property Location:** 6 Cedar Street

**Applicant:** Howard Lesnik

**Phone :** 973-819-5601

**Fax:**

**Email:** howardlesnik@gmail.com

### PROPERTY OWNER INFORMATION

**Name:** Howard & Keri Lesnik

**Address:** 6 Cedar Street

**City, State, Zip:** Basking Ridge, NJ 07920

Due to the location of the referenced  
Block and Lot, the following  
Fire Company Should be notified:



Basking Ridge Fire Company  
P.O. Box 326  
Basking Ridge, NJ 07920

### Email When Complete:

**Email Report To:** Howard Lesnik

howardlesnik@gmail.com

**CERTIFIED BY:**

David Centrelli, Assessor - Township Of Bernards

**Amount Paid:** \$10.00

**Paid By:** Check (No. 861)





## Bernards Township

### Parcel Offset List

---

**Target Parcel(s):** Block-Lot: 1803-1  
LESNIK, HOWARD & KERI  
6 CEDAR ST

11 parcels fall within 200 feet of this parcel(s).

---

**Block-Lot: 1803-13**

HUNTER, JOHN BRADLEY & BERYL G  
185 S FINLEY AVE  
BASKING RIDGE NJ 07920  
RE: 185 S FINLEY AVE

**Block-Lot: 1803-12**

CLAYTON, KEVIN L & LISA A  
191 S FINLEY AVE  
BASKING RIDGE NJ 07920  
RE: 191 S FINLEY AVE

**Block-Lot: 1803-11**

PALLADINO, RICHARD & MARY THERESE  
17 COLONIAL DR  
BASKING RIDGE NJ 07920  
RE: 17 COLONIAL DR

**Block-Lot: 1803-4**

SCHAEFER, PETER C & DIANNE J  
20 CEDAR ST  
BASKING RIDGE NJ 07920  
RE: 20 CEDAR ST

**Block-Lot: 1803-3**

HOFFMAN, KERMIT & ALYSON  
14 CEDAR ST  
BASKING RIDGE NJ 07920  
RE: 14 CEDAR ST

**Block-Lot: 1803-2**

YARUSSI, NICHOLAS & MARY  
10 CEDAR ST  
BASKING RIDGE NJ 07920  
RE: 10 CEDAR ST

**Block-Lot: 1802-16**

LARKIN, AILEEN  
169 S FINLEY AVE  
BASKING RIDGE NJ 07920  
RE: 169 S FINLEY AVE

**Block-Lot: 1802-15**

DOLIN, KEITH C & CARRI ANN  
11 CEDAR ST  
BASKING RIDGE NJ 07920  
RE: 11 CEDAR ST

**Block-Lot: 1802-14**

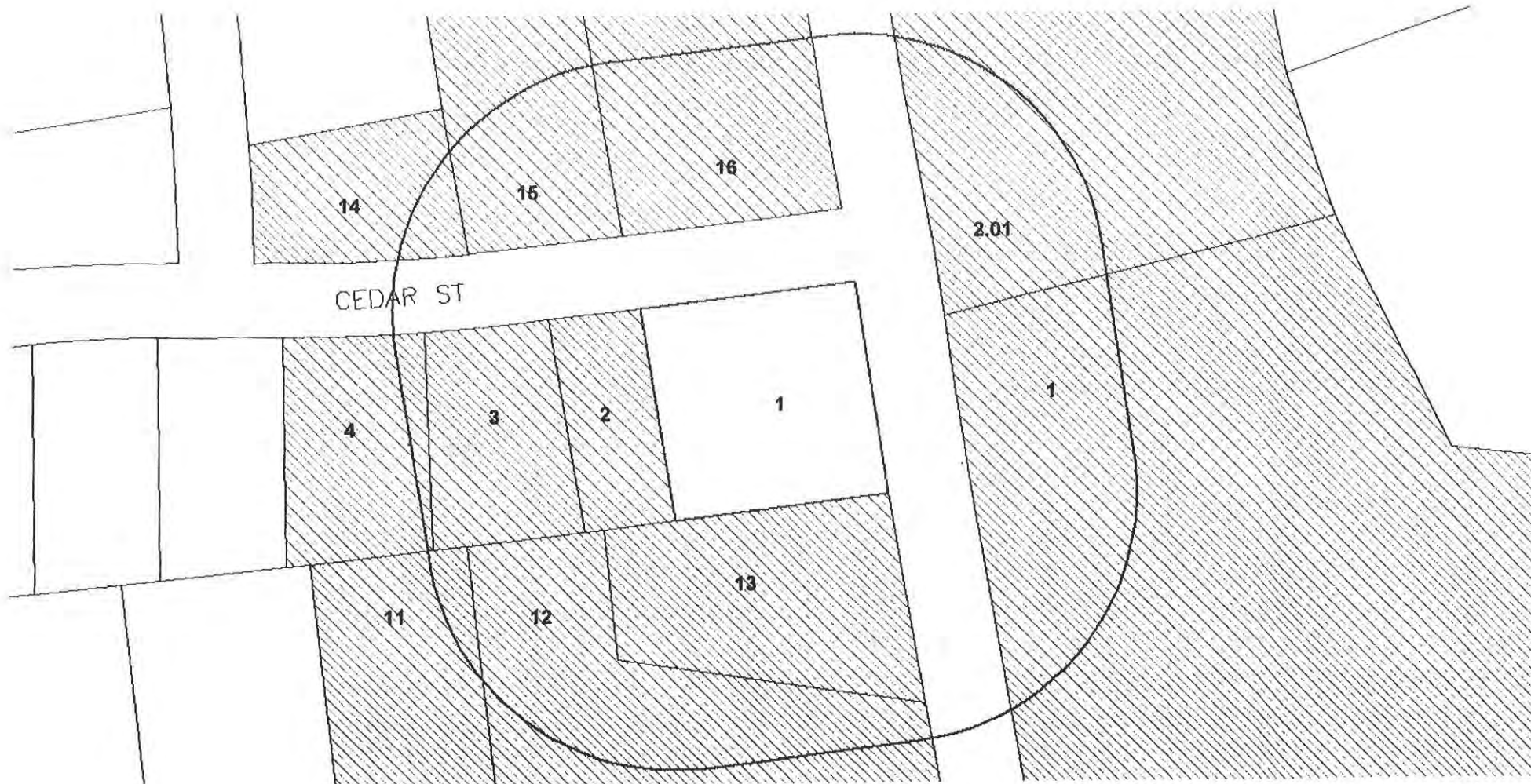
VACCARO, MICHAEL C & MARY-FRANCES  
15 CEDAR ST  
BASKING RIDGE NJ 07920  
RE: 15 CEDAR ST

**Block-Lot: 1602-2.01**

KEARNS, VIRGINIA L & WILLIAM J  
174 S FINLEY AVE  
BASKING RIDGE NJ 07920  
RE: 174 S FINLEY AVE

**Block-Lot: 1602-1**

ST JAMES R C CHURCH  
184 S FINLEY AVE; POB 310  
BASKING RIDGE NJ 07920  
RE: S FINLEY AVE







## OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE  
BASKING RIDGE, NJ 07920  
(908)-204-3082 FAX (908)-766-1644

## 200 FOOT PROPERTY SEARCH

List of names and addresses of all owners of property as shown on the current tax duplicate located within 200 feet of any part of the property affected by this application. The Township of Bernards accepts no liability for errors hereon. ***The attached list was compiled by the Engineering Department.***

If the property is within 200 feet of an adjoining municipality, the Township Clerk of that municipality should be notified. In addition, the applicant must also obtain the names and addresses of the owners of the land in such adjoining municipalities that are located within 200 feet of the subject premises.

The following is a list of utility companies located within Bernards Township. It is not to be construed as utilities being on or within 200 feet of the property being searched.

- |  |   |   |
|--|---|---|
| 1. ALGONQUIN GAS TRANSMISSION CO<br>1 Lindbergh Rd<br>Stony Point, NY 10980<br>(908) 757-1212                | 6. NEW JERSEY AMERICAN WATER CO<br>Donna Short, GIS Supervisor<br>NJ-American Water Company, Inc.<br>1025 Laurel Oak Rd<br>Voorhees, NJ 08043 | 10. NEW JERSEY BELL TELEPHONE CO<br>Edward D. Young III, Secretary<br>Verizon Legal Dept.<br>540 Broad St - Room 2001<br>Newark, NJ 07101<br>(201) 649-2233 |
| 2. BELL ATLANTIC CORPORATION<br>Secretary, 46 <sup>th</sup> Floor<br>1717 Arch<br>Philadelphia, PA 19102     | 7. CABLEVISION OF RARITAN VALLEY<br>275 Centennial Ave; CN6805<br>Piscataway, NJ 08855<br>Attn: Margurite Prenderville<br>Construction Dept   | 11. TRANSCONTINENTAL GAS PIPELINE<br>Division Office<br>3200 S Wood Ave<br>Linden, NJ 07036   |
| 3. JCP & L/ GPU<br>Service Tax Dept<br>PO Box 1911<br>Morristown, NJ 07962-1911                              | 8. BERNARDS TWP SEWERAGE AUTHTY<br>1 Collyer Ln<br>Basking Ridge, NJ 07920<br>(908) 204-3002  | 12. VERIZON BUSINESS/MCI<br>Right of Way Dept.<br>2400 N Glenville Dr<br>Richardson, TX 75082   |
| 4. PUBLIC SERVICE ELECTRIC & GAS<br>Manager - Corporate Properties<br>80 Park Plaza, T6B<br>Newark, NJ 07102 | 9. ENVIRONMENTAL DISPOSAL CORP<br>William Halsey, President<br>601 State Hwy 202/206<br>Bedminster, NJ 07921<br>(908) 234-0677                |   |
| 5. VERIZON COMMUNICATIONS<br>Engineering<br>290 W Mt Pleasant Ave; Ste 1400<br>Livingston, NJ 07039-2763     |   |   |

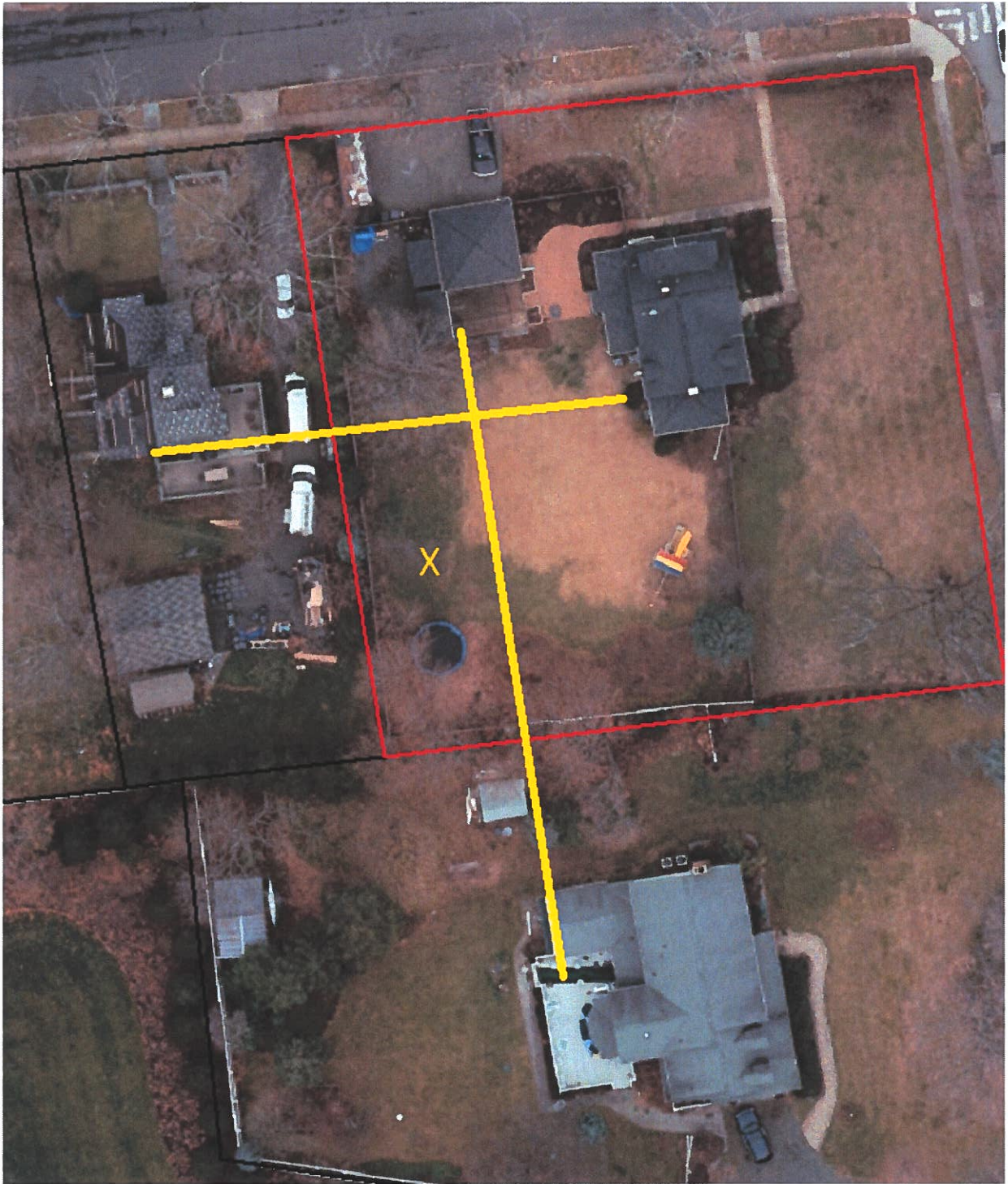
PLEASE NOTE :  
Numbers 1,3,4,5 and 7 are  
registered with the Township and  
REQUIRE NOTIFICATION

If the property is adjacent to a State Highway, the  
COMMISSIONER OF TRANSPORTATION  
must be notified at

NEW JERSEY DEPT OF TRANSPORTATION  
1035 Parkway Ave., CN600  
Trenton, NJ 08625

If the property is adjacent to a County Road, the  
SOMERSET COUNTY PLANNING BOARD  
must be notified at

SOMERSET COUNTY PLANNING BOARD  
PO Box 3000  
Somerville, NJ 08876









SUBMIT 17 COPIES TOTAL

**DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA		30,059 sq. ft	
LOT WIDTH		175.00 ft	
FRONTAGE		172.00 ft	
FRONT YARD SETBACK			Attached
REAR YARD SETBACK			Attached
COMBINED SIDE YARD			Attached
SIDE YARD			Attached
COVERAGE	18%	14.5%	16.5%
HEIGHT			
<i>IF REQUIRED,</i> GROSS FLOOR AREA			
<i>IF REQUIRED,</i> FLOOR AREA RATIO			
<i>IF REQUIRED,</i> IMPROVABLE LOT AREA			



## ZONING DATA-POOL CONSTRUCTION

**Zone: R-6**

**Block 1803 Lot 1**

**Owner: LESNIK**

	<u>REQUIRED.</u>	<u>PROPOSED.</u>	Variance Req'd
Side Yard Setback to Patio	20'	34.9'	No
Rear Yard Setback to Patio	20'	55.5'	No
Setback from House to Pool	10'	22.7'	No
Maximum Lot Coverage	18%	16.5%	No

### LOT COVERAGE

Lot Area	30,059		
Item	Existing(sf)	Proposed (sf)	Variance
House	1,421	1,421	
Garage	431	431	
Sheds	218	218	
Driveway	1,156	639	
Front Walk	269	269	
Rear Patio/Walks	857	573	
Prop. Pool		760	
Prop. Pool Patio		604	
Equip Pads		32	
Building Coverage	2,070	2,070	
	6.9%	6.9%	No
Max. Lot Coverage	4,352	4,947	
	14.5%	16.5%	No



**Howard and Keri Lesnik, 6 Cedar Street**  
**Block 1, Lot 1803**

**APPENDIX D, ARTICLE III**

**Checklist**

**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

**\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\***

<b>No.</b>	<b>Item</b>	<b>Submitted</b>	<b>Not Applicable</b>	<b>Waiver Requested</b>
1	A completed application form and checklist.	<u>X</u>		
2	A certificate from the tax collector indicating that taxes are paid.	<u>X</u>		
3	All required application and escrow deposit fees.	<u>X</u>		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	<u>X</u>		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	<u>X</u>		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	<u>X</u>		
7	Calculations of existing & proposed lot coverage percentages.	<u>X</u>		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.	<u>X</u>		
9	Photographs of the property in the location of the proposed improvements.	<u>X</u>		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		<u>X</u>	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		<u>X</u>	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		<u>X</u>	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.	<u>X</u>		

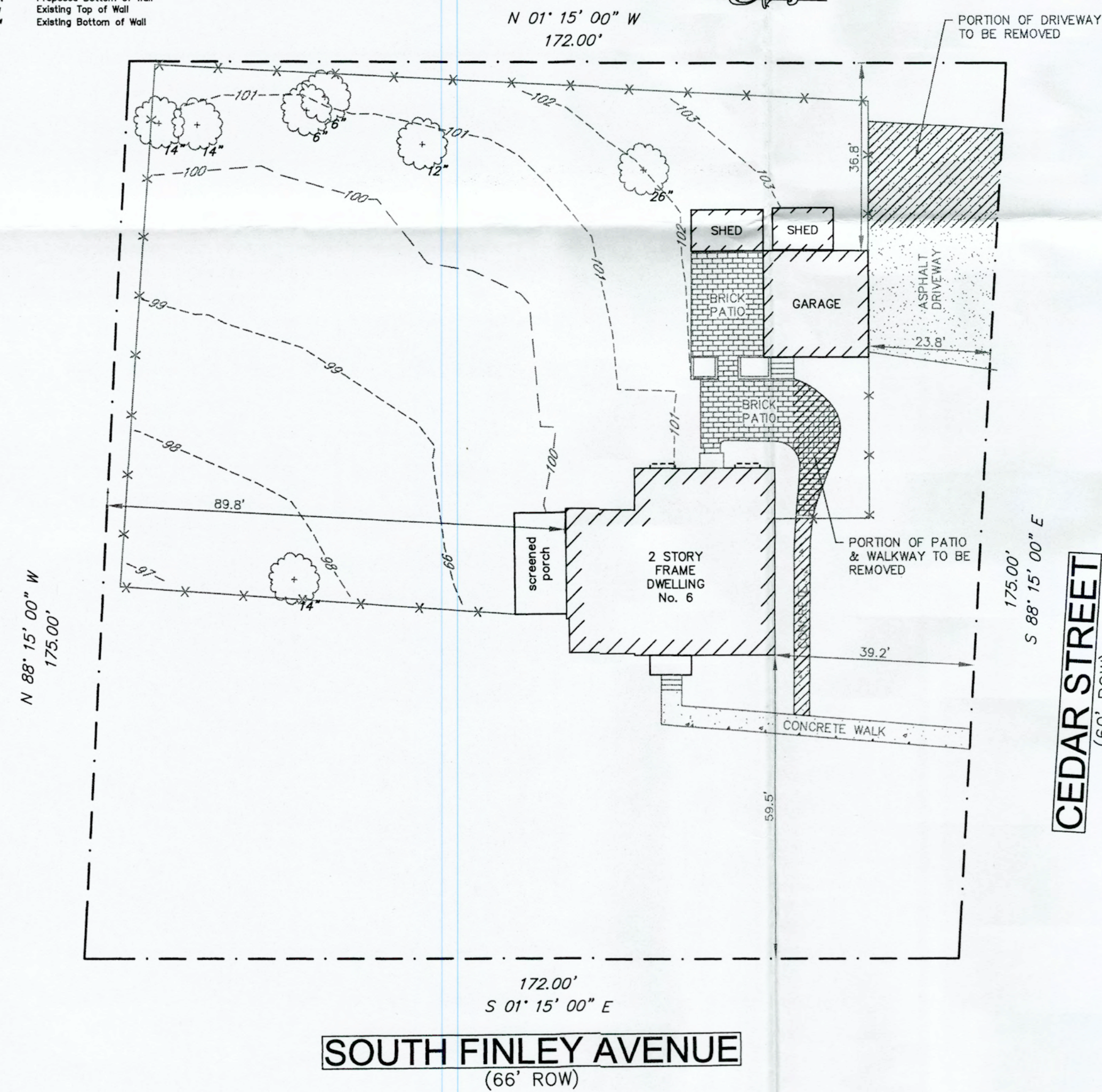


# Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
cut_fill	1.000	1.000	3379.53 Sq. Ft.	69.32 Cu. Yd.	75.21 Cu. Yd.	5.89 Cu. Yd.<Fill>
Totals			3379.53 Sq. Ft.	69.32 Cu. Yd.	75.21 Cu. Yd.	5.89 Cu. Yd.<Fill>

## LEGEND

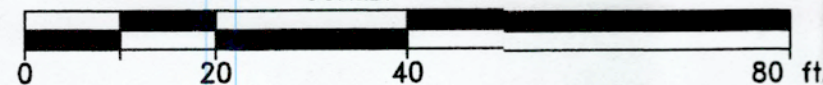
87.65	Existing Spot Elevation
88.00	Existing Contour
88.00	Proposed Spot Elevation
100	Proposed Contour
TW	Proposed Top of Wall
BW	Proposed Bottom of Wall
tw	Existing Top of Wall
bw	Existing Bottom of Wall



**SOUTH FINLEY AVENUE**  
(66' ROW)

EXISTING CONDITIONS

SCALE: 1"=20'



## ZONING DATA-POOL CONSTRUCTION

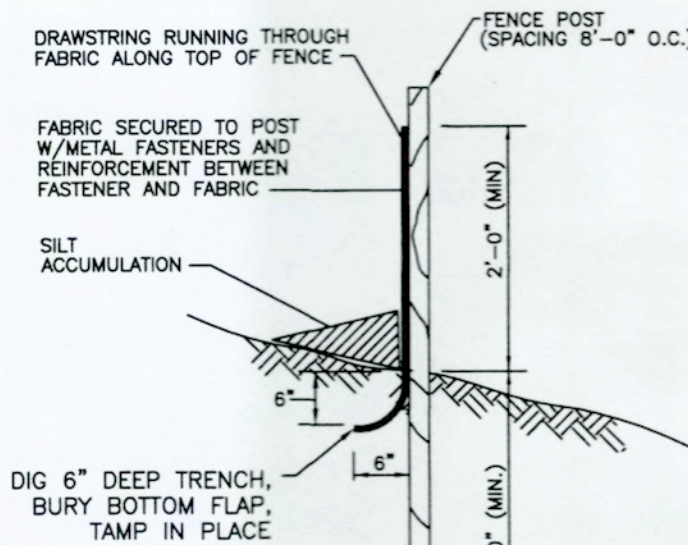
Zone: R-6			
Block 1803 Lot 1			
Owner: Koederitz			
	REQUIRED	PROPOSED	Variance Req'd
Side Yard Setback to Patio	20'	34.9'	No
Rear Yard Setback to Patio	20'	55.5'	No
Setback from House to Pool	10'	22.7'	No
Maximum Lot Coverage	18%	17.1%	No

## LOT COVERAGE

Lot Area	30,059		
Item	Existing (sf)	Proposed (sf)	Variance
House	1,421	1,421	
Screened Porch	200	200	
Garage	431	431	
Sheds	218	218	
Driveway	1,156	639	
Front Walk	269	269	
Rear Patio/Walks	857	573	
Prop. Pool		760	
Prop. Pool Patio		604	
Equip Pads		32	
Building Coverage	2,270	2,270	No
	7.6%	7.6%	
Max. Lot Coverage	4,552	5,147	
	15.1%	17.1%	No

## NOTES:

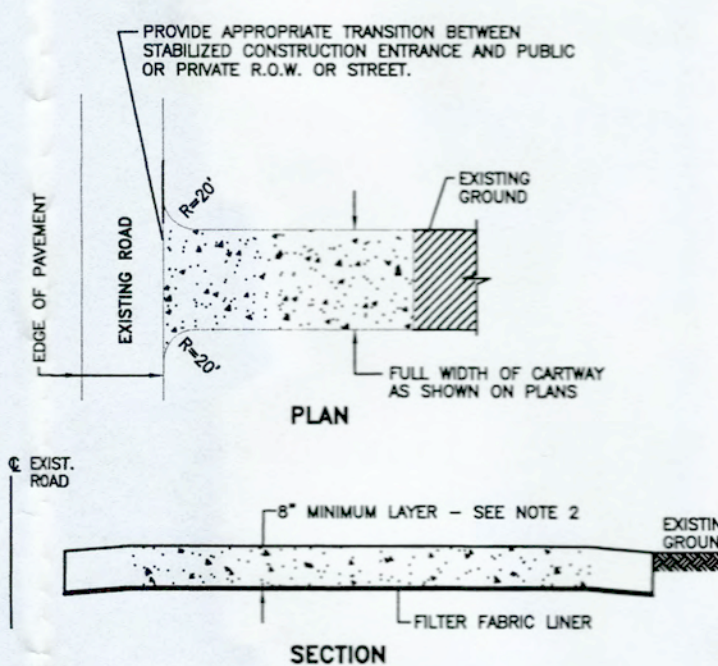
- EXISTING BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY WILLIAM HELD ASSOCIATES, INC. DATED 09.30.14.
- TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY FAX SURVEYING.
- OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN WHICH MAY AFFECT THE VERTICAL AND/OR HORIZONTAL POSITION OF THE POOL.
- CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT OF THE POOL BOTH VERTICALLY AND HORIZONTALLY.
- POOL SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANY/ASPI-5 PER THE INTERNATIONAL RESIDENTIAL CODE.
- FENCE SHALL BE INSTALLED A MINIMUM OF 12" INSIDE THE PROPERTY LINE. HOME OWNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR FENCE LOCATION AND CONSTRUCTION.
- IF ANY TREES OR ROOT STRUCTURES ARE DAMAGED DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE HOMEOWNER/CONTRACTOR TO CONTACT AN ARBORIST TO ASSESS THE DAMAGE TO THE TREES.
- DRIVEWAY TO BE UTILIZED FOR CONSTRUCTION ACCESS.
- A PERCOLATION TEST WILL BE PERFORMED AT THE TIME OF EXCAVATION. CONTRACTOR AND/OR HOME OWNER SHALL NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXCAVATION.
- IF IMPERVIOUS MATERIAL OR GROUND WATER IS ENCOUNTERED AT THE DRY WELL LOCATION DURING EXCAVATION, CONTACT THE ENGINEER.
- SET DRY WELL TO CONFORM WITH INLET ELEVATION OF DRAIN PIPE.



## SILT FENCE DETAIL

N.T.S.

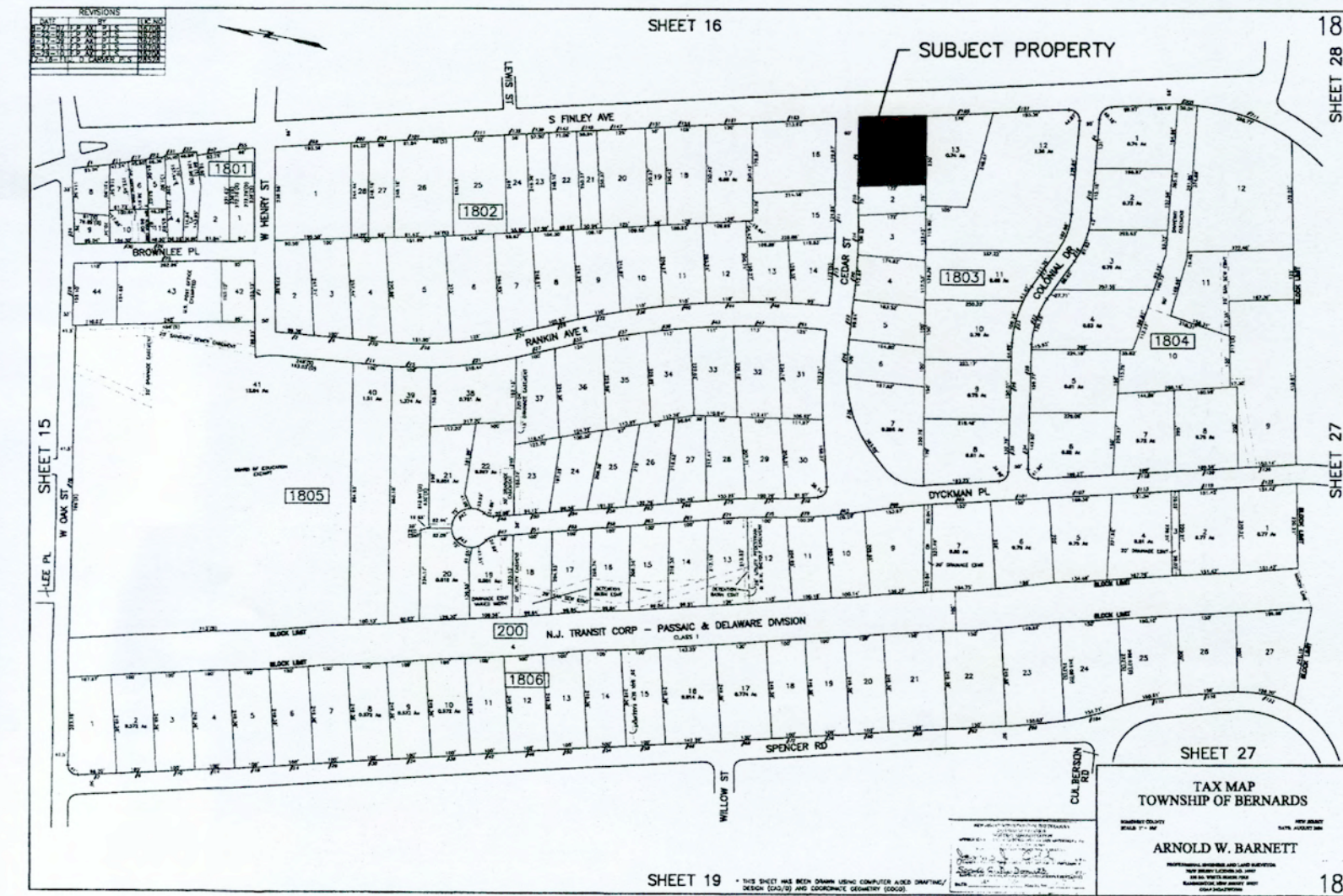
- REQUIREMENTS FOR SILT FENCE:
- FENCE POSTS SHALL BE SPACED 8 FT. CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
  - A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
  - A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE PORTION OF THE FENCE FOR ADDED STRENGTH.



## TRACKING PAD DETAIL

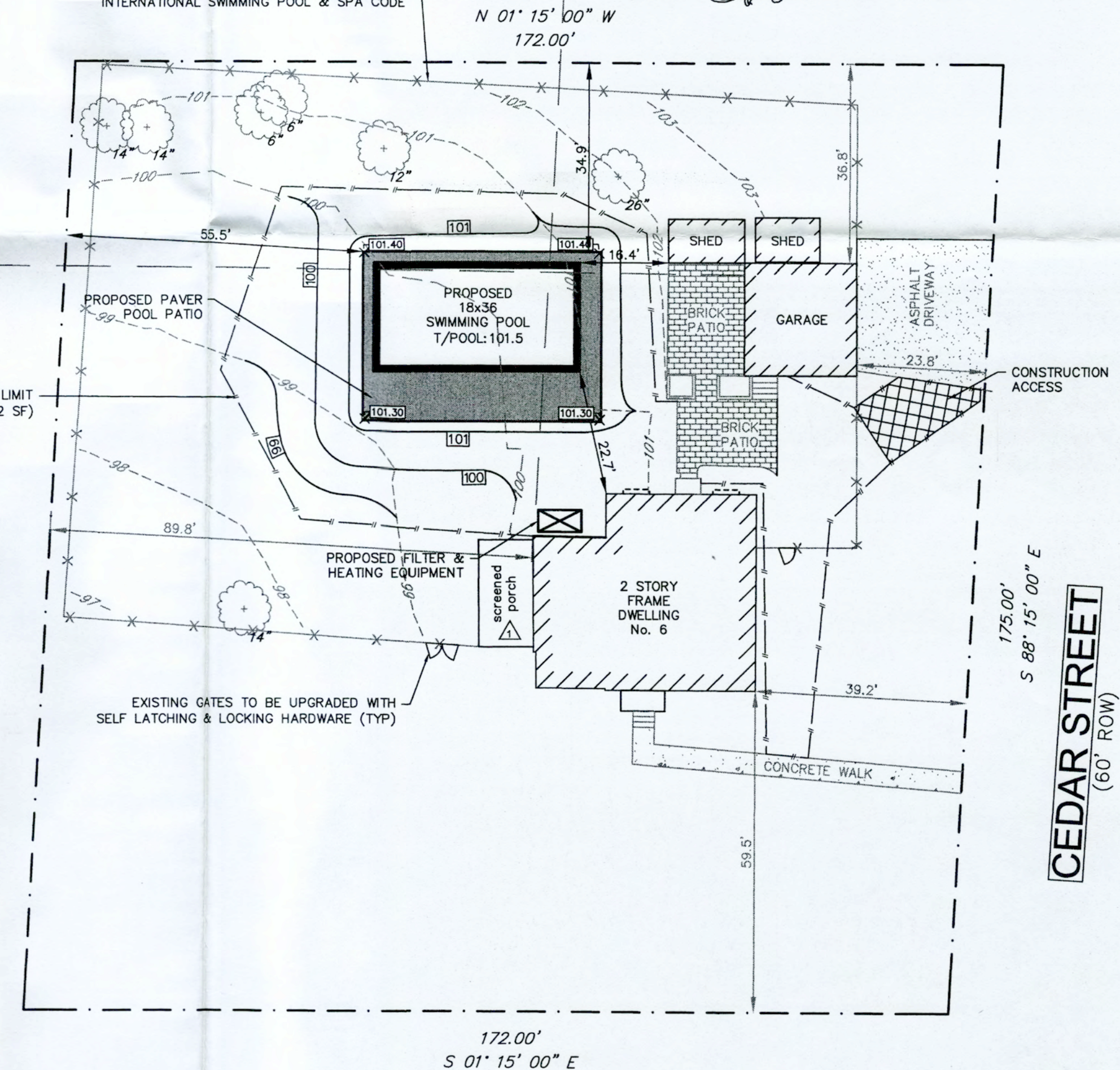
N.T.S.

- NOTES:
- PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATION.
  - STONE SIZE SHALL BE ASTM C-33, SIZE NO. 2 OR 3, CLEANED CRUSHED ANGULAR STONE.
  - THE THICKNESS OF THE STABILIZED CONSTRUCTION ENTRANCE SHALL NOT BE LESS THAN 6\"/>



## AREA MAP

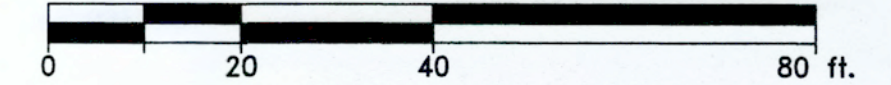
EXISTING FENCE TO BE UTILIZED FOR POOL ENCLOSURE & MEETS 2018 INTERNATIONAL SWIMMING POOL & SPA CODE



**SOUTH FINLEY AVENUE**  
(66' ROW)

GRADING PLAN

SCALE: 1"=20'



THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.

THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF D.J. EGARIAN & ASSOCIATES, INC.

CERTIFICATE OF AUTHORIZATION: 24GA28060300

ADDED ADJACENT STRUCTURE BUILDING LINES; ADDED EXISTING SCREENED IN PORCH; UPDATED COVERAGE TABLE

REVISION	DATE	APPROVED
	02.16.21	DJE

02.16.21

DJE

DESIGNER: DJE  
DRAWN BY: DJE/JUS  
CHECK BY: DJE  
DATE: 12.09.20  
SCALE: 1" = 20'  
PROJECT NO.: 20229

DAVID J. EGARIAN, P.E.  
N.J. LIC. NO. 24GE02622900

**DJ EGARIAN & ASSOCIATES Inc.**  
Civil/Mechanical/Environmental Engineering Services  
271 Route 46 Suite G208, Fairfield, NJ 07004  
Ph:(973)898-1401 Fax:(862)702-3017 www.djegarian.com

EXISTING CONDITIONS & GRADING PLAN  
FOR THE  
LESNIK RESIDENCE  
6 CEDAR STREET  
BLOCK 1803 LOT 1  
TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NJ

DRAWING NO:

1  
SHEET 1 OF 1



REVISED MAT'L

**TOWNSHIP OF BERNARDS**  
**ZONING BOARD OF ADJUSTMENT**  
**APPLICATION STATUS FORM**

Application No: ZB20-012 Block: 6303 Lot: 16 Zone: R-6

Applicant: NAULTY, DAVID & CARIE

Address of Property: 1 PIN OAK COURT

Description: POOL NOT LOCATED BEHIND THE REAR  
BUILDING LINE OF AN ADJACENT DWELLING

**APPLICATION CHECKLIST**

<input checked="" type="checkbox"/>	Original + 16 copies of Application	<input checked="" type="checkbox"/>	Engineering Plan/Plot Plan
<input checked="" type="checkbox"/>	W-9	<input type="checkbox"/>	Architectural Plans
<input checked="" type="checkbox"/>	Site Visit Consent (A)	<input checked="" type="checkbox"/>	Survey
<input type="checkbox"/>	Ownership Form (B)	<input checked="" type="checkbox"/>	Photographs
<input checked="" type="checkbox"/>	200' Property Search List (C)	<input type="checkbox"/>	Wetlands Report/LOI
<input checked="" type="checkbox"/>	Tax Certification (D)	<input type="checkbox"/>	Application Fee
<input checked="" type="checkbox"/>	Notice to be Served/Published (E)	<input type="checkbox"/>	Escrow Deposit
<input checked="" type="checkbox"/>	Dimensional Statistics Form (F)	<input type="checkbox"/>	Imaging Fee
<input type="checkbox"/>	Contributions Disclosure Form (G)	<input type="checkbox"/>	Tax Map Revision Fee
		<input checked="" type="checkbox"/>	Checklist

**SCHEDULING**

1.29.21 Original Submission Date 60\*  
3.30.21 Completeness Deadline (45 days)  
\_\_\_\_ Incomplete Date  
\_\_\_\_ Resubmission Date  
\_\_\_\_ Date Complete 60\*  
5.29.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_ Notice to Property Owners  
\_\_\_\_ Date of Publication  
\_\_\_\_ Completeness Hearing  
5.5.21 Public Hearing  
\_\_\_\_ Carried to Date  
\_\_\_\_ Decision - Approved/Denied  
\_\_\_\_ Resolution Memorialized  
\_\_\_\_ Resolution Published

**DISTRIBUTION**

2.3.21 Environmental Comm  
\_\_\_\_ Fire Official  
\_\_\_\_ LCFAS  
\_\_\_\_ Police

**NOTES**

\* COVID DEADLINES



March 29, 2021

To Whom it May Concern:

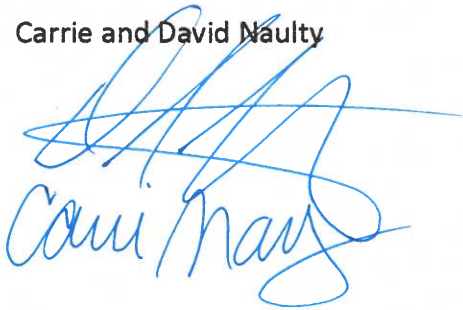
Please find the below points regarding our amended application:

1. We will remove the shed.
2. We will move the portion of the fence that encroaches on our adjoining neighbor's property to the rear. Please see the attached diagram highlighting this portion. It is indicated by the term "fence over."
3. We are requesting a variance for the portions of the fence that run along the rear of our property as well as near the top of the driveway. These areas are considered part of our front yard and exceed the four feet height requirement. Please find the attached survey which highlights these portions accordingly.

Thank you in advance for your consideration and please contact us with any questions at (973) 896-1581.

Kind regards,

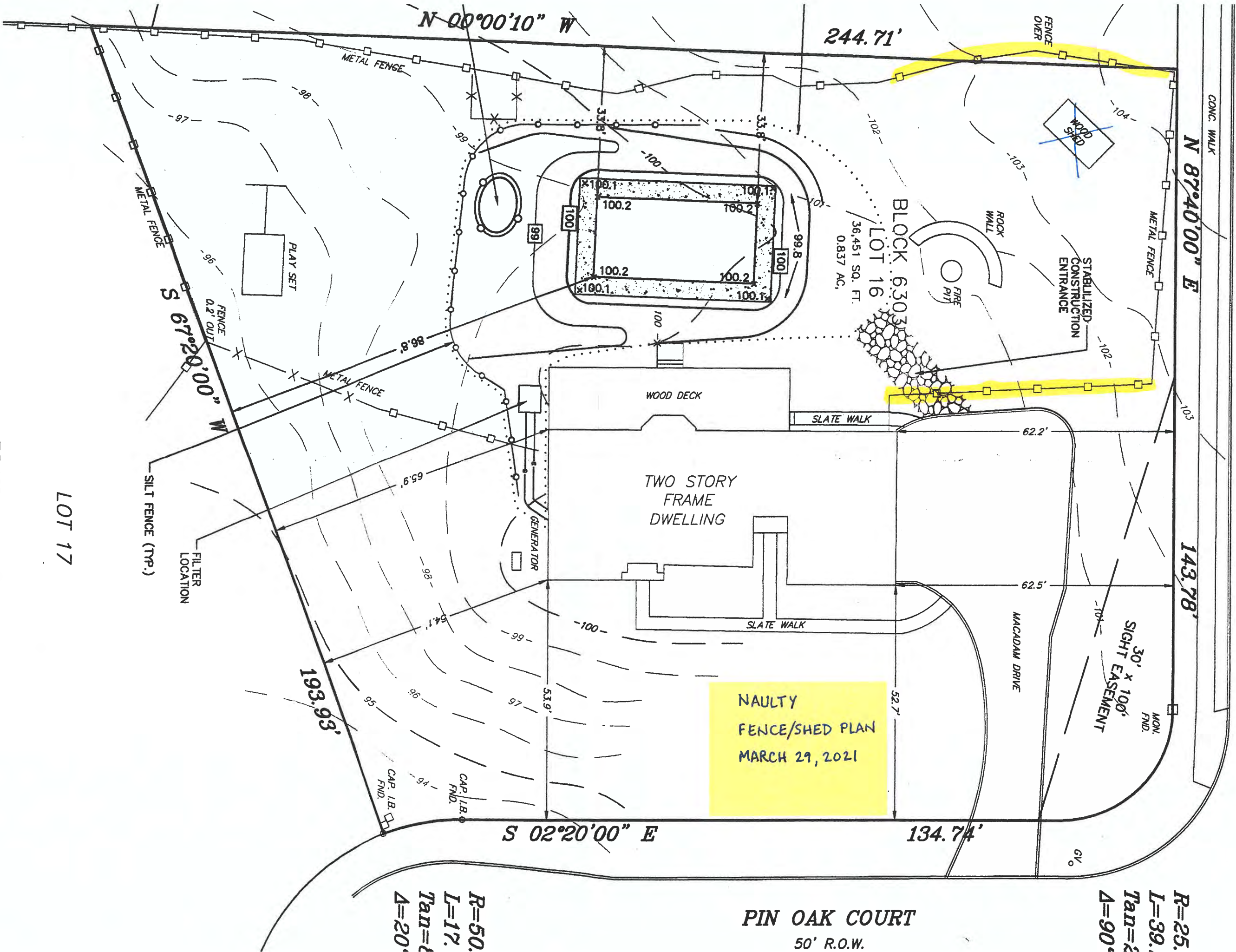
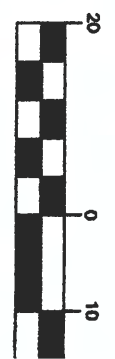
Carrie and David Naulty

A handwritten signature in blue ink, appearing to read "Carrie Naulty", is written over the printed name. The signature is stylized with a large, sweeping initial 'C' and a long horizontal stroke extending to the right.



ND. DOORS  
POOL SHALL BE  
(2018 NJ EDITION).

HUNTERS LANE  
50' R.O.W.



R=25.  
L=39.  
Tan=2.  
Δ=90°

PIN OAK COURT  
50' R.O.W.

R=50.  
L=17.  
Tan=1.  
Δ=20°

PLAN  
Scale: 1" = 20'



EC

**TOWNSHIP OF BERNARDS**  
**ZONING BOARD OF ADJUSTMENT**  
**APPLICATION STATUS FORM**

Application No: ZB20-012 Block: 6303 Lot: 16 Zone: R-6

Applicant: NAULTY, DAVID, & CARRIE

Address of Property: 1 PIN OAK COURT

Description: POOL NOT LOCATED BEHIND THE REAR  
BUILDING LINE OF AN ADJACENT DWELLING

**APPLICATION CHECKLIST**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Original + 16 copies of Application | <input checked="" type="checkbox"/> Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> W-9                                 | <input type="checkbox"/> Architectural Plans                   |
| <input checked="" type="checkbox"/> Site Visit Consent (A)              | <input checked="" type="checkbox"/> Survey                     |
| <input type="checkbox"/> Ownership Form (B)                             | <input checked="" type="checkbox"/> Photographs                |
| <input checked="" type="checkbox"/> 200' Property Search List (C)       | <input type="checkbox"/> Wetlands Report/LOI                   |
| <input checked="" type="checkbox"/> Tax Certification (D)               | <input type="checkbox"/> Application Fee                       |
| <input checked="" type="checkbox"/> Notice to be Served/Published (E)   | <input type="checkbox"/> Escrow Deposit                        |
| <input checked="" type="checkbox"/> Dimensional Statistics Form (F)     | <input type="checkbox"/> Imaging Fee                           |
| <input type="checkbox"/> Contributions Disclosure Form (G)              | <input type="checkbox"/> Tax Map Revision Fee                  |
|   | <input checked="" type="checkbox"/> Checklist                  |

**SCHEDULING**

1.29.21 Original Submission Date 60\*  
3.30.21 Completeness Deadline (45 days)  
 \_\_\_\_\_ Incomplete Date  
 \_\_\_\_\_ Resubmission Date  
 \_\_\_\_\_ Date Complete 60\*  
5.29.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_\_ Notice to Property Owners  
 \_\_\_\_\_ Date of Publication  
 \_\_\_\_\_ Completeness Hearing  
5.5.21 Public Hearing  
 \_\_\_\_\_ Carried to Date  
 \_\_\_\_\_ Decision - Approved/Denied  
 \_\_\_\_\_ Resolution Memorialized  
 \_\_\_\_\_ Resolution Published

**DISTRIBUTION**

2.3.21 Environmental Comm  
 \_\_\_\_\_ Fire Official  
 \_\_\_\_\_ LCFAS  
 \_\_\_\_\_ Police

**NOTES**

\* COVID DEADLINES



**TOWNSHIP OF BERNARDS**  
**2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |   |   |
|---|---|
| <p><input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance</p> <p><input type="checkbox"/> Use ("d") Variance</p> <p><input type="checkbox"/> Conditional Use ("d") Variance</p> <p><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance</p> <p><input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision</p> <p><input type="checkbox"/> Interpretation of Zoning Ordinance</p> <p><input type="checkbox"/> Minor Subdivision</p> <p><input type="checkbox"/> Major Subdivision - Preliminary / Final</p> <p><input type="checkbox"/> Other (specify):</p> |
|---|---|

**1. APPLICANT:** David & Carrie Naulty  
**Address:** 1 Pin Oak Court Basking Ridge NJ 07920  
**Phone:** (home) (973) 896-1581 (work) \_\_\_\_\_ (mobile) \_\_\_\_\_  
**Email (will be used for official notifications):** carrienaaulty@gmail.com

**2. OWNER (if different from applicant):** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone:** \_\_\_\_\_ **Email (will be used for official notifications):** \_\_\_\_\_

**3. ATTORNEY:** NA  
**Address:** \_\_\_\_\_  
**Phone:** \_\_\_\_\_ **Email (will be used for official notifications):** \_\_\_\_\_

**4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):**  
**Name:** Deborah D'Amico **Profession:** Engineer  
**Address:** 68 North Bridge St. Somerville, NJ 08876  
**Phone:** (908) 635-2868 **Email (will be used for official notifications):** d.damico@damicoengineers.com

**5. PROPERTY INFORMATION:** Block(s): 6303 Lot(s): 16 Zone: \_\_\_\_\_  
**Street Address:** 1 Pin Oak Ct, Basking Ridge NJ 07920 **Total Area (square feet/acres):** 0.837 acres

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?** ☒ No ☐ Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?** ☒ No ☐ Yes (if yes, explain) \_\_\_\_\_



**8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?**

☒ No    ☐ Yes (if yes, explain) \_\_\_\_\_

**9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:**

We live at 1 Pin Oak Court, Basking Ridge, NJ. This residence is a single family home that has a driveway. We are looking to add a pool to the backyard.

**10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):**

The orientation of the neighbor's house precludes placing a pool in front of the rear building line. Therefore, we are requesting an exception to the ordinance requiring the pool shall be located behind the rear building line.

**11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:**

Granting this exception will not impose a detriment to the public good.

**12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):**

**APPLICANT(S) SIGN HERE:**

I/we, DAVID S NAULTY and CARRIE NAULTY hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): \_\_\_\_\_ and \_\_\_\_\_

Sworn and subscribed before me, this 28 day of January, 2021.

[Signature]  
Notary  
CYNTHIA KIEFER  
Notary Public - New Jersey  
Commission #2442187  
Expires 01/10/24

**OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):**

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application,

hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary



**SUBMIT ORIGINAL AND 16 COPIES**

**FORM A**

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

Applicant: David & Carrie Naulty

Block: 6303 Lot: 16

Street Address: 1 Pin Oak Ct, Basking Ridge NJ 07920

I, Carrie Naulty, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature: Carrie Naulty Date: 1/19/21





# OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE

BASKING RIDGE, NJ 07920

(908) 204-3082 Fax (908) 766-1644

## \*\*\* 200 Foot Property Search \*\*\*

\*\* VALID FOR 90 DAYS \*\*

**Date:** 01/26/2021

**Block:** 6303 **Lot(s):** 16 **Qual:**

**Property Location:** 1 Pin Oak Court

**Applicant:** David & Carrie Naulty

**Phone :** 973-896-1581 **Fax:** **Email:** dnaulty78@gmail.com

### PROPERTY OWNER INFORMATION

**Name:** David & Carrie Naulty

**Address:** 1 Pin Oak Court

**City, State, Zip:** Basking Ridge, NJ 07920

Due to the location of the referenced  
Block and Lot, the following  
Fire Company Should be notified:



Liberty Corner Fire Company  
P.O. Box 98, Church St.  
Liberty Corner, NJ 07938

### Email When Complete:

**Email Report To:** David & Carrie Naulty

dnaulty78@gmail.com

**CERTIFIED BY:**

David Centrelli, Assessor - Township Of Bernards

**Amount Paid: \$10.00**

**Paid By: Check (No. 1997)**





## Bernards Township

### Parcel Offset List

---

**Target Parcel(s):** Block-Lot: 6303-16  
NAULTY, DAVID & CARRIE  
1 PIN OAK CT

12 parcels fall within 200 feet of this parcel(s).

---

**Block-Lot: 6303-26**

KELLY, PATRICK B & DIANE D  
65 HIGHLAND AVE  
BASKING RIDGE NJ 07920  
RE: 65 HIGHLAND AVE

**Block-Lot: 6303-19**

ATAL, SHAILABH & TRIVEDI, SALSEE  
20 HUNTERS LN  
BASKING RIDGE NJ 07920  
RE: 20 HUNTERS LN

**Block-Lot: 6303-18**

LI, LI  
10 PIN OAK CT  
BASKING RIDGE NJ 07920  
RE: 10 PIN OAK CT

**Block-Lot: 6303-17**

AIELLO, JOHN F & HAZEL  
11 PIN OAK CT  
BASKING RIDGE NJ 07920  
RE: 11 PIN OAK CT

**Block-Lot: 6303-16**

LEHMAN, MICHAEL & GAETANA  
9 DEER CREEK DR  
BASKING RIDGE NJ 07920  
RE: 9 DEER CREEK DR

**Block-Lot: 6303-14**

KRAEMER, JONATHON T & ANDREA  
1 DEER CREEK DR  
BASKING RIDGE NJ 07920  
RE: 1 DEER CREEK DR

**Block-Lot: 6303-13**

CARILLI, KRISTOFER & STEPHANIE  
44 PHEASANT RUN DR  
BASKING RIDGE NJ 07920  
RE: 44 PHEASANT RUN DR

**Block-Lot: 6303-12**

BERNARDS, TOWNSHIP OF  
ONE COLLYER LN  
BASKING RIDGE NJ 07920  
RE: PHEASANT RUN DR

**Block-Lot: 6301-27**

AHUJA, RAJESH & SAROJINI  
21 HUNTERS LN  
BASKING RIDGE NJ 07920  
RE: 21 HUNTERS LN

**Block-Lot: 6301-26**

BECKMAN, MICHAEL J & LAUREN D  
25 HUNTERS LN  
BASKING RIDGE NJ 07920  
RE: 25 HUNTERS LN

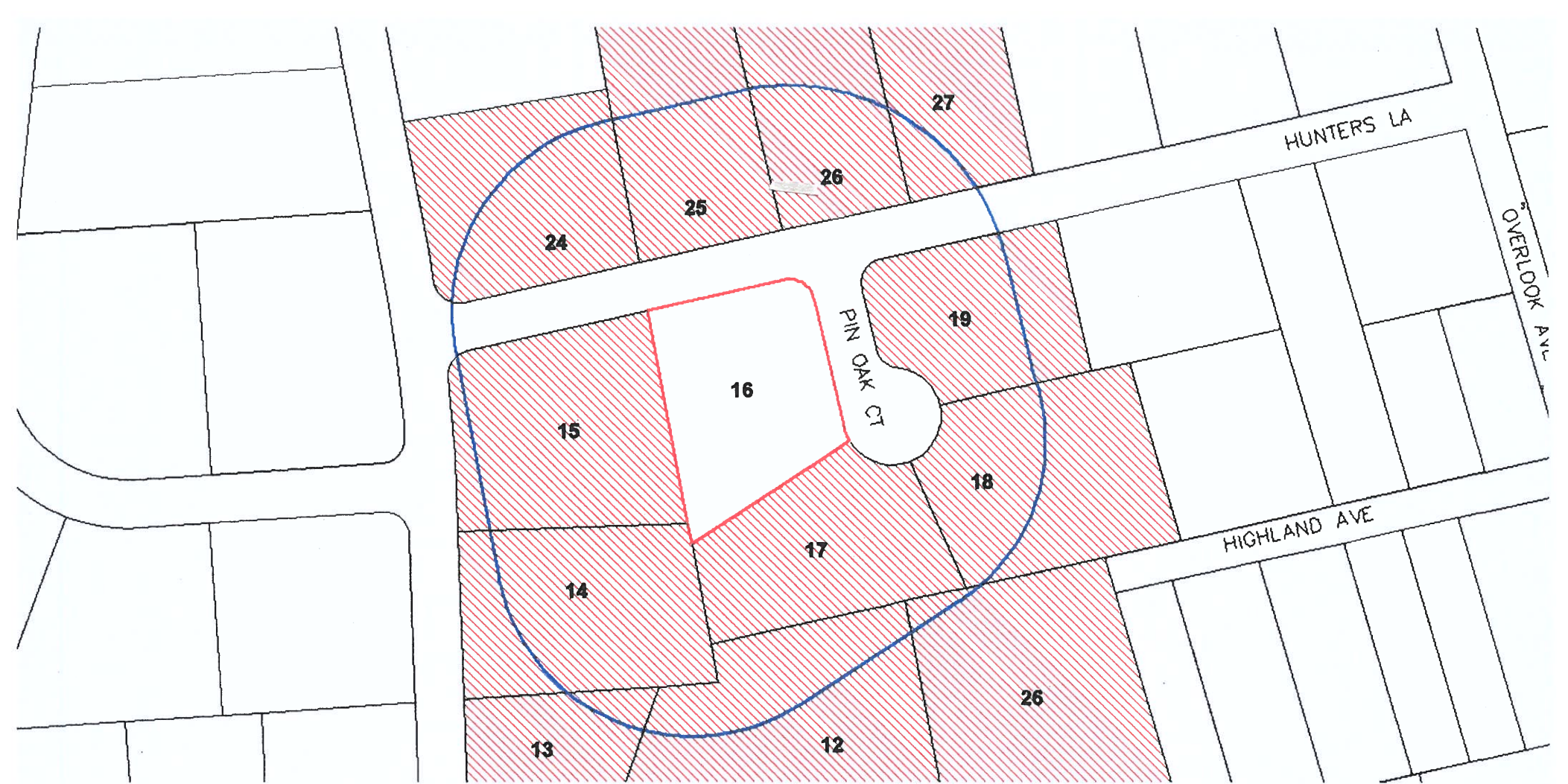
**Block-Lot: 6301-25**

SCOTT, JEFFREY A & SANDRA L  
33 HUNTERS LN  
BASKING RIDGE NJ 07920  
RE: 33 HUNTERS LN

**Block-Lot: 6301-24**

MILLER, MATTHEW E & CARYN C  
18 DEER CREEK DR  
BASKING RIDGE NJ 07920  
RE: 18 DEER CREEK DR









## OFFICE OF THE ASSESSOR

TOWNSHIP OF BERNARDS

ONE COLLYER LANE

BASKING RIDGE, NJ 07920

(908)-204-3082 FAX (908)-766-1644

# 200 FOOT PROPERTY SEARCH

List of names and addresses of all owners of property as shown on the current tax duplicate located within 200 feet of any part of the property affected by this application. The Township of Bernards accepts no liability for errors hereon. *The attached list was compiled by the Engineering Department.*

If the property is within 200 feet of an adjoining municipality, the Township Clerk of that municipality should be notified. In addition, the applicant must also obtain the names and addresses of the owners of the land in such adjoining municipalities that are located within 200 feet of the subject premises.

The following is a list of utility companies located within Bernards Township. It is not to be construed as utilities being on or within 200 feet of the property being searched.

- |  |   |   |
|--|---|---|
| 1. ALGONQUIN GAS TRANSMISSION CO<br>1 Lindbergh Rd<br>Stony Point, NY 10980<br>(908) 757-1212                | 6. NEW JERSEY AMERICAN WATER CO<br>Donna Short, GIS Supervisor<br>NJ-American Water Company, Inc.<br>1025 Laurel Oak Rd<br>Voorhees, NJ 08043 | 10. NEW JERSEY BELL TELEPHONE CO<br>Edward D. Young III, Secretary<br>Verizon Legal Dept.<br>540 Broad St - Room 2001<br>Newark, NJ 07101<br>(201) 649-2233 |
| 2. BELL ATLANTIC CORPORATION<br>Secretary, 46 <sup>th</sup> Floor<br>1717 Arch<br>Philadelphia, PA 19102     | 7. CABLEVISION OF RARITAN VALLEY<br>275 Centennial Ave; CN6805<br>Piscataway, NJ 08855<br>Attn: Margurite Prenderville<br>Construction Dept   | 11. TRANSCONTINENTAL GAS PIPELINE<br>Division Office<br>3200 S Wood Ave<br>Linden, NJ 07036   |
| 3. JCP & L/ GPU<br>Service Tax Dept<br>PO Box 1911<br>Morristown, NJ 07962-1911                              | 8. BERNARDS TWP SEWERAGE AUTHORITY<br>1 Collyer Ln<br>Basking Ridge, NJ 07920<br>(908) 204-3002   | 12. VERIZON BUSINESS/MCI<br>Right of Way Dept.<br>2400 N Glenville Dr<br>Richardson, TX 75082   |
| 4. PUBLIC SERVICE ELECTRIC & GAS<br>Manager - Corporate Properties<br>80 Park Plaza, T6B<br>Newark, NJ 07102 | 9. ENVIRONMENTAL DISPOSAL CORP<br>William Halsey, President<br>601 State Hwy 202/206<br>Bedminster, NJ 07921<br>(908) 234-0677                |   |
| 5. VERIZON COMMUNICATIONS<br>Engineering<br>290 W Mt Pleasant Ave; Ste 1400<br>Livingston, NJ 07039-2763     |   |   |

**PLEASE NOTE:**  
Numbers 1,3,4,5 and 7 are  
registered with the Township and  
REQUIRE NOTIFICATION

---

If the property is adjacent to a State Highway, the  
COMMISSIONER OF TRANSPORTATION  
must be notified at

NEW JERSEY DEPT OF TRANSPORTATION  
1035 Parkway Ave., CN600  
Trenton, NJ 08625

---

If the property is adjacent to a County Road, the  
SOMERSET COUNTY PLANNING BOARD  
must be notified at

SOMERSET COUNTY PLANNING BOARD  
PO Box 3000  
Somerville, NJ 08876



January 18, 2021

**TOWNSHIP OF BERNARDS**

**ZONING BOARD OF ADJUSTMENT**

**NOTICE OF HEARING ON APPEAL OR APPLICATION**

**PLEASE TAKE NOTICE:**

That the undersigned has filed an appeal or application for development with the Board of Adjustment of the Township of Bernards for a C Variance from the requirements of Section 21-18 of the Bernards Township Zoning Ordinance so as to permit:

We are seeking to install an inground pool which will not be located behind the rear building line of existing residential structures on adjoining lots, as requested by section 21-18.1 of the Bernards Township use ordinances. Given the orientation of the neighbor's house, it precludes placing a pool in front of the rear building line. Granting the variance will not impose a detriment to the public good or a substantial impairment to the intent and purpose of the township's master plan or zoning ordinances. Additionally, any other variances the Board may deem necessary, on the premises located at 1 Pin Oak Court, and designated as Block 6303, Lot 16, on the Township Tax Map, and this notice is sent to you as an owner of property in the immediate vicinity.

A public hearing has been set for [INSERT DATE], at 7:30pm or as soon thereafter as the matter may be reached, in the Municipal Building, 1 Collyer Lane, Basking Ridge, New Jersey, and, when the case is called, you may appear in person, or by Attorney, and present any objections which you may have to granting of the relief sought in the petition.

The application and maps in support thereof are on file in the office of the Secretary, Planning Offices located at 277 South Maple Avenue, Monday through Friday, 8:30 AM to 4:30 PM and are available for inspection. If possible, call to make an appointment at (908) 204-3026.

The applicant, by order of the Board of Adjustment, sends this notice to you.

Respectfully,

David and Carrie Naulty



**SUBMIT ORIGINAL + 2 COPIES**

**FORM D**

FORM TO BE SENT TO TAX COLLECTOR, ONE COLLYER LANE,  
BASKING RIDGE, NEW JERSEY, 07920 (908) 204-3078  
FOR CERTIFICATION OF CURRENT PROPERTY TAX PAYMENTS. CERTIFICATION WILL  
BE MAILED TO YOU WHEN IT IS COMPLETED.  
DO NOT SUBMIT APPLICATION WITHOUT PROOF OF TAXES PAID.


**CERTIFICATION OF CURRENT PROPERTY TAX PAYMENTS**

BLOCK 6303 LOT 16  
PROPERTY LOCATION: 1 Pin Oak Ct, Basking Ridge NJ 07920  
ASSESSED TO: \_\_\_\_\_  
ADDRESS: 1 Pin Oak Ct, Basking Ridge NJ 07920  
REQUESTED BY: David & Carrie Naulty  
PHONE NUMBER: (973) 896-1581  
MAIL CERTIFICATION TO: 1 Pin Oak Ct  
Basking Ridge NJ 07920  
Attn: Carrie Naulty

I CERTIFY THAT THE PROPERTY TAXES ARE CURRENT, PAID THROUGH  
4<sup>th</sup> Quarter 2020.



PEGGY WARREN,  
TAX COLLECTOR

  
Kevin Sant'Angelo  
Deputy Tax Collector  
1/26/21



SUBMIT 17 COPIES TOTAL

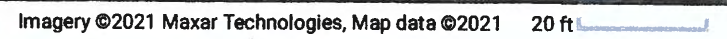
FORM F

**DIMENSIONAL STATISTICS**

	REQUIRED	EXISTING	PROPOSED
LOT AREA		0.837 acres	0.837 acres
LOT WIDTH		146.8 feet	146.8 feet
FRONTAGE		172.1 feet	172.1 feet
FRONT YARD SETBACK		52.7 feet	52.7 feet
REAR YARD SETBACK		82 feet	82 feet
COMBINED SIDE YARD		NA	NA
SIDE YARD		54.1 feet	54.1 feet
COVERAGE		14.7 %	17.8 %
HEIGHT		< 35 feet	< 35 feet
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			



Google Maps









view looking out at the front (2043)





View from 11 Pin Oak Ct







THE HOUSE ON THE HILL WITH THE GARDENS & DECK



View from behind house @ West Creek





view looking out towards Hunters Lane





View from Hunters Lane





**FORM TO BE SUBMITTED TO BOARD SECRETARY ALONG  
WITH GREEN AND WHITE POSTAL CERTIFIED MAIL  
RECEIPTS AFTER APPLICANT HAS SERVED NOTICE**

**AFFIDAVIT OF SERVICE**

State of New Jersey  
County of Somerset

I, \_\_\_\_\_ of full age, being duly sworn according to law, on his oath deposes and says that he resides at \_\_\_\_\_ in the Township of \_\_\_\_\_, County of \_\_\_\_\_ and State of \_\_\_\_\_, and that he did on \_\_\_\_\_, 20\_\_, at least ten (10) days prior to the hearing date, give personal notice to all property owners within 200 feet of the property affected by Application No. \_\_\_\_\_ located at \_\_\_\_\_.

Said notice was given either by handing a copy to the property owners, their original signatures appear on the attached copy of the certified list of property owners within 200 feet; or by sending said notice by certified mail, the original registered receipts are attached hereto.

Notice was also served upon: (check if applicable)

- \_\_\_\_ Clerk of the Municipality of \_\_\_\_\_  
 \_\_\_\_ County Planning Board  
 \_\_\_\_ Director of Division of State & Regional Planning  
 \_\_\_\_ Department of Transportation  
 \_\_\_\_ Registered Utility Companies

A copy of said notices is attached hereto.

Notice was also published in one of the official newspapers of the municipality as required by law.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Notary



# **TOWNSHIP OF BERNARDS**

## **2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

Please contact Board Secretary, Cyndi Kiefer, with any questions

Tel: 908-204-3026 Email: [ckiefer@bernards.org](mailto:ckiefer@bernards.org)

### **INSTRUCTIONS**

#### **STEP 1 – Submit the Application**

- Submit (17) fully collated application packets following the appropriate checklist supplied to you. Once the application has been reviewed, you will receive a letter with further instructions.

#### **STEP 2 - Public Notice**

(**after** you receive written notification confirming your hearing date)

- Serve notice (Form E) by certified mail (return receipt NOT required) or personal service to all property owners listed on the certified list provided by the Tax Assessor at least 10 days prior to the hearing.
- Publish notice (Form E) in the Bernardsville News at least 10 days prior to the hearing.
- Submit Affidavit of Proof of Service (Form H) to the Board Secretary at least five (5) working days before the hearing with:
  - Original certified mail receipts, if notices were mailed
  - List of dated original signatures, if notices were personally served

#### **STEP 3 – The Hearing**

- Be prepared to discuss the application and memos submitted to you by the Board's professionals
- Once all testimony has concluded, the Board will render its decision
- A resolution memorializing this decision will be voted on at the next hearing and a copy will be sent to you. Once you have fulfilled all the conditions of the resolution, you may apply for your construction/zoning permit.

#### **ADDITIONAL INFORMATION: (refer to website)**

- Schedule 1 – Application Fees, Escrow & Digital Imaging Fees
- Table 901 – Application Fee and Escrow Deposit Schedule
- Table 501 – Residential Zone Standards



**APPENDIX D, ARTICLE III**

**Checklist**

**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

**\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\***

<b>No.</b>	<b>Item</b>	<b>Submitted</b>	<b>Not Applicable</b>	<b>Waiver Requested</b>
1	A completed application form and checklist.			
2	A certificate from the tax collector indicating that taxes are paid.			
3	All required application and escrow deposit fees.			
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.			
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.			
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.			
7	Calculations of existing & proposed lot coverage percentages.			
8	Architectural sketches (floor plan and elevations) of the proposed improvements.			
9	Photographs of the property in the location of the proposed improvements.			
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.			
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.			
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.			
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.			



## HUNTERS LANE

50' R.O.W.

N87°40'00"E 143.78'

R=25.00'

A=39.27'

B=S47°20'00"E

C=35.36'

FILE MAP  
No. 2776T.M. LOT 15  
F.M. LOT 16

N00°00'10"W 244.71'

T.M. LOT 16  
BLOCK 6303  
F.M. LOT 39.05  
BLOCK 164  
36,451± S.F.  
0.836 AC.PLAY  
HOUSE  
5.87'SLATE  
WALKCONC.  
WALKWOOD  
DECK2 STORY  
FRAME  
DWELLING  
No. 1

BLOCK CURB

MACADAM DRIVE

52.73'

53.88'

C/O

I/BAR CAP  
SETI/BAR CAP  
SET

S02°20'00"E 134.74'

PIN OAK COURT

P.O.B.  
PER DEED  
(Bk. 2164 Pg. 642)

50' R.O.W.

R=50.00'

A=17.75'(SURVEY)

B=S12°30'12"E

C=17.66'

I/BAR CAP  
SETFENCE  
0.3' OUT

METAL FENCE

FENCE  
0.4' OUT

S67°20'00"W 193.93'

T.M. LOT 17  
F.M. LOT 39.04

## DESCRIPTION:

BEING KNOWN & DESIGNATED AS LOT 39.05, BLOCK 164 ON A MAP ENTITLED "AMENDED FINAL MAP HIGHLAND FARMS" DATED JUNE 26, 1990, FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON AUGUST 14, 1990 AS MAP No. 2776.

## NOTES:

1. THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
2. SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
3. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
4. UNDERGROUND UTILITIES ARE NOT DEPICTED, THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR EXISTENCE OF SAME.
5. DEED REFERENCE: BOOK 2164 PAGE 642, FILED IN THE SOMERSET COUNTY CLERK'S OFFICE.

## CERTIFIED TO:

- DAVID NAULTY AND CARRIE NAULTY, H/W
- JPMORGAN CHASE BANK, NA, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR
- NRT TITLE AGENCY, LLC, (TITLE No. NRT61033)
- CHICAGO TITLE INSURANCE COMPANY
- KM SPANO, LLC
- KAREN M. SPANO, ESQ.

## JAMES P. DEADY SURVEYOR, LLC

PROFESSIONAL LAND SURVEYING SERVICES  
admin@deadysurveying.com 295 ROUTE 22 EAST  
(908) 534-0145 ONE SALEM SQUARE  
(908) 534-0147 FAX SUITE 202 WEST  
WHITEHOUSE STATION, NJ 08889

REVISIONS	DATE	Scale: 1"=30'
		Date: 6-4-16
		Dwn. By: V.A.
		Chk'd By: J.C.R.
		FILE# 1802-1062-1
		BK 355 PG 80

SURVEY  
of

## TAX LOT 16-BLOCK 6303

LOCATED IN THE

TOWNSHIP OF BERNARDS  
SOMERSET COUNTY, NEW JERSEY

BY:

John C. Ritt N.J.P.L.S. Lic. No. 24GS04324100  
Certificate No. 24GA28199000

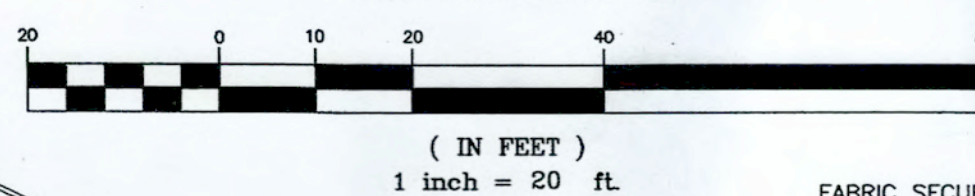


POOL FENCE:  
EXISTING FENCE (GATES AND DOORS  
ALLOWING ACCESS TO THE POOL SHALL BE  
MADE TO CONFORM TO IBC2018 NJ EDITION).

## HUNTERS LANE

50' R.O.W.

### GRAPHIC SCALE



$$R=25.00'$$

$$L=39.27'$$

$$\tan=25.00'$$

$$\Delta=90^{\circ}00'00''$$

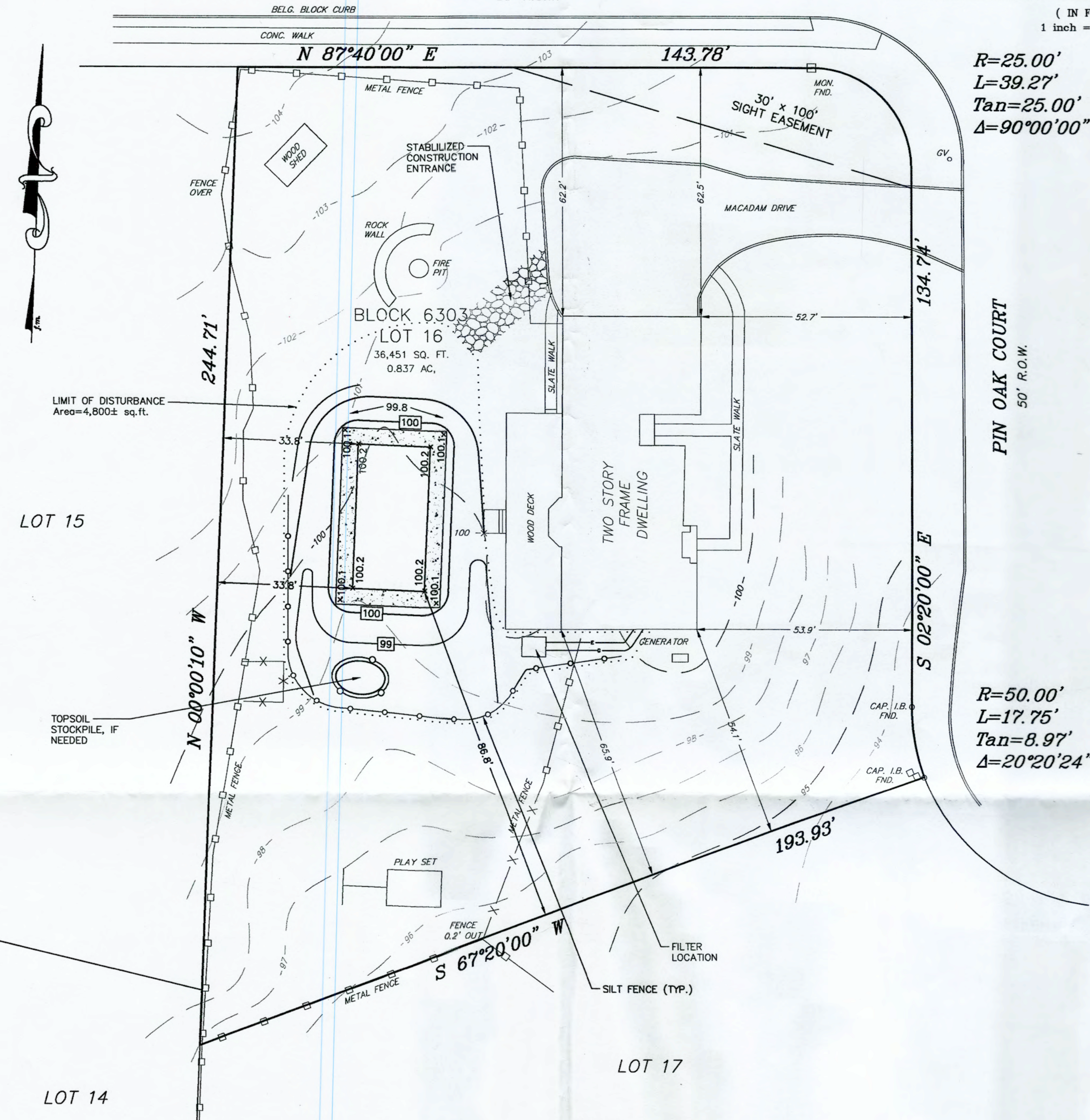
PIN OAK COURT  
50' R.O.W.

$$R=50.00'$$

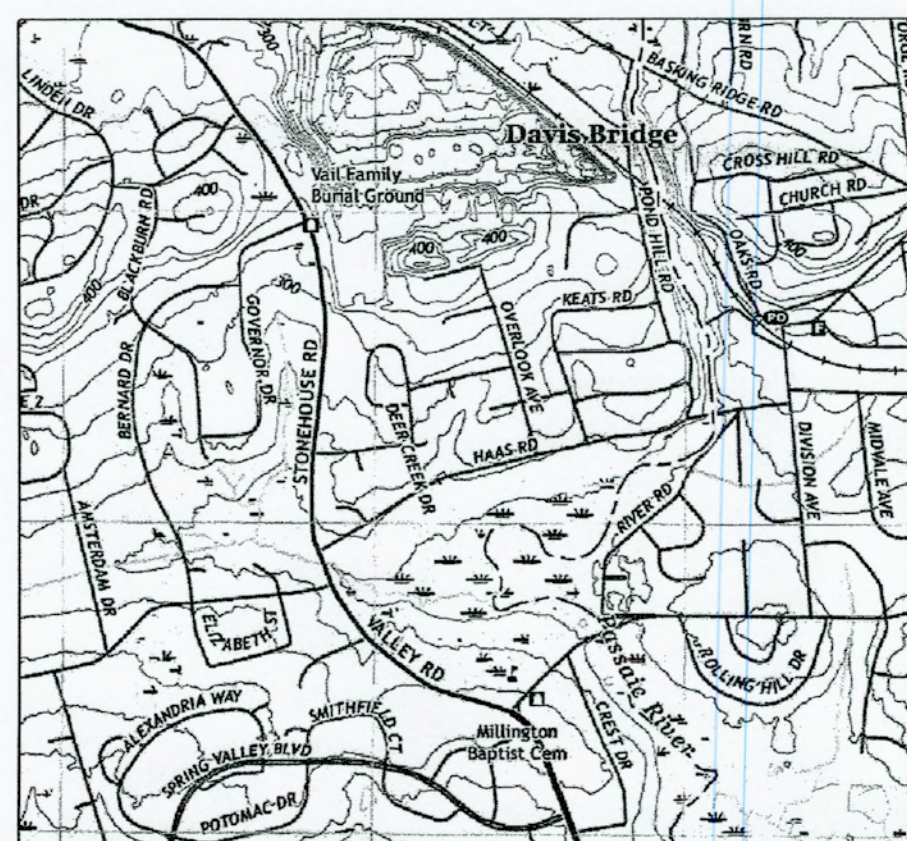
$$L=17.75'$$

$$\tan=8.97'$$

$$\Delta=20^{\circ}20'24''$$



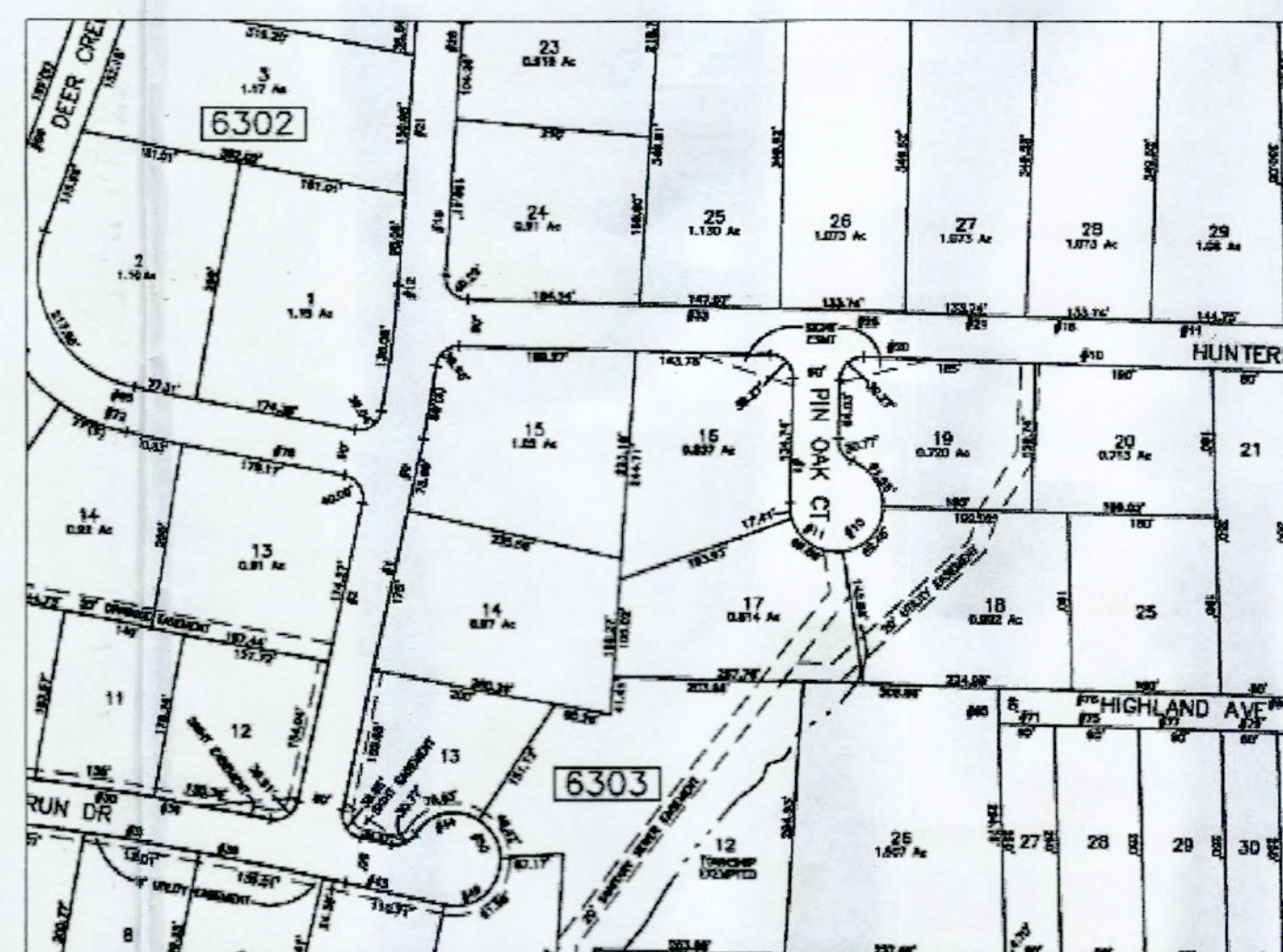
PLAN  
Scale: 1" = 20'



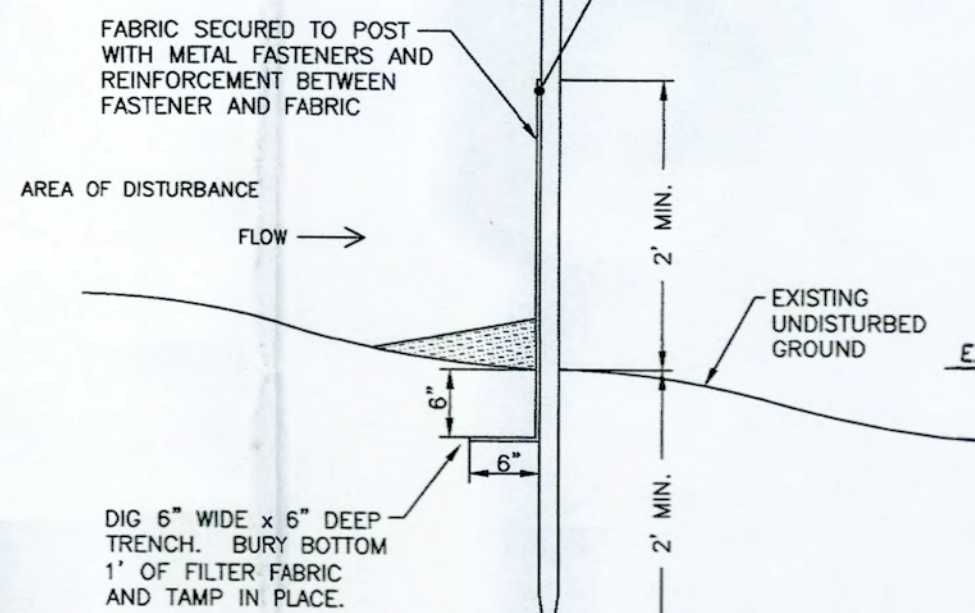
USGS TOPOGRAPHIC SURVEY  
2019 Bernardsville, NJ Quadrangle



LOCATION MAP  
Google Earth



TAX MAP  
Tax Map Sheet 63



1. PLACE SILT FENCE AT LOCATIONS SHOWN ON THE SOIL EROSION PLAN.
2. THE SLOPE OF LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5%.
3. SILT FENCE SHALL BE INSTALLED SO THAT WATER CAN NOT BYPASS THE FENCE AROUND THE ENDS.
4. INSPECTION SHALL BE MADE DAILY AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE DIRECTED BY THE MUNICIPAL ENGINEER.

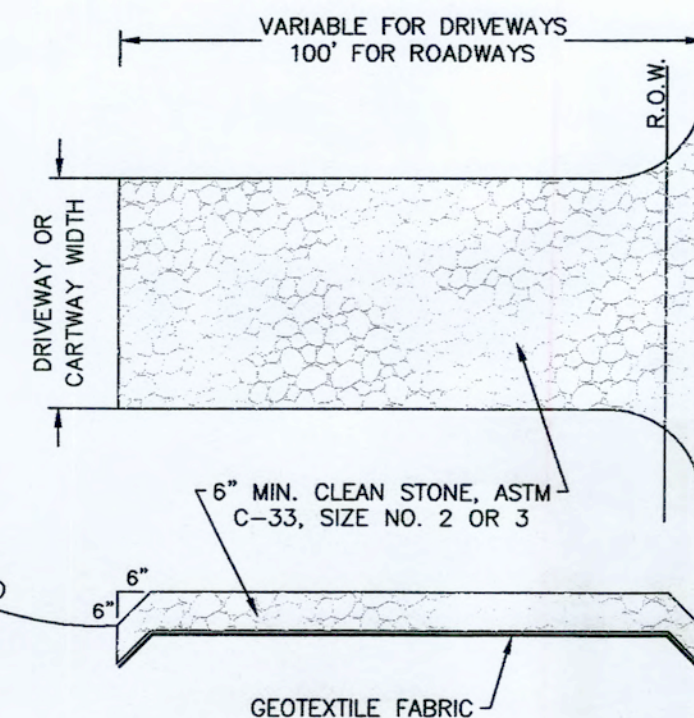
### SILT FENCE

### AGRONOMIC SPECIFICATIONS

VEGETATION STABILIZATION OF DISTURBED AREA SHALL BE ACCOMPLISHED AS FOLLOWS:

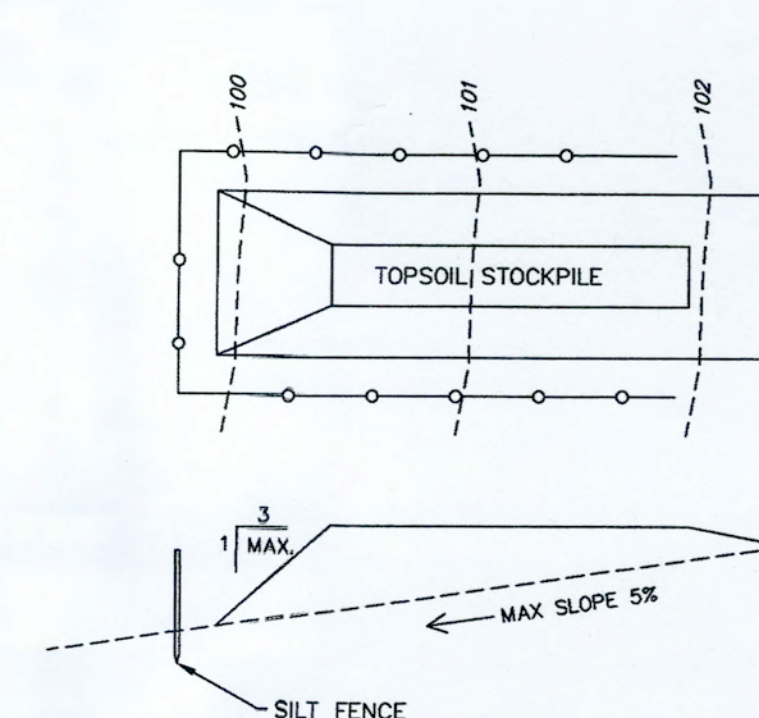
PERMANENT VEGETATIVE COVER GENERAL AREAS:

1. SEEDBED PREPARATION:
  - a. FERTILIZER SHALL BE APPLIED AT A RATE OF 500 LB/ACRE OF 10-10-10 WITH 50% WATER INSOLUBLE NITROGEN.
  - b. LIMESTONE SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
2. SEEDING:
  - a. HARD FESCUE 175 LB/ACRE, PLUS PERENNIAL RYEGRASS 45 LB/ACRE, PLUS KENTUCKY BLUEGRASS (BLEND) 45 LB/ACRE.
3. MULCHING:
  - a. STRAW OR HAY: 1½-2 TONS/ACRE WITH LIQUID MULCH BINDER; 3 TONS/ACRE WITH ANCHORING, PEG & TWINE, MULCH NETTING OR CRIMPER AS DESCRIBED BELOW.
  - b. WOOD FIBER OR PAPER FIBER (DESCRIBED BELOW): 1500 LB/ACRE
  - c. PELLETIZED MULCH (DESCRIBED ABOVE): 60-75 LB/1000 SQ.FT. ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER.



ALL SEDIMENT DROPPED, SPILLED, WASHED OR TRACKED ONTO THE PUBLIC ROADWAY SHALL BE REMOVED IMMEDIATELY.

### STABILIZED CONSTRUCTION ENTRANCE



1. PLACE ALL STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
2. STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
3. SILT FENCE SHALL BE INSTALLED AS SHOWN HEREON.

### TOPSOIL STOCKPILE

### SOIL EROSION AND SEDIMENT CONTROL STANDARD NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NJ STANDARDS (I.E. PEG & TWINE, MULCH NETTING OR LIQUID MULCH BINDERS).
3. ALL EXPOSED AREA WHICH ARE TO BE PERMANENTLY VEGETATED WILL BE SEEDING WITHIN 10 DAYS OF FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED.
4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT AT A RATE OF 2 TONS PER ACRE ACCORDING TO THE NJ STANDARDS.
5. THE SITE SHALL AT ALL TIME BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
7. TO THE EXTENT FEASIBLE, STOCKPILES ARE NOT TO BE LOCATED WITHIN 50 FEET OF A FLOODPLAIN, SLOPE, STREAM, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHOULD BE PROTECTED BY A HANGGAL BARRIER OR SEDIMENT FENCE.
8. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
9. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
10. THE SOIL CONSERVATION DISTRICT AND/OR TOWNSHIP MUST BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
11. THE SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.

### TYPICAL SEQUENCE OF CONSTRUCTION

	DURATION
• INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE SOIL EROSION CONTROL PLAN.	1 DAY
• INSTALL STABILIZED CONSTRUCTION ENTRANCE(S) AS SHOWN ON THE SOIL EROSION CONTROL PLAN AND DETAILS.	1 DAY
• ROUGH GRADE SITE.	1 DAY
• CONSTRUCT ALL ON-SITE FACILITIES, SOIL EROSION AND SEDIMENT	10 DAYS
• FINE GRADE AND STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THE MINIMUM STABILIZATION REQUIREMENTS.	2 DAYS
• REMOVE ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES.	1 DAY

### REFERENCES:

"MAP OF SURVEY, 1 PIN OAK COURT, BLOCK 6303 LOT 16, TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY" DATED 11-02-2020 BY TEMPLIN SURVEYING-ENGINEERING OF NJ, LLC, BRIDGEWATER NJ

1. ASSUMED VERTICAL DATUM.

### OWNERS:

DAVID NAULTY & CARRIE NAULTY  
1 PIN OAK COURT  
BASKING RIDGE, NJ 07920

### COVERAGE CALCULATIONS

LOT AREA	36,451 sq.ft.
Max. Allowable Coverage	18% (6,561 sq.ft.)
EXISTING CONDITIONS:	
House	2,509 sq.ft.
Driveway	2,303 sq.ft.
Porch & Walk	350 sq.ft.
Rear Walk	78 sq.ft.
Shed	114 sq.ft.
Total	5,354 sq.ft. (14.7%)
PROPOSED CONDITIONS:	
House	2,509 sq.ft.
Driveway	2,303 sq.ft.
Porch & Walk	350 sq.ft.
Rear Walk	78 sq.ft.
Shed	114 sq.ft.
Pool	648 sq.ft.
Cons. Pool Deck & Patio	498 sq.ft.
Total	6,498 sq.ft. (17.8%)

No.	DATE	DESCRIPTION
1	12/15/20	Shift pool

COPYRIGHT 2020 D'AMICO ENGINEERING, LLC ALL RIGHTS RESERVED.

REPRODUCTION AND/OR MODIFICATION OF THESE PLANS OR ANY PORTION THEREOF WITHOUT THE WRITTEN CONSENT OF D'AMICO ENGINEERING, LLC IS PROHIBITED.

THESE PLANS ARE PREPARED SPECIFICALLY FOR THE NOTED CLIENT AND PROJECT. THEY ARE NOT INTENDED FOR USE ON OTHER PROJECTS OR EXTENSIONS OF THIS PROJECT.

ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ERRORS, DISCREPANCIES, OR CONFLICTS SHALL BE REPORTED TO D'AMICO ENGINEERING PRIOR TO CONSTRUCTION.

IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL, IT IS NOT A VALID ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

D'Amico  
Engineering, LLC

68 North Bridge Street  
Somerville, New Jersey 08876

Telephone: 908-635-2868

Certificate of Authorization: 2GA28227800

Deborah D'Amico

Deborah D'Amico, P.E.  
Professional Engineer, NJ Lic. No. 39421  
(plan not valid without raised seal)

project:

Pool Plan  
Lot 16 in Block 6303  
1 Pin Oak Court  
Bernards Township  
Somerset County  
New Jersey

sheet title:

Pool Location Plan

file:

2020-156

scale:

1" = 20'

date:

11/12/2020

drawn/checked:

DD

sheet:

01 of 01



Scanned  
4/26/21  
meeting

EC

**TOWNSHIP OF BERNARDS**  
**ZONING BOARD OF ADJUSTMENT**  
**APPLICATION STATUS FORM**

Application No: ZB21-020 Block: 603 Lot: 12 Zone: R-4  
Applicant: CALVERT, CAELEIGH B.  
Address of Property: 19 FIELDSTONE DRIVE  
Description: 6' HIGH SOLID FENCE IN FRONT YARD  
(THROUGH LOT)

**APPLICATION CHECKLIST**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Original + 16 copies of Application | <input checked="" type="checkbox"/> Engineering Plan/Plot Plan |
| <input checked="" type="checkbox"/> W-9                                 | <input type="checkbox"/> Architectural Plans                   |
| <input checked="" type="checkbox"/> Site Visit Consent (A)              | <input checked="" type="checkbox"/> Survey                     |
| <input type="checkbox"/> Ownership Form (B)                             | <input checked="" type="checkbox"/> Photographs                |
| <input checked="" type="checkbox"/> 200' Property Search List (C)       | <input type="checkbox"/> Wetlands Report/LOI                   |
| <input checked="" type="checkbox"/> Tax Certification (D)               | <input checked="" type="checkbox"/> Application Fee            |
| <input checked="" type="checkbox"/> Notice to be Served/Published (E)   | <input checked="" type="checkbox"/> Escrow Deposit             |
| <input checked="" type="checkbox"/> Dimensional Statistics Form (F)     | <input checked="" type="checkbox"/> Imaging Fee                |
| <input type="checkbox"/> Contributions Disclosure Form (G)              | <input type="checkbox"/> Tax Map Revision Fee                  |
|   | <input checked="" type="checkbox"/> Checklist                  |

**SCHEDULING**

3.24.21 Original Submission Date 60  
5.23.21 Completeness Deadline (45 days)  
\_\_\_\_ Incomplete Date  
\_\_\_\_ Resubmission Date 5.13.21  
\_\_\_\_ Date Complete 60  
7.22.21 Time to Act (45/95/120 days)

**HEARING**

\_\_\_\_ Notice to Property Owners  
\_\_\_\_ Date of Publication  
\_\_\_\_ Completeness Hearing  
\_\_\_\_ Public Hearing  
\_\_\_\_ Carried to Date  
\_\_\_\_ Decision - Approved/Denied  
\_\_\_\_ Resolution Memorialized  
\_\_\_\_ Resolution Published

**DISTRIBUTION**

3.24.21 Environmental Comm  
\_\_\_\_ Fire Official  
\_\_\_\_ LCFAS  
\_\_\_\_ Police

**NOTES**



**TOWNSHIP OF BERNARDS  
2021 ZONING BOARD OF ADJUSTMENT APPLICATION**

- |   |   |
|---|---|
| <p><input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance<br/><input type="checkbox"/> Use ("d") Variance<br/><input type="checkbox"/> Conditional Use ("d") Variance<br/><input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance<br/><input type="checkbox"/> Site Plan - Preliminary / Final</p> | <p><input type="checkbox"/> Appeal of Zoning Officer's Decision<br/><input type="checkbox"/> Interpretation of Zoning Ordinance<br/><input type="checkbox"/> Minor Subdivision<br/><input type="checkbox"/> Major Subdivision - Preliminary / Final<br/><input type="checkbox"/> Other (specify):</p> |
|---|---|

**1. APPLICANT:** Caeleigh Calvert

Address: 19 Fieldstone Dr., Basking Ridge, NJ 07920

Phone: (home) \_\_\_\_\_ (work) \_\_\_\_\_ (mobile) 802-353-1542

Email (will be used for official notifications): cbscalvert26@gmail.com

**2. OWNER** (if different from applicant): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**3. ATTORNEY:** \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**4. OTHER PROFESSIONALS** (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: \_\_\_\_\_ Profession: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email (will be used for official notifications): \_\_\_\_\_

**5. PROPERTY INFORMATION:** Block(s): 603 Lot(s): 12 Zone: \_\_\_\_\_

Street Address: 19 Fieldstone Drive Total Area (square feet/acres): 0.58 acres

**6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY?** ☒ No ☐ Yes (if yes, explain or attach Board resolution) \_\_\_\_\_

**7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY?** ☒ No ☐ Yes (if yes, explain) \_\_\_\_\_



8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

☒ No    ☐ Yes (if yes, explain) \_\_\_\_\_

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST:

install 100' of new fence along boundary between houses. Requesting approval for 6' wooden fence. Replace existing fence and move back 20 feet. Existing fence is 6', solid, wood fence. Existing other side 30'.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):

6' height - solid wood

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION:

Existing fence is 6' in height.  
Road noise from Rte. 202 is significant.  
Fence will be for privacy from neighbors.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Caerleigh Calvert and \_\_\_\_\_ hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): [Signature] and \_\_\_\_\_

Sworn and subscribed before me, this 6<sup>th</sup> day of January, 2021.

[Signature]  
Notary

MICHELLE M. BOUTIN  
NOTARY PUBLIC OF NEW JERSEY  
My Commission Expires 2/12/2024

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, \_\_\_\_\_ the owner(s) of the property described in this application, hereby authorize \_\_\_\_\_ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): \_\_\_\_\_

Sworn and subscribed before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary



**Scope of work:** Replace existing 6' high cedar wood fence. In the process, move it back 20' and extend one side by 30' and the other by 85'.

**Need for variance:** Property is considered a through-lot. 6' fence with less than 50% see-thru is in violation of zoning regs.

**Reason for request:**

1. Noise abatement – Property borders Route 202, albeit well back from the road and at the top of a hill.
2. Privacy
3. Safety – Three young children.

**Comments:**

1. Existing 6' fence is falling down.
2. Fence is all but invisible from Route 202 because of woods and height of hill. Calling it a through-lot is more technicality than reality.



SUBMIT ORIGINAL AND 16 COPIES

FORM A

**TOWNSHIP OF BERNARDS  
PLANNING BOARD / BOARD OF ADJUSTMENT**

**SITE INSPECTION CONSENT FORM**

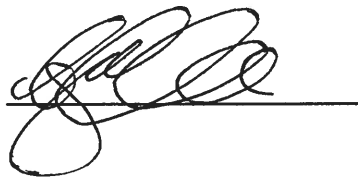
Applicant: Calliegh Beerworth

Block: 603 Lot: 12

Street Address: 19 Fieldstone Dr.

I, Calliegh Beerworth, owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature:



Date: 12/5/2020



SUBMIT 17 COPIES TOTAL

DIMENSIONAL STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT AREA	1 acre	0.98 ac	0.99 ac
LOT WIDTH	200'	159'	159'
FRONTAGE	100'	159'	159'
FRONT YARD SETBACK	75'	79'	79'
REAR YARD SETBACK	N/A		
COMBINED SIDE YARD	50'	77	77
SIDE YARD	20'	28', 49'	28', 49'
COVERAGE	15%	11%	11%
HEIGHT	35'	N/A	N/A
IF REQUIRED, GROSS FLOOR AREA			
IF REQUIRED, FLOOR AREA RATIO			
IF REQUIRED, IMPROVABLE LOT AREA			





**Facing south  
(toward Rte 202)  
from back of house**



**Facing east from  
back of house**



**Facing west from  
back of house**







**APPENDIX D, ARTICLE III**

**Checklist**

**Application for Approval of a Variance Pursuant to NJSA 40:55D-70(c)**

\*Important: Each item must be marked Submitted, Not Applicable or Waiver Requested\*

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist.	✓		
2	A certificate from the tax collector indicating that taxes are paid.	✓		
3	All required application and escrow deposit fees.	✓		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	✓		
5	A plot plan or survey accurately depicting the entire subject property and all existing buildings, structures, driveways, patios, etc.	✓		
6	Sketch of all proposed improvements on the plot plan or survey, with dimensions of improvements and distances to property lines.	✓		
7	Calculations of existing & proposed lot coverage percentages.	✓		
8	Architectural sketches (floor plan and elevations) of the proposed improvements.		✓	
9	Photographs of the property in the location of the proposed improvements.	✓		
10	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to Section 21-14.1.a.		✓	
11	The locations of percolation tests and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if the application involves a new dwelling and sewage disposal is to be handled by an individual septic system.		✓	
12	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.		✓	
13	Existing topography, proposed grading, and proposed stormwater infiltration measures in accordance with §21-42.1.f.2(b), shown on the plot plan or survey, if 1,000sf or more of new impervious area is proposed.		✓	



MORRISTOWN ROAD  
(U.S. 202)

R=2831.93'

L=158.65'

E.O.P.

UP

FILED MAP NORTH

FOUND  
IRON  
PIPE

(66.00')

50' BUILDING SETBACK LINE

LOT 12  
BLOCK 603  
0.98 ACRES  
43,2799.11 SQ. FT.

LOT 13  
BLOCK 603

248.94'

WOOD  
FENCE  
(TYP.)

SWING  
SET

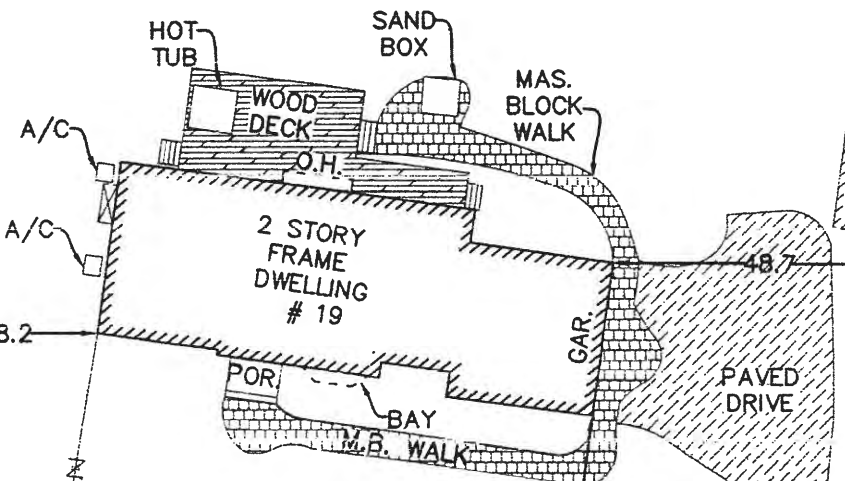
LOT 11  
BLOCK 603

301.68'

**NOTE:**

GROUND COVERED  
WITH 4-6 INCHES OF  
SNOW AT TIME OF  
SURVEY  
IMPROVEMENTS MAY  
BE MISREPRESENTED  
OR ABSENT FROM  
PLAN.

**CERTIFICATION:**  
CAELEIGH CALVERT



FRAME  
SHED

2.3

4.2

S28°56'00"E

28.2

50' BUILDING SETBACK LINE

O/H  
WIRES  
(TYP.)

N28°56'00"W

FIELDSTONE DRIVE  
(50.00')

POINT  
OF  
BEGINNING

GUY  
WIRE

R=105.43'  
L=15.00'

FIELDSTONE DRIVE  
(50.00')

**DEED REFERENCE:**  
BOOK 6860  
PAGE 0919

N68°24'00"E  
136.26'

S51°53'40"E  
20.40'

**NOTE:**

- IF THIS SURVEY DOES NOT REFERENCE A TITLE COMPANY WITH A TITLE NUMBER IN THE CERTIFICATION THAN THIS SURVEY IS SUBJECT TO THE FINDINGS OF A COMPLETE TITLE SEARCH NOT PROVIDED FOR THIS SURVEY
- THIS SURVEY MAKES NO CLAIMS OF RIPARIAN RIGHTS OR A TIDELAND CLAIM
- SURVEY MAY BE SUBJECT TO WETLANDS AND WETLAND BUFFERS
- ONLY VISIBLE UTILITIES WERE LOCATED ON THIS SURVEY. THE LOCATION OF UNDERGROUND UTILITIES AND SEWERS HAVE NOT BEEN LOCATED AND ARE NOT REPRESENTED ON THIS SURVEY
- CALL BEFORE YOU DIG 811 SHOULD BE CALLED BEFORE THE PLANNING OR COMMENCEMENT OF ANY CONSTRUCTION WORK
- SURVEY MAY BE SUBJECT TO POSSIBLE WRITTEN, NECESSITY AND PRESCRIPTION EASEMENTS
- THE USE OF THIS PLAN FOR A "SURVEY AFFIDAVIT" IS NOT PERMISSIBLE AND SAID USE WILL DEEM THIS PLAN INVALID
- THE USE OF THIS SURVEY FOR ANY INDIVIDUAL WHO IS NOT LISTED IN THE "CERTIFICATION" IS NOT PERMISSIBLE AND SAID USE WILL DEEM THIS PLAN INVALID

**NOTE:** WAIVER OF SETTING CORNER  
MARKERS OBTAINED FROM THE  
ULTIMATE USER PURSUANT TO THE  
BOARD OF PROFESSIONAL ENGINEERS  
AND LAND SURVEYORS REGULATION,  
N.J.A.C. 13:40-5.2

**Leeper Land Group, LLC**

Professional Land Surveyors  
767 Brunswick Pike  
Lambertville N.J. 08530

**LLG**

p. 609 571 3955  
f. 609 571 9490  
www.leepergroup.com

CERTIFICATE OF AUTHORIZATION 24GA28232100

Revision Date By

Scale: Date: Drawn By: Job Number:

1" = 30' 12-22-2020 GS 20-2233

**PLAN OF SURVEY**  
TAX LOT 12 BLOCK 603  
19 FIELDSTONE DRIVE  
TOWNSHIP OF BERNARDS  
COUNTY OF SOMERSET  
STATE OF NEW JERSEY

*Daren C. Leeper* 12-22-2020  
**DAREN C. LEEPER** DATE  
N.J. Professional Land Surveyor GS 43340



MORRISTOWN ROAD  
(U.S. 202)

R=2831.93'

L=158.65'

E.O.P.

UP

FILED MAP NORTH

FOUND  
IRON  
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**NOTE:** WAIVER OF SETTING CORNER MARKERS OBTAINED FROM THE ULTIMATE USER PURSUANT TO THE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS REGULATION, N.J.A.C. 13:40-5.2

**Comments:**

- (A) 150' existing fence at the back of the yard will be replaced and moved back 20'.
- (B) 30' existing fence on the east side will be replaced and extended 30'.
- (C) 15' existing fence on the west side will be replaced and extended 85'.
- (D) The fence will be no closer than 6" from the boundary line on either side of the house.

CERTIFICATE OF AUTHORIZATION 24GA28232100

Revision

Date

By

Scale:

Date:

Drawn By:

Job Number:

1" = 30'

12-22-2020

GS

20-2233

**PLAN OF SURVEY**  
TAX LOT 12 BLOCK 603  
19 FIELDSTONE DRIVE  
TOWNSHIP OF BERNARDS  
COUNTY OF SOMERSET  
STATE OF NEW JERSEY

**DAREN C. LEEPER**  
N.J. Professional Land Surveyor

12-22-2020

DATE  
GS 43340