

ADD'L MAIL 2-22-21

TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM

Application No: ZB21-001 Block: 803 Lot: 2,3,5,6²³ Zone: E-1

Applicant: VERIZON CORPORATE SERVICES GROUP INC

Address of Property: 300 NORTH MAPLE AVENUE

Description: P/F MAJOR SITE PLAN APPROVAL FOR
CONSTRUCTION OF ADDITIONAL PARKING

APPLICATION CHECKLIST

<u>✓</u> <u>ADDITION 13 COPIES</u>	<u>✓</u> Engineering Plan/Plot Plan
<u>✓</u> Original + 16 copies of Application	<u>✓</u> Architectural Plans
<u>✓</u> W-9	<u>✓</u> Survey
<u>✓</u> Site Visit Consent (A)	<u>✓</u> Photographs
<u>✓</u> Ownership Form (B)	<u>✓</u> Wetlands Report/LOI
<u>✓</u> 200' Property Search List (C)	<u>✓</u> Application Fee
<u>✓</u> Tax Certification (D)	<u>✓</u> Escrow Deposit
<u>✓</u> Notice to be Served/Published (E)	<u>✓</u> Imaging Fee
<u>✓</u> Dimensional Statistics Form (F)	<u>-</u> Tax Map Revision Fee
<u>✓</u> Contributions Disclosure Form (G)	<u>✓</u> Checklist
<u>✓</u> <u>TREE REMOVAL FORM</u>	
<u>✓</u> <u>OUTSIDE AGENCIES FORM</u>	

SCHEDULING

1-21-2021 Original Submission Date
3-22-2021 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete
____ Time to Act (45/95/120 days)

HEARING

____ Notice to Property Owners
____ Date of Publication
2-3-2021 Completeness Hearing
3-11-2021 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

____ Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES



State of New Jersey

DEPARTMENT OF ENVIRONMENTAL PROTECTION

Division of Land Resource Protection

Mail Code 501-02A

P.O. Box 420

Trenton, New Jersey, 08625

www.state.nj.us/deo/landuse

PHILIP D. MURPHY
Governor

CATHERINE R. McCABE
Commissioner

SHELIA Y. OLIVER
Lt. Governor

FLOOD HAZARD AREA APPLICABILITY DETERMINATION Flood Hazard Area Control Act Rules, N.J.A.C. 7:13-5.1

November 16, 2020

Ms. Michelle Measday
Bohler Engineering NJ, LLC
30 Independence Boulevard
Warren, New Jersey 07059

Re: Flood Hazard Applicability Determination
File No. 1802-20-0001.2 APD 200001
Applicant: Verizon Corporate Services Group, Inc.

Dear Ms. Measday,

This is in response to your letter received on November 4, 2020 concerning the proposed replacement of existing tennis courts with parking along the Passaic River, within Lot Nos. 2, 3, 5, 6 and 23 of Block No. 803 in Bernards Township, Somerset County.

DECISION

A review of a drawing prepared by Bohler Engineering, NJ LLC, dated November 2, 2020, unrevised, entitled:

“NJDEP FLOOD HAZARD PERMIT PLAN FOR VERIZON CORPORATE SERVICES GROUP, INC PROPOSED PARKING LOT EXPANSION BLK:803 LOT: 2, 3, 5, 6 & 23 300 NORTH MAPLE AVENUE BERNARDS TOWNSHIP SOMERSET COUNTY, NEW JERSEY”

“RIPARIAN ZONE VERIFICATION PLAN”, Sheet No. 1

indicates the proposed activity qualifies for a Flood Hazard Area Permit By Rule.

REASON FOR DECISION

Activity is proposed within a previously disturbed 300 foot riparian zone. As per NJAC 7:13-7.10 of the regulations, the proposed project qualifies for a permit by rule.

This letter does not relieve the applicant of the responsibility to obtain any Federal, State or local approvals that may be required, such as local building permits or freshwater wetlands approvals. This determination is based on a review of the information submitted by the applicant, and in accordance with the existing Flood Hazard Area Control Act rules. Therefore, this determination will become void if the project changes size, scope, location or impact, or if the Department determines that the submitted information is incomplete or inaccurate.

Pursuant to N.J.A.C. 7:13-5.1(f) and (g), this determination is valid for five years from the date of this letter, unless the Department amends N.J.A.C. 7:13 such that the proposed activity becomes regulated, or else the Department amends the flood hazard area or riparian zone onsite such that the proposed activity lies within one of these regulated areas. In such a case, this determination shall become void and the applicant shall obtain a new permit from the Department pursuant to N.J.A.C. 7:13-2.1 prior to commencing the regulated activities onsite.

Should you have any questions regarding this determination, please contact me at Dennis.Contois@dep.state.nj.us or by telephone at (609) 633-6563.

Sincerely,

A handwritten signature in blue ink that reads "Dennis Contois". The signature is fluid and cursive, with the first name "Dennis" and last name "Contois" clearly distinguishable.

Dennis Contois
Supervising Engineer
Northern Engineering Section

Cc: Bernards Township Construction Official
Bernards Township Engineer



State of New Jersey

PHILIP D. MURPHY
Governor

SHEILA Y. OLIVER
Lt. Governor

DEPARTMENT OF ENVIRONMENTAL PROTECTION
Division of Land Resource Protection
Mail Code 501-02A
P.O. Box 420
Trenton, New Jersey 08625-0420
www.nj.gov/dep/landuse

SHAWN M. LATOURETTE
Acting Commissioner

Daniel Walradt
Verizon Corporate Services Group, Inc.
One Verizon Way
Basking Ridge, NJ 07920

Re: Flood Hazard Area Verification- Delineation of Riparian Zone Only
File No.: 1802-20-0001.2 LUP 200001
Applicant: Verizon Corporate Services Group, Inc. c/o Daniel Walradt
Block: 803; Lot: Portion of Lot 2
Bernards Township; Somerset County

Dear Mr. Walradt:

This letter is in response to your request for a flood hazard area verification along two unnamed tributaries to the Passaic River at the above-referenced site. This verification establishes the limits of the riparian zone onsite as shown on the approved plan described below. A Flood Hazard Area may exist on the property in question. However, the applicant has chosen not to verify the limits of the flood hazard area design flood elevation as a part of this application.

The riparian zone extends **300 feet** from the top of bank along both sides of each regulated water on this site since the streams are located upstream and within the same HUC-14 watershed as Category One waters. If a discernible bank is not present along a regulated water, the top of bank shall be established per the definition cited in N.J.A.C. 7:13-1.2.

Please note that altering the land cover or topography in a flood hazard area, as well as clearing, cutting and/or removing vegetation within a riparian zone, are activities regulated under the Flood Hazard Area Control Act Rules (N.J.A.C. 7:13A et .seq.), and may be prohibited or restricted in some cases. A flood hazard area permit is required prior to undertaking any regulated activity within a flood hazard area or riparian zone described at N.J.A.C. 7:13-2.4. Some projects may qualify for a permit-by-rule at N.J.A.C. 7:13-7, or may require general permits-by-certification, general permits, or an individual permit as listed in N.J.A.C. 7:13-8, 9, and 10, respectively. Projects situated entirely outside both the flood hazard area and riparian zone do not require a flood hazard area approval.

This verification is based on the best information presently available to the Division of Land Resource Protection (Division) and is subject to change if this information is no longer accurate or if additional information is made available to the Division including, but not limited to, information supplied by the applicant.

The drawing hereby approved consists of one (1) sheet prepared by D.F. Wisotsky, Professional Engineer, dated November 2, 2020, unrevised, and entitled:

“NJDEP FLOOD HAZARD AREA PERMIT PLAN FOR VERIZON CORPORATE SERVICES GROUP, INC. PROPOSED PARKING LOT EXPANSION BLK: 803 / LOT: 2, 3, 5, 6, & 23 300 NORTH MAPLE AVENUE BERNARDS TOWNSHIP SOMERSET COUNTY, NEW JERSEY RIPARIAN ZONE VERIFICATION PLAN”, Sheet Number 1

Within 90 calendar days of the date of this letter, the applicant shall submit the following information to the clerk of each county in which the site is located, and shall send proof to the Department that this information is recorded on the deed of each lot referenced in the verification:

1. The Department file number for the verification;
2. The approval and expiration dates of the verification;
3. The width and location of any riparian zone approved under the verification; and
4. The following statement: “The State of New Jersey has determined that all or a portion of this lot lies in a flood hazard area and/or riparian zone. Certain activities in flood hazard areas and riparian zones are regulated by the New Jersey Department of Environmental Protection and some activities may be prohibited on this site or may first require a flood hazard area permit. Contact the Division of Land Resource Protection at (609) 292-0060 or www.nj.gov/dep/landuse for more information prior to any construction onsite.”

Failure to have this information recorded in the deed of each lot and/or to submit proof of recording to the Department constitutes a violation of the Flood Hazard Area Control Act rules and may result in suspension or termination of the verification and/or subject the applicant to enforcement action pursuant to N.J.A.C. 7:13-24.

A copy of this plan, together with the information upon which this boundary determination is based, has been made part of the Division's public records. Please note that this letter in no way legalizes any fill that may have been previously placed onsite, or any other regulated activities that may have previously occurred. Also, this determination does not affect the applicant's responsibility to obtain any local, State or Federal permits that may be required, such as local building permits or freshwater wetlands approvals.

This verification is valid for five years from its issuance date. A verification shall be extended, modified and/or transferred pursuant to N.J.A.C. 7:13-22. Pursuant to N.J.A.C. 7:13-5.3(c), if the Department issues a verification for a site, and within five years issues a permit for a regulated activity that relies upon the verification at that site, the Department shall automatically reissue the verification upon approval of the permit or authorization so that the verification and permit or authorization have the same expiration date. This automatic reissuance shall occur only once per verification and there is no fee for this reissuance. The reissued verification shall reflect any alterations to the flood hazard area design flood elevation, flood hazard area limit and/or floodway limit that will result from the regulated activities authorized under the permit authorization. All pre-construction and post-construction elevations and limits shall be demarcated on drawings approved under the reissued verification.

In accordance with N.J.A.C. 7:13-23, any person who is aggrieved by this decision may request a hearing within 30 days after notice of the decision is published in the DEP Bulletin by writing to: New Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, Mail Code 401-04L, 401 East State Street P.O. Box 402, 7th Floor Trenton, NJ 08625-0402 and submit a copy of the hearing request to the Director of the Division of Land Resource Protection, at the address set forth at N.J.A.C. 7:13-1.3. This request must include the information listed at N.J.A.C. 7:13-

23.1(c) on a adjudicatory hearing request form, available from the Department, at the address set forth at N.J.A.C. 7:13-1.3. The DEP Bulletin is available through the Department's website at www.nj.gov/dep and the Checklist is available through the Division's website at www.nj.gov/dep/landuse/forms/.html.

Please contact me at Dennis.Contois@dep.nj.gov or by telephone at (609) 633-6563 should you have any questions regarding this letter. Be sure to indicate the Division's file number in all communication.

Sincerely,



Digitally signed
by dennis
contois

Dennis Contois
Supervising Engineer
Bureau of Inland Regulation

- c. Bernards Township Clerk
Bernards Township Construction Official
Bernards Township Engineer
Michelle Measday, Bohler Engineering NJ, L.L.C.- Agent



COUNTY OF SOMERSET PLANNING BOARD

County Administration Building
20 Grove Street, P.O. Box 3000
Somerville, New Jersey 08876-1262
(908) 231-7021 • Fax (908) 707-1749
PlanningBd@co.somerset.nj.us
www.co.somerset.nj.us



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Christopher Kelly
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Director / Liaison

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Board Secretary

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Erika J. Inocencio
2nd Alternate

Adam Slutsky
County Engineer Alternate

STAFF

Walter Lane, AICP/PP
Director of Planning

Joseph DeMarco, Esq.
Deputy County Counsel
for Planning

Cynthia Mellusi
Office Manager

December 15, 2020

Ms. Kippy Piedici, Chairwoman
Bernards Township Planning Board
277 S. Maple Avenue
Basking Ridge, New Jersey 07920

**Re: VERIZON CORPORATE SERVICES GROUP – PARKING EXPANSION
BLOCK 803 – LOTS 2, 3, 5, 6, 23
BN 110:005-20S**

Dear Ms. Piedici:

This office and the office of the County Engineer have reviewed information submitted for the above-referenced 50 space parking expansion. The 35 acre tract is located on North Maple Avenue, County Route #657. The reviewed information consists of plans entitled "Preliminary & Final Site Plan" for the referenced dated November 2, 2020. Bohler Engineering prepared the plan.

Since this application is solely for a parking space expansion and no proposed changes to the existing access point onto North Maple Avenue (CR657), the Somerset County Planning Board approves this project.

Should the Township require changes to the plan that affect the County right-of-way, the plan must be resubmitted for review and acceptance.

This report reflects comments from the office of the County Engineer (908) 231-7024 and the County Planning Board. Should you have any questions please contact the appropriate person listed below.

Sincerely,

Nora Fekete
Planner

Kelly L. Mager

Digitally signed by Kelly L. Mager
DN: cn=Kelly L. Mager, o=Clerk of the
Board, ou=Somerset County,
email=mager@co.somerset.nj.us, c=US
Date: 2021.01.14 11:20:25 -05'00'

Kelly L. Mager
Engineer, Land Development Section

cc: Cyndi Kiefer, Township Board Secretary
Bernards Township Engineer
Verizon Corporate Services Group Inc., (Attn: Daniel Walradt) One Verizon Way, Basking Ridge, NJ 07920 (dwalradt@usa-bhi.com)
David Wisotsky, Bohler, 30 Independent Blvd., Suite 200, Warren, NJ 07059 (dwisotsky@bohlereng.com)
Steven J. Tripp, Wilentz, Goldman & Spitzer, PA, 90 Woodbridge Center Dr., Suite 900, Woodbridge, NJ 07095 (stripp@wilentz.com)

- Mission Statement -

The County of Somerset is committed to excellence and innovation in public service, promoting the well-being of all residents and communities by providing effective, efficient and responsive leadership.

Somerset County Is An Equal Opportunity Employer

E

**TOWNSHIP OF BERNARDS
ZONING BOARD OF ADJUSTMENT
APPLICATION STATUS FORM**

Application No: ZB21-001 Block: 003 Lot: 23 2,3,5,6 Zone: E-1
Applicant: VERIZON CORPORATE SERVICES GROUP INC
Address of Property: 300 NORTH MAPLE AVENUE
Description: P/F MAJOR SITE PLAN APPROVAL FOR
CONSTRUCTION OF ADDITIONAL PARKING

APPLICATION CHECKLIST

<u>ADDITION 13 COPIES</u>	
<input checked="" type="checkbox"/> Original + <u>16</u> copies of Application	<input checked="" type="checkbox"/> Engineering Plan/Plot Plan
<input checked="" type="checkbox"/> W-9	<input type="checkbox"/> Architectural Plans
<input checked="" type="checkbox"/> Site Visit Consent (A)	<input checked="" type="checkbox"/> Survey
<input checked="" type="checkbox"/> Ownership Form (B)	<input type="checkbox"/> Photographs
<input checked="" type="checkbox"/> 200' Property Search List (C)	<input checked="" type="checkbox"/> Wetlands Report/LOI
<input checked="" type="checkbox"/> Tax Certification (D)	<input checked="" type="checkbox"/> Application Fee
<input checked="" type="checkbox"/> Notice to be Served/Published (E)	<input checked="" type="checkbox"/> Escrow Deposit
<input type="checkbox"/> Dimensional Statistics Form (F)	<input checked="" type="checkbox"/> Imaging Fee
<input checked="" type="checkbox"/> Contributions Disclosure Form (G)	<input type="checkbox"/> Tax Map Revision Fee
<input checked="" type="checkbox"/> <u>TREE REMOVAL FORM</u>	<input checked="" type="checkbox"/> Checklist
<input checked="" type="checkbox"/> <u>OUTSIDE AGENCIES FORM</u>	

SCHEDULING

1-21-2021 Original Submission Date
3-22-2021 Completeness Deadline (45 days)
____ Incomplete Date
____ Resubmission Date
____ Date Complete
____ Time to Act (45/95/120 days)

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____ Notice to Property Owners
____ Date of Publication
2-3-2021 Completeness Hearing
3-11-2021 Public Hearing
____ Carried to Date
____ Decision - Approved/Denied
____ Resolution Memorialized
____ Resolution Published

DISTRIBUTION

____ Environmental Comm
____ Fire Official
____ LCFAS
____ Police

NOTES

TOWNSHIP OF BERNARDS

2021 ZONING BOARD OF ADJUSTMENT APPLICATION

- | | |
|--|--|
| <input checked="" type="checkbox"/> Bulk or Dimensional ("c") Variance
<input type="checkbox"/> Use ("d") Variance
<input checked="" type="checkbox"/> Conditional Use ("d") Variance
<input type="checkbox"/> Floor Area Ratio, Density, or Height ("d") Variance
<input checked="" type="checkbox"/> Site Plan - Preliminary / Final | <input type="checkbox"/> Appeal of Zoning Officer's Decision
<input type="checkbox"/> Interpretation of Zoning Ordinance
<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Major Subdivision - Preliminary / Final
<input type="checkbox"/> Other (specify): |
|--|--|

1. APPLICANT: Verizon Corporate Services Group, Inc.

Address: One Verizon Way, Basking Ridge, New Jersey 07920

Phone: (home) 908-373-2110 (work) (mobile)

Email (will be used for official notifications): abhilasha.bhalani@verizon.com

2. OWNER (if different from applicant): Same as Applicant.

Address:

Phone: Email (will be used for official notifications):

3. ATTORNEY: Steven J. Tripp, Esq. c/o Wilentz, Goldman & Spitzer, P.A.

Address: 90 Woodbridge Center Drive, Suite 900, Woodbridge, New Jersey 07095

Phone: 732-855-6076 Email (will be used for official notifications): stripp@wilentz.com

4. OTHER PROFESSIONALS (Engineer, Architect, etc. Attach additional sheet if necessary):

Name: David F. Wisotsky, P.E. c/o Bohler Engineering Profession: Professional Engineer

Address: 30 Independence Boulevard, Suite 200, Warren, New Jersey 07059

Phone: 908-668-8300 Email (will be used for official notifications): dwisotsky@bohlereng.com

5. PROPERTY INFORMATION: Block(s): 803 Lot(s): 2, 3, 5, 6 and 23 Zone: E-1

Street Address: 300 North Maple Avenue Total Area (square feet/acres): 34.991

6. ARE THERE ANY PENDING OR PRIOR PLANNING BOARD OR BOARD OF ADJUSTMENT APPLICATIONS INVOLVING THE PROPERTY? ☐ No ☒ Yes (if yes, explain or attach Board resolution) See attached Rider.

7. ARE THERE CURRENTLY ANY VIOLATIONS OF THE ZONING ORDINANCE INVOLVING THE PROPERTY? ☒ No ☐ Yes (if yes, explain) None.

8. ARE THERE ANY DEED RESTRICTIONS OR EASEMENTS AFFECTING THE PROPERTY?

[] No [X] Yes (if yes, explain) See attached Wetlands Conservation and Stream Buffer Conservation Easements.

9. DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSAL/REQUEST: _____

See attached Rider.

10. DESCRIPTION OF REQUESTED VARIANCES OR EXCEPTIONS (include Ordinance section no.):

See attached Rider.

11. THE FOLLOWING ARGUMENTS ARE MADE IN SUPPORT OF THE APPLICATION: _____

See attached Rider.

12. NOTARIZED SIGNATURES (ALL APPLICANTS AND OWNERS MUST SIGN):

APPLICANT(S) SIGN HERE:

I/we, Abhilasha Bhalani Patel and _____ hereby depose and say that all of the above statements and the statements contained in the materials submitted herewith are true and correct.

Signature of Applicant(s): Abhilasha Patel and _____

Sworn and subscribed before me, this 1/14 day of January, 2021

[Signature]
Notary

OWNER(S) SIGN HERE (IF APPLICANT IS NOT THE OWNER):

If the application is made by a person or entity other than the property owner, or by less than all of the property owners, then the property owner or the additional owners must complete the following:

I/we, _____ the owner(s) of the property described in this application,

hereby authorize _____ to act as my/our agent for purposes of making and prosecuting this application and I/we hereby consent to the variance relief (if any) granted and all conditions of approval thereof.

Signature of owner(s): _____

Rider

A. Introduction

Applicant, Verizon Corporate Services Group, Inc. (the “Applicant”), is seeking preliminary and final major site plan approval, conditional use and bulk variances, and design waivers in connection with the proposed construction of additional parking at the property located at 300 North Maple Avenue, Bernards Township, New Jersey 07920, identified as Block 803, Lots, 2, 3, 5, 6, and 23 on the Bernards Township Tax Map (the “Site”).

The Site is located in the E-1 (Office / Laboratory) Zone (the “E-1 Zone”) and contains the Ridge, a “conference inn,” which is a conditionally permitted use in the E-1 Zone. See Section 21-10.5a(3)(b); see also, Section 21-12.3(i). The Applicant is proposing to remove the tennis courts located on the northwestern portion of the Site, adjacent to Interstate Route 287 (“Route 287”), and to replace the courts with a parking lot containing fifty (50) spaces. This will increase the on-site parking from 379 to 429 spaces. Also proposed is the construction of a drive aisle connecting the new parking lot to the existing parking area. The parking spaces will be 9’ wide and 18’ long where a 2’ overhang is provided, and 9’ wide and 20’ long where a 2’ overhang is not provided, in accordance with Section 21-39.1b. As such, all proposed parking spaces comply with the ordinance.

B. Conditional Use Variance

The Bernards Township Planning Board (the “Planning Board”) previously approved the parking layout on the Site, in four (4) resolutions dating back to 1986. First, in 1986, the owner-applicant, AT&T Resource Management Corporation (“AT&T”), obtained site plan approval with a variance for the required number of parking and a modification as to parking stall width. See Exhibit A. Then, in 1991, AT&T obtained amended site plan approval with similar relief,

including approval of 9' x 18' parking spaces. See Exhibit B. In 1992, AT&T obtained further amended site plan approval, again allowing 9' x 18' parking stalls. See Exhibit C.

Finally, in 1997, AT&T obtained amended preliminary and final site plan approval to permit construction of 66 additional parking spaces and installation of various related improvements. See Exhibit D. The Board noted in its Resolution that “[i]n order to construct the additional parking spaces, the applicant proposes to cut into the back side of the berm which was installed to buffer the complex from I-287 and install a retaining wall.” Ibid. The Resolution continued:

The retaining wall, some of the proposed lighting stanchions, and some of the parking spaces will be located as close as 30 feet to the property line. Ordinance §21-22.1b3(b) is a site design standard (and not a zoning regulation) which provides that parking areas must be a minimum of 50 feet from the property lines. The applicant has therefore applied for an exception or waiver from this site design standard along with the amended preliminary and final site plan application.

[Ibid.]

Notably, the Planning Board treated the portion of the Site abutting Route 287, where the Applicant’s proposed new parking area is to be constructed, as a side yard, requiring only a 50-foot setback.

Here, the Applicant is providing a setback of 51.2 feet from the closest parking space in the new lot to Route 287. If the yard abutting Route 287 were to continue to be treated as a side yard, as it has been historically, the proposed parking would be in compliance with the 50-foot requirement in Section 21-22.1b(3)(b). The Applicant has been advised, however, that the yard abutting Route 287 is now being treated as a front yard, requiring a setback from Route 287 of 150 feet. Pursuant to Section 21-12.3(i)(19), one of the conditions for a conference inn, as a conditional use, is that it must meet “[a]ll other applicable requirements of this chapter for the

zone.” Thus, the Applicant requires a d(3) conditional use variance to permit a front yard setback adjacent to Route 287 of 51.2 feet, where 150 feet is required.

An applicant’s burden of proof for a conditional use variance is to demonstrate that the site continues to be appropriate for the conditional use notwithstanding the deviation from one or more conditions. In this regard, an applicant must show that the site will accommodate the problems associated with the use even though the proposal does not comply with the conditions established to address those problems. See Coventry Square v. Westwood Zoning Board of Adjustment, 138 N.J. 285 (1994).

Here, the applicant can easily meet this burden. As noted above, the prior resolutions approving the existing use for the Site treated the yard abutting Route 287 as a side yard, and relief was granted to permit parking less than 50 feet from the Route 287 property line. The only reason that relief is required for this application is a change in interpretation, pursuant to which the yard abutting Route 287 is now considered a front yard with a 150 foot setback. The additional parking lot proposed in this application will be set back further from Route 287 than the existing parking along the Route 287 frontage. Moreover, the parking lot also will have a greater setback from Route 287 than the tennis courts it is replacing. Thus, the Applicant’s proposal will bring the Site closer to compliance with the Ordinance as it relates to the front yard setback adjacent to Route 287. As such, the site continues to be appropriate for the use, notwithstanding a deviation from the newly interpreted requirement of a 150 foot parking setback from Route 287.

C. Bulk Variances and Design Waivers

The Applicant is also requesting two (c) variances from the steep slope provision of the ordinance, as follows:

1. Section 21-14.2b(2)(b) – Areas with slopes ranging from 20% to 25% shall have disturbed areas limited to 20% of that slope category. The Applicant is proposing to disturb 21.4% of the slope area for slopes ranging from 20% to 25%; and
2. Section 21-14.2b(3) – In areas with slopes greater than 25%, no development, regarding, or strip of vegetation shall be permitted unless the disturbance is for roadway crossings or utility construction and it can be demonstrated that the roadway or utility improvements are necessary in the sloped area for the improvement to exist. The Applicant is proposing to disturb 9.15% of the slope area for slopes greater than 25%.

The disturbance of steep slopes occurs solely within previously disturbed areas that were constructed as part of the conference inn development, including the berm, sidewalks, areas adjacent to the tennis court, and other man-made features. None of the slopes to be disturbed are natural slopes. Disturbance of these existing disturbed areas is necessary to ensure that the grades in the proposed parking lot are safe for purposes of pedestrian and vehicle circulation. It should be noted that the slope disturbance calculations are very conservative, as they are based only on areas within the partial topographic survey, which comprises approximately one-third (1/3) of the total Site. If the entire site was considered, the percentage of slopes disturbed in each slope range would be reduced.

The Applicant also is requesting the following design waivers:

3. Ordinance Section 21-41.3 – the maximum average maintained horizontal illumination for vehicular roadways in non-residential areas is 0.9 FC. The Applicant is proposing 1.79 FC; and
4. Ordinance Section 21-41.3 – the maximum average maintained horizontal illumination for sidewalks in non-residential areas is 0.9 FC. The Applicant is proposing 1.32 FC.

The enhanced lighting levels are necessary for site safety in the parking areas and driveway. The lighting will not impact any neighboring properties, given the distances and the fact that house side shields are proposed for all light fixtures.

D. Existing Easements

There are existing wetlands conservation and stream buffer conservation easements on the site. The Applicant is proposing slight modifications to these easement areas, based on a new wetlands delineation and flood hazard area applicability determination filed with DEP. Copies of the existing conservation easements, a conservation easement map showing the proposed changes, and the DEP applications are included with this site plan application.

APPENDIX C, ARTICLE III

Checklist

Application for Final Approval of a Major Subdivision or Site Plan **(See Article VII for Details)**

Important: Each item must be marked Submitted, Not Applicable or Waiver Requested

No.	Item	Submitted	Not Applicable	Waiver Requested
1	All items required for preliminary approval as set forth in § 21-54.4, unless previously waived by the Board.	X		
2	All additional items required by the Board as a condition of preliminary approval.	X		
3	A certificate from the tax collector indicating that taxes are paid.	X		
4	All required application and escrow deposit fees.	X		
5	Final detailed architectural renderings of each building and sign, including front, side and rear elevations.		X	
6	Final cross-sections, profiles and established grades of all streets, aisles, lanes and driveways and construction documents for all public improvements.		X	
7	Final plans and profiles of all storm sewers.			X
8	Final plans and profiles of all sanitary sewers.		X	
9	Final plans and profiles of all water mains.		X	
10	All dimensions of the exterior boundaries of any subdivision, balanced and closed to a precision of one to 10,000, and the dimensions of all lot lines to within one to 20,000. All dimensions, angles and bearings must be tied to at least two permanent monuments not less than 300 feet apart and all information shall be indicated on the plat. At least one corner of the subdivision shall be tied to U.S.C. and G.S. benchmarks with data on the plat as to how the bearings were determined.		X	
11	Proposed street names.		X	
12	A Final Application Comparison Report, including:			
	a. The number and type of dwelling units.		X	
	b. The amount of nonresidential floor space.		X	
	c. The type of community facilities and/or structures.		X	
	d. The amount of open space to be preserved.		X	
	e. The nature and cost of public improvements.		X	
	f. The anticipated value of residential and nonresidential construction.		X	
	g. Finalized landscaping and tree removal information pursuant to Sections 21-43 through 21-45.	X		
	h. A comparison to the preliminary development approval, indicating the nature and reasons for any changes to the preliminary approval.		X	

No.	Item	Submitted	Not Applicable	Waiver Requested
13	Organization documents, including:			
	a. Articles of incorporation, by-laws and membership rules/regulations for any homeowner's association, condominium association or other organization to maintain the common open space or community facilities.		X	
	b. A copy of the master deed detailing the rights and privileges of individual owners of common property.		X	
	c. A copy of all materials submitted to the Department of Community Affairs as required by the New Jersey Planned Real Estate Development Full Disclosure Act Regulations and evidence of the status of acceptance of and/or approval by the Department of Community Affairs.		X	
	d. Covenants or easements restricting the use of the common open space or elements.		X	
	e. Covenants or agreements requiring homeowners or residents to pay the organization for the maintenance of the common open space and/or community facilities. This shall include a proposed schedule of membership fees for at least the first three years of operation.		X	
14	All easements or covenants affecting any land in the development.	X		
15	All maintenance agreements under which private roads and other facilities will be maintained, refuse collected and other supplementary services provided, if there is to be no homeowners' association, condominium association, open space organization or similar arrangement.		X	
16	An offer of dedication including all legal requirements for valid dedication to the Township or, where appropriate, to another governmental body of roads or other improvements intended for public ownership.		X	

APPENDIX B, ARTICLE III**Checklist****Application for Preliminary Approval of a Major Subdivision or Site Plan (See Article VII for Details)*****Important: Each item must be marked Submitted, Not Applicable or Waiver Requested***

No.	Item	Submitted	Not Applicable	Waiver Requested
1	A completed application form and checklist(s). If the application involves a wireless telecommunications tower and/or antennas, all items listed on the Wireless Telecommunications Facilities Checklist must be also be submitted.	X		
2	A certificate from the tax collector indicating that taxes are paid.	X		
3	All required application and escrow deposit fees.	X		
4	Names and addresses of property owners within 200' of the subject property, as disclosed by current tax records and identified by block & lot numbers.	X		
5	Title block indicating:			
	a. Name of development and street location.	X		
	b. Name and address of applicant, owner and authorized agent, if any.	X		
	c. Name and address of professional(s) preparing plans including signature, date, license number and seal.	X		
	d. Tax map block and lot numbers.	X		
	e. Date of plan preparation and revision box with date of each revision.	X		
	f. Development application number.		X	
	g. Written and graphic scale.	X		
6	Signature of applicant and, if applicant is not owner, signed consent of the owner.	X		
7	Name and address of the attorney representing parties, if any, and the name of each client represented.	X		
8	Signature blocks as required by the Map Filing Law.	X		
9	North arrow giving reference meridian.	X		
10	Copies of any protective covenants or deed restrictions applying to the subject property, including a statement as to whether such covenants or deeds are of record. A copy or abstract of the deed or deeds or other instruments by which title is derived with the names of all owners must also be provided.	X		
11	A key map showing the entire tract and its relation to the surrounding areas, including all roads, zone boundaries and municipal boundaries within one-half (1/2) mile of the subject property at a scale of one (1) inch equals not more than two thousand (2,000) feet.	X		
12	A zoning schedule indicating the zone(s) within which the property is located and required, existing & proposed conditions relative to lot area, width, frontage, yard setbacks, lot coverage, height, floor area, floor area ratio, density, open space, parking, loading, signs, etc.	X		
13	A list of required and obtained regulatory approvals and permits.	X		
14	A list of requested variances and exceptions.	X		
15	The location and dimensions of existing & proposed property lines, existing streets, streets shown on the Township's official map or master plan, structures (indicating the use of each structure and whether existing structures will remain or be removed), building setbacks, rights-of-way, easements, parking & loading areas, driveways, railroads, bridges, culverts, drain pipes, gas transmission lines, overhead utilities, historic sites/structures, wooded areas, watercourses, flood plains, wetlands or other environmentally sensitive areas on and within 200' of the subject property.	X		
16	A wetlands delineation or wetlands absence determination prepared by a qualified consultant and verified by a letter of interpretation from the New Jersey Department of Environmental Protection, if required pursuant to § 21-14.1.a.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
17	Plans & profiles of proposed utility layouts, including water supply, sewage disposal, stormwater drainage, gas, telephone and electricity, showing feasible connections to existing or proposed systems. Plans for individual on-site water supply and/or sewage disposal systems shall be accompanied by the necessary local, county and/or state agency approvals. If service will be provided by an existing utility company, a letter from that company stating that service will be available before occupancy is required.		X	
18	The locations of percolation tests on each existing/proposed lot and a copy of the written approval of the tests and locations from the Bernards Township Health Department, if sewage disposal is to be handled by individual septic system(s). For each lot, the applicant shall submit test locations and written approvals from the Health Department for both a primary and secondary septic disposal field. The applicant must show on the development plan the locations and dimensions of both septic disposal fields.		X	
19	All means of vehicular and pedestrian access to the site from public streets, including locations and dimensions of driveways and curbcuts and any traffic signs, signals, channelization, acceleration and deceleration lanes or other traffic control devices.	X		
20	Site identification sign and street sign locations and details.		X	
21	Existing & proposed topographic contour intervals based on U.S.C. & G.S. datum on and within 200' of the subject property as follows: - up to 3% grade = 1' intervals - over 3% grade = 2' intervals	X		
22	A steep slope map in accordance with § 21-14.2.b, if the property contains any existing slopes of 15% or greater.	X		
23	Spot and finished elevations at all property corners.	X		
24	A landscaping plan showing shade trees, screening, buffering, existing vegetation and limits of clearing, a planting schedule, details of plantings, landscape treatments and other amenities, etc. (see § 21-54.4 for detailed requirements).	X		
25	A tree identification plan and an application for tree removal permit including the following (see § 21-45.3 for detailed requirements):	X		
	a. Location of existing tree canopy and labeling of the canopy areas to be removed and to be preserved.	X		
	b. Location of individual trees with a DBH equal to or greater than six inches identified by size and species within the limit of disturbance and 30 feet beyond the limit of disturbance, labeled to be removed or to be preserved.	X		
	c. Location of individual trees with a DBH equal to or greater than ten inches identified by size and species within the property boundaries, labeled to be removed or to be preserved.	X		
	d. Tree protection details.	X		
	e. A list of all trees to be removed and, if replacement trees are required, a schedule in accordance with the table in § 21-45.1 indicating the number of replacement trees required and the number of replacement trees proposed.	X		
26	A lighting plan in accordance with Section 21-41, including the location, type, height, graphic details and specifications of all existing & proposed lighting. The plan shall show the proposed illumination in footcandle values throughout the site and shall identify the average maintained horizontal illumination in vehicular areas and in sidewalk areas.	X		
27	A soil erosion and sediment control plan, if required pursuant to Section 21-27.	X		
28	A solid waste management plan and a recycling plan, including locations and details of outdoor refuse and recycling storage areas and means of screening, in accordance with Sections 21-40 and 21-40A.		X	

No.	Item	Submitted	Not Applicable	Waiver Requested
29	Plans and profiles of proposed driveways.		X	
30	Plans, typical cross-sections, centerline profiles, tentative grades, curb radii and details of all streets on the site or off the site which are proposed to be improved, including curbing, sidewalks and drainage structures.		X	
31	Construction details in accordance with Township standards.	X		
32	Existing & proposed easements or land reserved for or dedicated to public use, utility use or for the common use of property owners in the development, including a statement of the limits and purpose of the easement rights or dedicated land.	X		
33	Existing & proposed sight triangles.		X	
34	Development staging plans.		X	
35	Existing & proposed block and lot numbers.	X		
36	The area in square feet and to the nearest tenth of an acre of all existing and proposed lots.	X		
37	A sketch of the proposed or possible layout or disposition of remaining lands, if any.		X	
38	General soil information including soil logs.	X		
39	Source and date of the current property survey and a copy of the survey showing all existing tract boundary or lot lines with lengths of courses to hundredths of a foot and bearings to half minutes, the error of closure not to exceed one (1) to ten thousand (10,000). The tract boundary or lot lines shall be clearly delineated. All bearings shall be in the New Jersey Plane Coordinate System, with coordinates shown on at least three (3) corners.	X		
40	Appropriate certification blocks as required by the Map Filing Law	X		
41	Monumentation as specified by the Map Filing Law.	X		
42	Metes and bounds description showing dimensions, bearings, curve data, length of tangents, radii, arcs, chords and central angles for all centerlines and rights-of-way and centerline curves on streets.	X		
43	Plans and computations for any storm drainage systems, including locations, details and specifications of all storm sewer lines, catch basins, inlets, manholes, culverts, headwalls, dry wells, ground water recharge basins, detention basins, etc. and existing and proposed drainage area maps.	X		
44	When a stream is proposed for alteration, improvement or relocation or when a drainage structure or fill is proposed over, under, in or along a running stream, intermittent stream, swale or drainageway, evidence of approval or of the request for approval, required modifications or lack of jurisdiction over the improvement by the New Jersey Department of Environmental Protection shall accompany the application (see § 21-54.4 for additional required details).		X	
45	When ditches, streams or watercourses are to be altered, improved or relocated, the method of stabilizing slopes and measures to control erosion and siltation, as well as typical ditch sections and profiles, shall be shown.		X	
46	For a site plan, preliminary elevations and plans of all buildings and structures, showing windows, doors, architectural treatment, roof treatment, roof appurtenances and screening, floor elevations and proposed methods of energy conservation and the locations, dimension and legend(s) of all proposed signs. For a subdivision, the approximate basement and first floor elevation for each house.		X	
47	A list of names and addresses of all stockholders or individual partners owning at least 10% of its stock of any class or at least 10% of the interest in the partnership, as the case may be.	X		

No.	Item	Submitted	Not Applicable	Waiver Requested
48	A Project Report, which may be submitted separately or as part of the Environmental Impact Assessment, including the following (see § 21-54.6 for details). Where individual maps or exhibits are submitted separately to satisfy other checklist requirements, they may be referenced in the Project Report.			
	a. Project Description and Statistics Report.	X		
	b. Land Classification Map and Report.	X		
	c. Natural Features Report.	X		
	d. Open Space Plan and Report.	X		
	e. Land Coverage and Drainage Plan and Report.	X		
	f. Soil Erosion and Sedimentation Control Plan and Report.	X		
	g. Sewer and Water Plan and Report.		X	
	h. Circulation Plan and Traffic Report.		X	
	i. Utilities Plan and Report.		X	
	j. Development Schedule Plan.	X		
	k. Variances and Exceptions Report.	X		
	l. Easements and Covenants Report.	X		
49	An Environmental Impact Assessment, including the following (see § 21-54.6.m for details).			
	a. Plan and description of the development plan.	X		
	b. Inventory of existing natural resources.	X		
	c. Assessment of environmental impacts.	X		
	d. Unavoidable adverse environmental impacts.	X		
	e. Steps to minimize environmental damage.	X		
	f. Alternatives.	X		
	g. Details and matters to be evaluated:			
	(1) Sewerage facilities.		X	
	(2) Water supply.		X	
	(3) Storm water.	X		
	(4) Stream encroachments.	X		
	(5) Floodplains.	X		
	(6) Solid waste disposal.	X		
	(7) Air pollution.	X		
	(8) Traffic.	X		
	(9) Social/economic factors.	X		
	(10) Aesthetics.	X		
	(11) Licenses, permits, etc.	X		
	(12) A copy of the development plan and application form.	X		
50	Delineations of existing and proposed stream buffer conservation areas and stream buffer management plans, if required pursuant to Section 21-14.4.b.	X		
51	Contribution Disclosure Statement, if required pursuant to Section 21-7A.	X		
52	A plan showing all the details required in the procedures of Table 401-A, entitled Maximum Permitted Lot Yield & Minimum Improvable Lot Area Standards, Residential Development, R-1 Through R-7 Zones.	X		
53	For each proposed dwelling, cross sections shall be provided from the center of the road to the rear of the house in existing and proposed conditions; cross sections shall be provided perpendicular to the road through the center of the dwelling to a point 50' to the rear of the dwelling; the cross section shall be provided at a scale of 1" = 10' horizontal and 1" = 10' vertical.		X	
54	A fire service plan, showing on a separate plan sheet(s) information relating to fire safety and emergency response, including: existing and proposed water lines, fire department connections, hydrants and cisterns; widths and turning radii of streets, driveways, parking aisles, emergency access roads and fire lanes; public building entrances; parking spaces; and stormwater drainage basins.	X		

BOHLER //

Zoning Variance and/or Land Use Design Standard Waivers

FOR

Verizon Corporate Services Group, Inc.

Bernards Township, New Jersey

November 2, 2020

BE #: Job No. J200554

Prepared by:

BOHLER ENGINEERING NJ LLC

30 Independence Blvd., Warren, NJ 07059

ZONE: E-1 (Office / Laboratory)

Bernards Township, New Jersey

Variances - Zoning Code

1	Section 21-14.2	In areas with slopes greater than 25%, no development, regrading or stripping of vegetation shall be permitted unless the disturbance is for roadway crossings or utility construction and it can be demonstrated that the roadway or utility improvements are necessary in the sloped area for the improvement to exist.	Proposed disturbance within areas of slopes greater than 25%.
2	Section 21-14.2	Areas with slopes ranging from 20% to 25% shall have disturbance areas limited to 20% of that slope category.	Proposed Disturbance: 21.4% (Percentage of disturbed slopes for proposed improvement to be less when entire lot is considered.)

Waivers - Land Development Regulations

1	Section 21-41	Max. Average Maintained Horizontal Illumination for Vehicular Roadways - Non Residential : 0.9 FC	Proposed Average Maintained Horizontal Illumination for Vehicular Roadways - Non Residential = 1.79 FC
2	Section 21-41	Max. Average Maintained Horizontal Illumination for Sidewalks - Non Residential : 0.9 FC	Proposed Average Maintained Horizontal Illumination for Sidewalks - Non Residential : 1.32 FC



CHECKLIST WAIVER LIST
FOR
Verizon Corporate Services Group, Inc.
Bernards Township, New Jersey
November 2, 2020, Revised January 21, 2021
BE #: Job No. J200554
Prepared by:
BOHLER ENGINEERING NJ LLC
30 Independence Blvd., Warren, NJ 07059

ZONE: E-1 (Office / Laboratory)
Bernards Township, New Jersey

Checklist Waiver - Per Final Site Plan Checklist

1		Item 7	Final plans and profiles of all storm sewers. Final plans for all proposed storm sewers are provided. Waiver requested for storm sewers given limited nature of pipe improvements.
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Submit 21 copies TOTAL

FORM E

**TOWNSHIP OF BERNARDS
PLANNING BOARD / BOARD OF ADJUSTMENT**

SITE INSPECTION CONSENT FORM

Applicant: Verizon Corporate Services Group, Inc. **Application:** Proposed Parking Lot Expansion

Block: 803 **Lot:** 2, 3, 5, 6, and 23

Street Address: 300 North Maple Avenue

I, Verizon Corporate Services Group, Inc., owner of the above property, hereby acknowledge that, upon determination of completeness of the application, a site inspection may be scheduled with the Board for a mutually convenient date and time. I hereby authorize members of the Planning Board/Board of Adjustment and their representatives and consultants to enter onto the property at the time of the site inspection for the purpose of evaluating the application.

Signature: Abhilasha Patel **Date:** 12/2/20

Abhilasha Bhalani Patel
Manager - Infrastructure Engineering & Construction

Submit 21 copies TOTAL

FORM F

**ADDENDUM TO THE BERNARDS TOWNSHIP
PLANNING BOARD APPLICATION**

**APPROVALS REQUIRED BY LOCAL, COUNTY,
STATE AND OTHER AGENCIES**

PERMITS	APPLICABLE	N/A	PENDING	RECEIVED
Somerset County Planning Bd.***	X			
Somerset County Road Opening Permit		X		
Bernards Sewerage Authority		X		
NJDEP:				
a) Stream encroachment		X		
b) Filing Floodplain		X		
c) Other	X		X	
Army Corp of Engineers:		X		
a) Section 404		X		
b) Other		X		
NJDOT:		X		
a) Road opening permit		X		
b) Drainage permit		X		

***** All applications for subdivision or site plan, whether Preliminary, Final, Minor or Major, must be submitted to Somerset County Planning Board by the applicant and proof of submittal must be received by Bernards Township prior to the scheduling of the application for the first hearing before the Bernards Township Planning Board.**


Applicant's Engineer

24GE04295100
PE Number

11/20/20
Date



30 Independence Blvd., Suite 200
Warren, NJ 07059
908.668.8300

November 3, 2020

Via Federal Express

Mr. Frank Calo, District Manager
Somerset-Union Soil Conservation District
308 Milltown Road
Bridgewater, NJ 08807

**RE: Application for Soil Erosion and
Sediment Control Plan Certification
Proposed Parking Lot Expansion
300 North Maple Avenue
Block 803; Lot 2, 3, 5, 6 & 23
Township of Bernards (Basking Ridge)
Somerset County, New Jersey
BENJ File No. J200554**

Dear Mr. Calo:

Enclosed, please find the following documents constituting our formal submission to the Somerset-Union Soil Conservation District with regard to the above referenced project:

- One (1) signed and sealed set of the *Preliminary & Final Site Plan* dated November 2, 2020, prepared by Bohler Engineering NJ, LLC;
- Four (4) signed and sealed copies of the Soil Erosion & Sediment Control Plans (Sheets C-601 & C-602) dated November 2, 2020, prepared by Bohler Engineering NJ, LLC;
- One (1) signed and sealed set of the Boundary, Topographic & Utility Survey dated May 5, 2020, prepared by Control Point Associates, Inc;
- One (1) signed and sealed set of the ALTA/NSPS Land Title Survey dated December 8, 2016; last revised December 15, 2016, prepared by US Surveyor;
- One (1) signed and sealed copy of the Stormwater Management Report dated November 2020, prepared by Bohler Engineering NJ, LLC;
- One (1) executed copy of the Application for Soil Erosion and Sediment Control Plan Certification, dated October 14, 2020;
- One (1) copy of the executed Ownership Disclosure Affidavit; and
- One (1) check in the amount of \$340.00, made payable to Somerset-Union SCD, to cover the Application Fee.

BOHLER //

Mr. Frank Calo
Somerset-Union Soil Conservation District
BENJ File No. J200554
November 3, 2020
Page 2 of 2

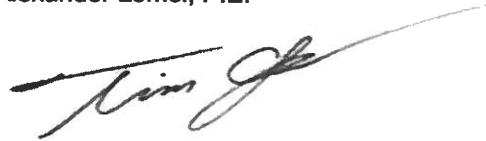
Should you have any questions, or require further information, please do not hesitate to contact the undersigned.

Sincerely,

BOHLER ENGINEERING NJ, LLC



Alexander Lomei, P.E.



Timothy M. Aguilar, P.E.

Enclosures

cc: Abhilasha Bhalani Patel, Verizon – Global Real Estate (cover letter only via email)

AS/gs G:\2020\J200554\Admin\Letters-OUT\SCD-01 Initial Submission (Calo).doc



For District Use Only

APPLICATION FOR SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION

The enclosed soil erosion and sediment control plan and supporting information are submitted for certification pursuant to the Soil Erosion and Sediment Control Act, Chapter 251, P.L. 1975 as amended (N.J.S.A. 4-24-39 et. seq.). An application for certification of a soil erosion and sediment control plan shall include the items listed on the reverse side of this form.

Name of Project Proposed Parking Lot Expansion			Project Location Municipality Bernards Township	
Project Street Address 300 North Maple Avenue			Block 803	Lot 2, 3, 5, 6 & 23
Project Owner(s) Name Daniel Walradt - Verizon Corporate Services Group, Inc.			Email Dwalradt@usa-bhi.com	Phone # (908) 373-2110 Fax #
Project Owner(s) Street Address (No P.O. Box Numbers) One Verizon Way			City Basking Ridge	State NJ Zip 07920
Total Project Area (Acres) 34.991	Total Disturbed Area (Acres) 0.88	Total Soil Restoration Area (Acres) N/A	No. Dwelling or other Units N/A	Fee \$ 340
Plans Prepared by* David F. Wisotsky, PE - Bohler			Email of plan preparer dwisotsky@bohlereng.com	Phone # (908) 668-8300 Fax #
Street Address 30 Independence Blvd., Suite 200			City Warren	State NJ Zip 07059

*(Engineering related items of the Soil Erosion and Sediment Control Plan MUST be prepared by or under the direction of and be sealed by a Professional Engineer or Architect licensed in the State of New Jersey, in accordance with NJAC 13-27-6.1 et. seq.)

Agent Responsible During Construction TBD			Email	
Street Address				
City	State	Zip	Phone	Fax #

The applicant hereby certifies that all soil erosion and sediment control measures are designed in accordance with current Standards for Soil Erosion and Sediment Control in New Jersey and will be installed in accordance with those Standards and the plan as approved by the Soil Conservation District and agrees as follows:

1. To notify the District in writing at least 48 hours in advance of any land disturbance activity. Failure to provide such notification may result in additional inspection fees.
2. To notify the District upon completion of the Project (Note: No certificate of occupancy can be granted until a report of compliance is issued by the District).
3. To maintain a copy of the certified plan on the project site during construction.
4. To allow District agents to go upon project lands for inspection.
5. That any conveyance of this project or portion thereof prior to its completion will transfer full responsibility for compliance with the certified plan to any subsequent owners.
6. To comply with all terms and conditions of this application and certified plan including payment of all fees prescribed by the district fee schedule hereby incorporated by reference.

The applicant hereby acknowledges that structural measures contained in the Soil Erosion and Sediment Control Plan are reviewed for adequacy to reduce offsite soil erosion and sedimentation and not for adequacy of structural design. The applicant shall retain full responsibility for any damages which may result from any construction activity notwithstanding district certification of the subject soil erosion and sediment control plan. It is understood that approval of the plan submitted with this application shall be valid only for the duration of the initial project approval granted by the municipality. All municipal renewals of this project will require submission and approval by the district. In no case shall the approval extend beyond three- and one-half years at which time resubmission and certification will be required. Soil Erosion and Sediment Control Plan certification is limited to the controls specified in the plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency. It is further understood that all documents, site plans, design reports etc., submitted to the district shall be made available to the public (upon request) pursuant to the Open Public Records Act, N.J.S.A. 47:1A-1 et seq.

1. Applicant Certification* Signature <u>Abhilasha Patel</u> Date <u>10/14/20</u> Applicant Name (Print) <u>Abhilasha Patel</u>		3. Plan determined complete: Signature of District Official _____ Date _____	
2. Receipt of fee, plan and supporting documents is hereby acknowledged: Signature of District Official _____ Date _____		4. Plan certified, denied or other actions noted above. Special Remarks: Signature of District Official _____ Date _____	

*If other than project owner, written authorization of owner must be attached.

SSCC251 AP10 3/18

APPENDIX A2

REQUIREMENTS, GUIDELINES AND PROCEDURES FOR
PREPARING AND IMPLEMENTING "STANDARDS FOR SOIL EROSION AND
SEDIMENT CONTROL IN NEW JERSEY"

An application for certification of a soil erosion and sediment control plan shall include the following items.

1. One copy of the complete subdivision, site plan or construction permit application, including key map as submitted to the municipality (Architectural drawings and building plans and specifications not required.) which includes the following:
 1. Location of present and proposed drains and culverts with their discharge capacities and velocities and support computations and identification of conditions below outlets.
 2. Delineation of any area subject to flooding from the 100-year storm in compliance with the Flood Plains Act (NJSA 58:16A) or applicable municipal zoning.
 3. Delineating of streams, wetlands, pursuant to NJSA 13:9B and other significant natural features within the project area.
 4. Soils and other natural resource information used. (Delineation of the project site on soil map is desirable utilizing the USDA Web Soil Survey.)
 5. Land cover and use of area adjacent to the land disturbance.
 6. All hydraulic and hydrologic data, describing existing and proposed watershed conditions and HEC HMS, HEC RAS, TR-55 and similar models, and other electronic input files, if used, of existing and proposed conditions and a completed copy of the Hydraulic and Hydrologic Data Base Summary Form, SSCC 251 HDF1.
2. Up to four copies of the soil erosion and sediment control plan* at the same scale as the site plan submitted to the municipality or other land use approval agency to include the following: (This information shall be detailed on the plat)
 1. Proposed sequence of development including duration of each phase in the sequence.
 2. Site grading plan showing delineation of land areas to be disturbed including proposed cut and fill areas together with existing and proposed profiles of these areas (an interim grading-erosion control plan may be required for large sites with extensive cuts and fills).
 3. Contours at a two-foot (or smaller) interval, showing present and proposed ground elevation.
 4. Locations of all streams and existing and proposed drains and culverts.
 5. Stability analysis of areas below all points of stormwater discharge which demonstrates a stable condition will exist or there will be no degradation of the existing condition.
 6. Location and detail of all proposed erosion and sediment control structures including profiles, cross sections, appropriate notes, and supporting computations.
 7. Location and detail of all proposed nonstructural methods of soil stabilization including types and rates of lime, fertilizer, seed, and mulch to be applied.
 8. Control measures for non-growing season stabilization of exposed areas where the establishment of vegetation is planned as the final control measure.
 9. For residential development - control measures to apply to dwelling construction on individual lots and notation that such control measures shall apply to subsequent owners if title is conveyed. This notation shall be shown on the final plat.
 10. Plans with a notation for maintenance of permanent soil erosion and sediment control measures and facilities during and after construction, also indicating who shall have responsibility for such maintenance.
 11. Where applicable, the location and details for all proposed soil restoration areas including appropriate notes and sequencing.
3. Appropriate fees. (As adopted by the individual district.)
4. Additional items as may be required.

*Individual districts may require modifications in the above list.

**SOIL CONSERVATION DISTRICT
ADDENDUM TO APPLICATION**

APPLICATION BY CORPORATION, PARTNERSHIP OR ORGANIZATION

OWNERSHIP DISCLOSURE AFFIDAVIT

Soil Conservation District requests that all applicants submit a complete list of ownership for purposes of determining conflicts of interest between the applicant and the board of members or their professionals. Attach Rider if necessary.

Disclosure of owners of organization and property subject to application. Any organization making an application for development under this act shall list the names and addresses of all members, stockholders, or individual partners (collectively, "interest holders"), including any other organization holding at least a 10% ownership interest in the organization, and shall also identify the owner of the property subject to the application, including any organization holding at least a 10% ownership interest in the property.

Listing of names and addresses of interest holders of applicant and owner organization.
If an organization owns an interest equivalent to 10% or more of another organization, subject to the disclosure requirements hereinabove described, that organization shall list the names and addresses of its interest holders holding 10% or greater interest in the organization.

Disclosure of all officers and trustees of a non-profit organization. A non-profit organization filing an application of development under this act shall list the names and addresses of all officers and trustees of the non-profit organization.

This disclosure requirement is continuing during the Certification period and transfer of ownership of more than 10% must be disclosed.

Organization or non-profit organization failing to disclose: fine. Any organization or non-profit organization failing to disclose in accordance with this act shall be subject to a fine of \$1,000 to \$10,000, which shall be recoverable in the name of the municipality in any court of record in the State in a summary manner pursuant to the "Penalty Enforcement Law" (N.J.S.A. 2A:58-1 et seq.)

Name and Address of Applicant:

(If Corporation, Name and Address of Registered Agent and Officers, Trustees):

Stockholders / Members / Partners:

I certify that the above statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

Abhilasha Patel

Print Name of Authorized Signatory & Title

Abhilasha Patel

Authorized Signature

Date



SOMERSET - UNION SOIL CONSERVATION DISTRICT

Somerset County 4-H Center
308 Milltown Road • Bridgewater, NJ 08807
(908) 526-2701 Fax (908) 575-3977

BERNARDS TOWNSHIP

FEE SCHEDULE

A. Single Family Subdivision - (detached single family on a single lot)

<u>No. of Lots</u>	<u>Certification Fee</u>
1-5	\$340.00
6-15	520.00
16-30	700.00
Over 30	1,245.00

NOTE: SINCE BERNARDS TOWNSHIP IMPLEMENTS SOIL EROSION CONTROL UNDER A STATE APPROVED ORDINANCE AND THE DISTRICT ONLY DOES REVIEW AND CERTIFICATION, PLEASE INSERT A NOTE ON THE SOIL EROSION PLAN THAT THE TOWNSHIP ENGINEER WILL RECEIVE 72-HOUR WRITTEN NOTIFICATION PRIOR TO THE START OF LAND DISTURBANCE.

B. Multi-family Residential – (townhouse, condominium, apartments, duplexes)

<u>Area</u>	<u>Certification Fee</u>
5000 Sq.Ft.-1 Ac.	\$340.00
2-5 Ac.	520.00
6-25 Ac.	700.00
26-50 Ac.	970.00
Over 50 Ac.	1,060.00

C. Site Plan – (commercial, industrial, parking lot, pipelines, utilities, roads, public facilities, land grading, quarrying, mining, landfills and demolitions)

<u>Area</u>	<u>Certification Fee</u>
5000 Sq.Ft.-1 Ac.	\$340.00
2-5 Ac.	520.00
6-25 Ac.	700.00
26-50 Ac.	970.00
Over 50 Ac.	1,060.00

* Round off acres to the nearest whole number

NOTE: All Certification Fees include a \$25.00 fee which represents a uniform statewide per application surcharge established by the State Soil Conservation Committee on Chapter 251 applications submitted to a N.J. Soil Conservation District. The fee will be used by the State Soil Conservation Committee to support program administration and is effective April 15, 2010.

D. Re-certification Fee

A fee of \$90.00 per hour will be charged to review plans that have been revised since certification or the certification has expired. The inspection fee will also be reviewed in accordance with the current fee schedule and the difference, if any, between the fees held by the District and the current fee will be charged. The minimum time charged will be one hour.

E. Resubmission Fee

A fee of \$90.00 per hour will be charged to review plans that have been withdrawn or denied. The inspection fee will also be reviewed in accordance with the current fee schedule and the difference, if any, between the fees held by the District and current fee will be charged. Plans on which the fees have been refunded will be considered new applications and appropriate fees under the current fee schedule submitted. The minimum time charged will be one hour.

F. Non-Compliance Fee

An additional fee of \$180.00 per inspection will be assessed on those sites where additional inspections are required as a result of non-compliance with the approved plan. This also includes projects which have not notified the District of start of construction on which a Violation Notice has been issued, or for each additional inspection after a requested Report of Compliance inspection has been made. No Report of Compliance will be issued until all non-compliance fees assessed by the District are paid in full.

G. Additional Fees For Projects Where the Original Fee Has Been Exhausted

Where a project continues beyond the original certification period or where extraordinary review, inspections or other services have exhausted the original project fee payment, the District shall notify the applicant that additional fees shall be required.

Such additional fees shall, at the option of the District, be based upon: (1) the hourly rates for such required additional services as established in the approved District fee schedule or (2) based upon the current approved fees for the area, number of lots or other units remaining to be completed and stabilized with permanent measures to control soil erosion and sedimentation. The District shall, upon the applicant's request, provide an accounting of services provided which have resulted in the exhaustion of the original inspection and enforcement fee payment.

With respect to this policy, extraordinary means additional required project review and inspection related services which exceed those anticipated under fees previously paid and cannot be covered by that fee amount.

H. Stop Construction Order Reimbursement Cost Fee

In the event that a Stop Construction Order must be issued by the District in order to obtain compliance with the provisions of a soil erosion control plan and/or the N.J. Soil Erosion and Sediment Control Act, Chapter 251, P.L. 1975, an additional fee to cover the reimbursement of legal, administrative and certification/inspection costs shall be charged. Such fees will be based upon current net hourly salary rates of applicable District officials and are calculated on the number of hours expended on the project in addition to any legal fees starting with the date of the Violation Notice. Net hourly salary means actual costs to the District and does not include public funds. All fees must be paid to the District within 14 days of the rescinding of the Stop Construction Order or the Order will be reinstated. The applicant will be notified by the District of the fee with cost documentation in writing.

I. Plan Withdrawal Policy

Upon written request by the applicant and approval by the Board of Supervisors, the unused portion of the certification fee and all inspection fees may be returned if the applicant withdraws the plan prior to certification. The portion of the certification fee refunded will be calculated by subtracting from the certification fee the current expense times the number of hours expended on the project.

If a request is made after certification has been obtained, the unused portion of the inspection fee may be returned. The amount will be calculated by subtracting from the inspection fee the current hourly expense times the number of hours expended on the project.

J. Returned Check Charge

A charge of \$35.00 will be assessed for any check which fails to properly clear through the bank. All work on the application will be stopped until all fees are paid.

Effective 3/1/2015



30 Independence Blvd., Suite 200
Warren, NJ 07059
908.668.8300

November 3, 2020

Via Federal Express

Mr. Matthew D. Loper, Board Secretary
Somerset County Planning Board
County Administration Building
20 Grove Street
P.O. Box 3000
Somerville, New Jersey 08876

**RE: Land Development Application
Proposed Parking Lot Expansion
300 North Maple Avenue
Block 803; Lot 2, 3, 5, 6 & 23
Township of Bernards (Basking Ridge)
Somerset County, New Jersey
BENJ File No. J200554**

Dear Mr. Loper:

Enclosed, please find the following documents constituting our formal submission to Somerset County with regard to the above referenced project:

- One (1) signed and sealed set of the *Preliminary & Final Site Plan* dated November 2, 2020, prepared by Bohler Engineering NJ, LLC;
- One (1) signed and sealed set of the Boundary, Topographic & Utility Survey dated May 5, 2020, prepared by Control Point Associates, Inc;
- One (1) signed and sealed set of the ALTA/NSPS Land Title Survey dated December 8, 2016; last revised December 15, 2016, prepared by US Surveyor;
- One (1) signed and sealed copy of the Stormwater Management Report dated November 2020, prepared by Bohler Engineering NJ, LLC;
- One (1) executed copy of the Land Development Application dated October 14, 2020;
- One (1) copy of the Review Fee Schedule;
- One (1) copy of the Completeness Checklist; and
- One (1) certified check in the amount of \$150.00, made payable to Treasurer, County of Somerset, to cover the Application Fee.

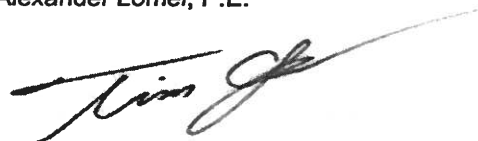
Should you have any questions, or require further information, please do not hesitate to contact the undersigned.

Sincerely,

BOHLER ENGINEERING NJ, LLC



Alexander Lomei, P.E.



Timothy M. Aguilar, P.E.

Enclosures

cc: Abhilasha Bhalani Patel, Verizon – Global Real Estate (cover letter only via email)

AS/gs G:\2020\J200554\Admin\Letters-OUT\County-01 Initial Submission (Loper).doc

SOMERSET COUNTY PLANNING BOARD

**Telephone (908) 231-7021; Fax (908) 707-1749; TDD (908) 231-7168
P.O. Box 3000, Somerville, N.J. 08876-1262**

LAND DEVELOPMENT APPLICATION FORM CHECKLIST & REVIEW FEE SCHEDULE

The *Somerset County Land Development Review Resolution* requires that certain proposed land development proposals be submitted to the Somerset County Planning Board for review and, where required, approval. Land development activities subject to County Planning Board approval include:

- All subdivisions and resubdivisions of land within Somerset County.
- All site plans for land development
- Change of Use applications

This application form shall be completed by the applicant, or the applicant's designated agent and submitted with all required documents to the Somerset County Planning Board. This application consists of three (3) parts, each of which shall be completed as indicated.

- Part I – Project Information
- Part II – Review Fee Schedule
- Part III – Submission Contents Checklist

One set of plans and supporting documents shall be submitted.

Somerset County is an equal opportunity employer.

PART I – PROJECT INFORMATION

For new land development applications, complete Sections A-E and sign the application in Section F. For resubmissions and revisions, fill out Section A, update Sections B-E for any change in information, and sign the application in Section F.

SECTION A – PROJECT IDENTIFICATION

PROJECT NAME Proposed Parking Lot Expansion

MUNICIPALITY Bernards Township

BLOCK(S) 803 LOT(S) 2, 3, 5, 6 & 23

STREET ADDRESS 300 North Maple Avenue

TAX MAP PAGE 8 DATE OF PLANS BEING SUBMITTED 10/16/2020

LOCAL BOARD REVIEWING APPLICATION:

PLANNING BOARD X BOARD OF ADJUSTMENT

COUNTY PLANNING BOARD FILE # (for resubmissions/revisions)

SECTION B – APPLICANT AND CONTACT INFORMATION

APPLICANT'S NAME Daniel Walradt - Verizon Corporate Services Group, Inc.

ADDRESS One Verizon Way, Basking Ridge, NJ 07920

TELEPHONE (908) 373-2110 FAX

E-MAIL Dwalradt@usa-bhi.com

PLAN PREPARER'S NAME David F. Wisotsky, PE - Bohler

PLAN PREPARER'S ADDRESS 30 Independence Blvd., Suite 200, Warren, NJ 07059

TELEPHONE (908) 668-8300 FAX (908) 754-4401

E-MAIL dwisotsky@bohlereng.com

ATTORNEY'S NAME Steven J. Tripp - Wilentz, Goldman & Spitzer, PA

ATTORNEY'S ADDRESS 90 Woodbridge Center Drive, Suite 900, Woodbridge, NJ 07095

TELEPHONE (732) 855-6076 FAX (732) 726-6524

E-MAIL stripp@wilentz.com

SECTION C – SITE DATA

AREA OF TRACT 34.991 acres

DEDICATED OPEN SPACE 12.781 acres

PUBLIC SEWER

YES X

NO _____

- No sewer improvements proposed as part of the application.

PUBLIC WATER

YES X

NO _____

- No water improvements proposed as part of the application.

REDEVELOPMENT

YES X

NO _____

SECTION D – SUBDIVISION INFORMATION - Not Applicable

SUBDIVISION TYPE RESIDENTIAL (✓) _____ NONRESIDENTIAL (✓) _____

NUMBER OF NEW BUILDING LOTS _____

NEW BUILDING LOTS PROPOSED UNDER FAIR HOUSING ACT _____

TOTAL AREA OF NEW BUILDING LOTS _____ acres

AVERAGE AREA OF NEW BUILDING LOTS _____ acres

NUMBER OF MULTI-FAMILY LOTS _____

LENGTH OF NEW STREET _____ linear feet

SECTION E – SITE PLAN INFORMATION

<u>TYPE (✓)</u>	<u>NUMBER OF UNITS</u>	<u>AMOUNT OF NEW SQ. FOOTAGE</u>	<u>NUMBER OF NEW PARKING SPACES</u>
_____ RESIDENTIAL	_____	_____	_____
Living Units	_____	_____	
Attached Units	_____		
Fair Housing Act Units	_____		
_____ COMMERCIAL/RETAIL		_____	_____
_____ OFFICE		_____	_____
_____ INDUSTRIAL/WAREHOUSE		_____	_____
_____ PUBLIC/INSTITUTIONAL		_____	_____
<u>X</u> _____ OTHER - Parking Expansion		<u>0</u>	<u>50 spaces</u>

SECTION F - SIGNATURE

SIGNED Abhilasha Patel
(SIGNATURE OF APPLICANT OR AGENT)

DATE 10/14/2020

PART II – REVIEW FEE SCHEDULE

A review fee shall apply to each subdivision and land development submitted to the Somerset County Planning Board for review in accordance with the New Jersey County Enabling Act, Section 40 27-6.2 and 40 27-6.6. Fees shall be submitted with the submission package to the County Planning Board located in the County Administration Building, 20 Grove Street, Somerville, New Jersey. Only certified checks or money orders, payable to Treasurer, County of Somerset, will be accepted. Review will not commence until the proper fees and accompanying plans and supporting documents are received by the County Planning Board. The review fee is non-refundable.

One pre-application meeting and/or submission of a concept plan will be considered by the Planning Board when requested by the applicant. Subsequent meetings and reviews of documents will only be considered upon receipt of a completed Somerset County Land Development Application Form and Checklist with the appropriate fee.

Complete all sections of the fee schedule below that apply.

SECTION A – REVIEW FEE EXEMPTION (Check reason for exemption)

1. ☐ Lot line adjustments where no building lots are being created.
2. ☐ Minor building additions not on a county road involving less than 1,000 sq. ft. and no additional parking.
3. ☐ Plans submitted by a duly recognized nonprofit institution or municipality.
4. ☐ Housing units proposed as per the Fair Housing Act. *Only the specific housing units or lots proposed under the Fair Housing Act are exempt from the review fee.*

SECTION B – SUBDIVISION REVIEW FEE (Check appropriate category)

If uncertain whether the proposed development impacts a County facility, the applicant should submit the lesser fee. If the County determines that the project impacts a County facility, the County will notify the applicant as to the correct fee in the first County Planning Board report.

1. ☐ A minor subdivision which contains two (2) or fewer new lots, which does not impact a County road or drainage facility as determined by the County.
\$150.00 flat fee \$ _____
2. ☐ A minor subdivision which contains two (2) or fewer new lots, which impacts a County road or drainage facility as determined by the County.
\$200.00 flat fee \$ _____
3. ☐ A major subdivision which contains three (3) or more new lots, which does not impact a County road or drainage facility as determined by the County.
\$300.00 flat fee \$ _____
4. ☐ A major subdivision which contains three (3) or more new lots, which impacts a County road or drainage facility as determined by the County.
\$400.00 flat fee plus \$ _____
\$20.00 per new lot + \$ _____
5. ☐ A Final Plat
\$300.00 flat fee \$ _____

SECTION C – SITE PLAN REVIEW FEE (Check appropriate category)

If uncertain whether the proposed development impacts a County facility, the applicant should submit the lesser fee. If the County determines that the project impacts a County facility, the County will notify the applicant upon issuance of the first County Planning Board report.

1. ☒ A site plan which does not impact a County road or drainage facility as determined by the County.
\$150.00 flat fee \$ 150.00
2. ☐ A site plan which impacts a County road or drainage facility as determined by the County.
\$400.00 flat fee plus \$ _____
\$10.00 per parking stall Commercial/Office + \$ _____
\$2.00 per 100 sq. ft. Industrial + \$ _____
\$20.00 per dwelling unit Residential + \$ _____

For projects requiring a more detailed engineering/planning review, an escrow account may be required to cover the actual cost of completing the review of the project. The County Planning Board will advise the applicant of this amount when applicable.

SECTION D – TOTAL APPLICATION FEE

\$ 150.00

SECTION E – REVISION FEE (Check appropriate category)

A revision fee must be submitted for revised plans, stormwater management reports, traffic reports and other supporting documentation.

1. ☐ 1st revision - no revision fee
 2. ☐ 2nd and each subsequent revision
- | | | |
|----------|---|----------|
| \$150.00 | Minor Subdivision (2 or fewer new lots) | \$ _____ |
| \$300.00 | Major Subdivision (3 or more new lots) | \$ _____ |
| \$300.00 | All Site Plans | \$ _____ |

SECTION F – GEOGRAPHIC INFORMATION SYSTEM FEE (Check appropriate category)

A separate check shall be submitted for the Geographic Information System fee as listed below.

- | | |
|--|----------|
| \$25.00 per plat plus | \$ _____ |
| \$10.00 per new lot | \$ _____ |
| \$25.00 per site plan if proposed structure is greater the 400 sq. ft. | \$ _____ |

PART III – COMPLETENESS CHECKLIST

SOMERSET COUNTY LAND DEVELOPMENT COMPLETENESS CHECKLIST

The Somerset County Land Development Application Completeness Checklist is part of the adopted *Somerset County Land Development Review Resolution*. For further clarification concerning items on the checklist refer to the *Land Development Review Resolution*. The *Land Development Review Resolution* may be viewed on the Somerset County website at (www.co.somerset.nj.us/planweb/index.htm; select Planning Division, then Land Development Review). Somerset County Planning and Engineering staffs are authorized to make all determinations on completeness. Please refer to the *Land Development Review Resolution* for appropriate thresholds for traffic and stormwater management reports.

Any applicant seeking a waiver from any item on this completeness checklist shall provide a detailed written explanation for each waiver request being sought. If deemed necessary, this written request and accompanying explanation will be brought before the Somerset County Land Development Committee for review and consideration. The applicant will be advised in writing of the Land Development Committee's decision concerning the waiver request(s).

Somerset County Land Development Completeness Checklist

The following checklist is to be completed and included with the standard application form:

I=Incomplete

NA=Not Applicable

C=Complete

General Requirements

- | I | NA | C | |
|-----------------------|----------------------------------|----------------------------------|---|
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 1. Completed current County Land Development Application form with all required attachments. (http://www.co.somerset.nj.us/planweb/pdf/appformlist.pdf) |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 2. Review or revision fees paid in full by certified check. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 3. Written description of application. Description must include existing and proposed use. Any items marked not applicable on this checklist must be fully explained within the written description. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 4. Copy of complete application as submitted to municipality. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 5. Copy of all applications to other review agency (NJDEP, Soil Conservation, Canal Commission, etc.). |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 6. Historical Impact Statement (if required by Chapter 8 of Resolution). If not applicable, state reason in written description of project. The subject site is not a property on the Listed National & NJ Registers of Historic Places. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 7. Agricultural Impact Statement (if required by Chapter 8 of Resolution). If not applicable, state reason in written description of project. This application does not propose a major subdivision. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 8. Recycling Plan Element (if required by Chapter 8 of Resolution). If not applicable, state reason in written description of project. This application does not propose any residential, commercial, office space or industrial building improvements. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 9. Copy of Highlands Preservation Area Approval (if applicable). Please refer to http://www.highlands.state.nj.us/njhighlands/ for more information on requirements. If not applicable, state reason in written description of project. The subject site is not located in a Highlands Preservation Area. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 10. Number of COAH units must be listed in the written description of application and shown on plan. |

Plan Requirements

- | | | | |
|-----------------------|----------------------------------|-----------------------|---|
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 11. Title page with a legible key map, containing a north arrow, at a scale suitable to easily find the site for a field inspection. The title page must also include the project name and the 3"x 4" County acceptance stamp block. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 12. Construction plans showing all proposed improvements to County facilities at a scale of 1"=30' signed and sealed by a professional engineer prepared in accordance with County standards. All sheets are to contain the scale of plan (written and graphic) and a correctly oriented north arrow. Existing features must be shown consistent with the Plan of Survey. |

- | I | NA | C | |
|-----------------------|----------------------------------|----------------------------------|--|
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 13. County construction details, drawn to scale, and applicable specifications. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 14. Title block (Per N.J.S.A.13:40-1.3) containing type/name of application, plan preparer, existing block and lot numbers, and date of plan with revision dates. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 15. County facilities and surrounding topography and features must be shown for a minimum distance of 200' beyond the tract boundaries. For projects affecting County facilities this includes pavement, curb, drainage systems, utilities, vegetation, striping, signage (sign type and description), signals and similar features. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 16. Zone district of site and adjoining areas, name of applicant, owner and applicant's attorney. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 17. Existing and proposed square footage (per floor) and use of building(s) listed. Number and type of new units is to be specified. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 18. Current signed and sealed Plan of Survey of the property in question prepared in accordance with N.J.S.A.13:40-5.1. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 19. Names of all property owners within 200' with lot and block numbers shown and adjacent lot numbers shown on all sheets. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 20. Right-of-way dedication(s) to the County consistent with County standards and the County Master Plan shown on the plan with signed and sealed metes and bounds descriptions by a professional land surveyor. No improvements proposed within the County Right-of-Way. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 21. Proposed access location and configuration in accordance with Chapter 4 of the Land Development Review Resolution and applicable County standards.
No improvements proposed within the County Right-of-Way. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 22. For improvements within the County right-of-way, the centerline of the County road is to be defined with bearings, distances and curve data with stationing every 50 feet increasing to the north or east.
No improvements proposed within the County Right-of-Way. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 23. Lines of sight per County standards shown in plan and profile views with proposed treatment to provide clear lines of sight. Sight easements are to be shown per County standards.
No improvements proposed within the County Right-of-Way. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 24. Intersection Grading Plan drawn at 1"=20' showing pavement and curb elevations as needed to ensure proper construction and positive drainage control. Superfluous information is to be omitted from the Intersection Grading Plan.
No improvements proposed within the County Right-of-Way. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 25. Cross sections of the County road drawn per County standards at 1"=5' (horizontal and vertical) with existing and proposed elevations.
No improvements proposed within the County Right-of-Way. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 26. Typical roadway section(s) of the County road in accordance with County standards.
No improvements proposed within the County Right-of-Way. |

- | I | NA | C | |
|-----------------------|----------------------------------|-----------------------|---|
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 27. Proposed utility connections within the County right-of-way (sanitary, water, gas, electric, etc.) with pavement restoration details and specifications per County standards.
No improvements proposed within the County Right-of-Way. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 28. Profile of driveway or sidestreet intersecting the County road showing smooth profile with grades matching cross sections and intersection-grading plan.
No improvements proposed within the County Right-of-Way. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 29. Provisions for the collection of recyclables in multi-family residential and commercial developments.
No building improvements or use modifications proposed as part of this application. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 30. Signage and striping plan per County standards.
No improvements proposed within the County Right-of-Way. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 31. Traffic control plan for construction of improvements to County facilities.
No improvements proposed within the County Right-of-Way. |

Stormwater Management Requirements

- | | | | |
|-----------------------|----------------------------------|----------------------------------|--|
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 32. Stormwater management report prepared in accordance with County standards, signed and sealed by a professional engineer. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 33. Full-scale drainage area maps for existing and proposed conditions showing correct delineation of sub-areas, times of concentration with flow paths and slopes, soil and cover types and downstream point of analysis. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 34. Proposed treatment consistent with County standards for intercepting, detaining and treating all stormwater runoff directed to County facilities. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 35. Adequate drainage improvements to ensure proper drainage at access point(s) and along the County road. The proposed stormwater design does not connect into the County drainage system. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 36. Drainage calculations showing proposed drainage facilities in accordance with the appropriate requirements. |
| <input type="radio"/> | <input type="radio"/> | <input checked="" type="radio"/> | 37. Contours and spot elevations to determine existing and proposed drainage patterns. |

Traffic Requirements

- | | | | |
|-----------------------|----------------------------------|-----------------------|---|
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 38. Traffic Impact Study including: Existing, No Build, and Build Traffic Volumes, New Trip Distribution Figures, Pass-by Trip Distribution Figures, Site Generated New Trip Figures, Site Generated Pass-by Trip Figures, Site Generated Total Trip Figures, Existing, No Build, Build, and Build with Mitigation Levels of Service Figures, Proposed Mitigation Measures, Sketch of Proposed Mitigation Measures and Cost Estimate for Proposed Mitigation Measures.
The proposed improvements do not generate additional vehicular traffic. |
| <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | 39. Traffic Impact Study Technical Appendix, including: Traffic Count Data (Manual Count Sheets / ATR's), Trip Generation Calculations, including pass-by calculations, Gravity Model (if applicable) and Capacity Analysis Worksheets.
The proposed improvements do not generate additional vehicular traffic. |



30 Independence Blvd., Suite 200
Warren, NJ 07059
908.668.8300

November 3, 2020

Via Certified Mail

**RE: Application for a NJDEP
Freshwater Wetlands Letter of Interpretation
Presence/Absence Footprint of Disturbance
Flood Hazard Area Applicability
Determination and Riparian Zone Verification
Proposed Parking Lot Expansion
300 North Maple Avenue
Block 803, Lots 2, 3, 5, 6 and 23
Bernards Township
Somerset County, New Jersey
BENJ File No. J200554**

Dear Interested Party:

This letter is to provide you with legal notification that an application for a freshwater wetland Letter of Interpretation presence/absence footprint of disturbance, a flood hazard area applicability determination and a riparian zone verification will be submitted by Verizon Global Real Estate to the New Jersey Department of Environmental Protection (NJDEP), Division of Land Use Regulation Program for the development shown on the enclosed plan. The regulated activities for which Verizon Global Real Estate requests NJDEP approval are associated with the conversion of an existing tennis court to parking lot with an associated driveway located at the above address.

The complete permit application package can be reviewed at the municipal clerk's office in the municipality in which the site subject to the application is located or by appointment at the Department's Trenton Office. In addition, an electronic copy of the initial application can be provided via an OPRA request by contacting <https://www.nj.gov/dep/opra/opraform.html> from the Department's Trenton Office. The Department of Environmental Protection welcomes comments and any information that you may provide concerning the proposed development and site. Please submit your written comments within 45 calendar days of receiving this letter to:

New Jersey Department of Environmental Protection
Division of Land Use Regulation
P.O. Box 420, Code 501-02A
Trenton, New Jersey 08625
Attn: Bernards Township Supervisor

When the NJDEP has decided the application qualifies for approval under the Freshwater Wetlands Protection Act Rules, the NJDEP will notify the Township clerk of the final decision on the application.

Please call me at (908) 668-8300 if you have any questions regarding this application.

Sincerely,

BOHLER ENGINEERING NJ, LLC

Micelle Measday
Senior Environmental Specialist

MSM/gs - G:\2020\J200554\Admin\@Submission Packages\NJDEP - 2020-11-03 - FHA AD + FW LOI P-A\04 Notification Ltr.docx

Enclosure

www.BohlerEngineering.com



THIS PLAN IS TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS

N.J.S.H. ROUTE 287

ROUTE 287
NORTH HAVEN, NEW JERSEY

BOHLER
INCORPORATED
100 NORTH HAVEN AVENUE
NORTH HAVEN, NEW JERSEY 07063
TEL: 201-391-1100
FAX: 201-391-1101
WWW.BOHLERINC.COM

REVISIONS		
NO.	DATE	DESCRIPTION



ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT NO. 201-00000000000000000000

PRELIMINARY & FINAL SITE PLAN

VERIZON CORPORATE SERVICES GROUP, INC.

PROPOSED
BUILDING LOT EASEMENT
BLOCK 101 LOT 1 & 2
300 NORTH HAVEN AVENUE
NORTH HAVEN, NEW JERSEY 07063

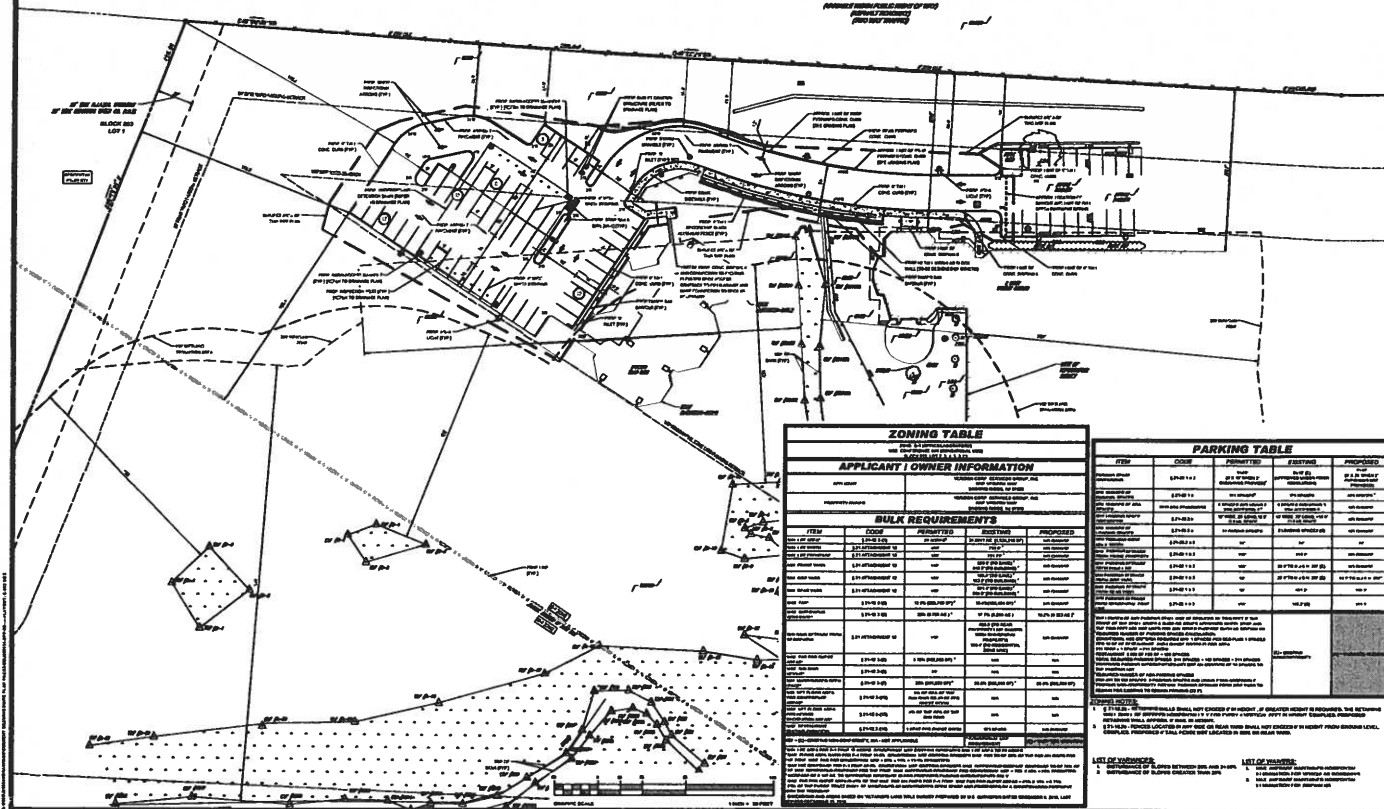
BOHLER
INCORPORATED
100 NORTH HAVEN AVENUE
NORTH HAVEN, NEW JERSEY 07063
TEL: 201-391-1100
FAX: 201-391-1101
WWW.BOHLERINC.COM

D.F. WISOTSKY
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 12-00000000000000000000
VERIZON CORPORATE SERVICES GROUP, INC.

SITE LAYOUT PLAN

C-302

DWG. DATE: 1/20/2010



ZONING TABLE			
APPLICANT / OWNER INFORMATION			
PROJECT NO. 201-00000000000000000000			
BULK REQUIREMENTS			
ITEM	CODE	PERMITTED	PROPOSED
1. MAX. LOT AREA	1.1	1.1	1.1
2. MAX. LOT WIDTH	2.1	2.1	2.1
3. MAX. LOT DEPTH	3.1	3.1	3.1
4. MAX. LOT COVERAGE	4.1	4.1	4.1
5. MAX. LOT SETBACK	5.1	5.1	5.1
6. MAX. LOT FRONT SETBACK	6.1	6.1	6.1
7. MAX. LOT SIDE SETBACK	7.1	7.1	7.1
8. MAX. LOT REAR SETBACK	8.1	8.1	8.1
9. MAX. LOT FRONT YARD SETBACK	9.1	9.1	9.1
10. MAX. LOT SIDE YARD SETBACK	10.1	10.1	10.1
11. MAX. LOT REAR YARD SETBACK	11.1	11.1	11.1
12. MAX. LOT FRONT SETBACK	12.1	12.1	12.1
13. MAX. LOT SIDE SETBACK	13.1	13.1	13.1
14. MAX. LOT REAR SETBACK	14.1	14.1	14.1
15. MAX. LOT FRONT YARD SETBACK	15.1	15.1	15.1
16. MAX. LOT SIDE YARD SETBACK	16.1	16.1	16.1
17. MAX. LOT REAR YARD SETBACK	17.1	17.1	17.1
18. MAX. LOT FRONT SETBACK	18.1	18.1	18.1
19. MAX. LOT SIDE SETBACK	19.1	19.1	19.1
20. MAX. LOT REAR SETBACK	20.1	20.1	20.1
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29. MAX. LOT REAR YARD SETBACK	29.1	29.1	29.1
30. MAX. LOT FRONT SETBACK	30.1	30.1	30.1
31. MAX. LOT SIDE SETBACK	31.1	31.1	31.1
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43. MAX. LOT SIDE SETBACK	43.1	43.1	43.1
44. MAX. LOT REAR SETBACK	44.1	44.1	44.1
45. MAX. LOT FRONT YARD SETBACK	45.1	45.1	45.1
46. MAX. LOT SIDE YARD SETBACK	46.1	46.1	46.1
47. MAX. LOT REAR YARD SETBACK	47.1	47.1	47.1
48. MAX. LOT FRONT SETBACK	48.1	48.1	48.1
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50. MAX. LOT REAR SETBACK	50.1	50.1	50.1
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92. MAX. LOT REAR SETBACK	92.1	92.1	92.1
93. MAX. LOT FRONT YARD SETBACK	93.1	93.1	93.1
94. MAX. LOT SIDE YARD SETBACK	94.1	94.1	94.1
95. MAX. LOT REAR YARD SETBACK	95.1	95.1	95.1
96. MAX. LOT FRONT SETBACK	96.1	96.1	96.1
97. MAX. LOT SIDE SETBACK	97.1	97.1	97.1
98. MAX. LOT REAR SETBACK	98.1	98.1	98.1
99. MAX. LOT FRONT YARD SETBACK	99.1	99.1	99.1
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PARKING TABLE			
ITEM	CODE	PERMITTED	PROPOSED
1. MAX. LOT AREA	1.1	1.1	1.1
2. MAX. LOT WIDTH	2.1	2.1	2.1
3. MAX. LOT DEPTH	3.1	3.1	3.1
4. MAX. LOT COVERAGE	4.1	4.1	4.1
5. MAX. LOT SETBACK	5.1	5.1	5.1
6. MAX. LOT FRONT SETBACK	6.1	6.1	6.1
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9. MAX. LOT FRONT YARD SETBACK	9.1	9.1	9.1
10. MAX. LOT SIDE YARD SETBACK	10.1	10.1	10.1
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17. MAX. LOT REAR YARD SETBACK	17.1	17.1	17.1
18. MAX. LOT FRONT SETBACK	18.1	18.1	18.1
19. MAX. LOT SIDE SETBACK	19.1	19.1	19.1
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47. MAX. LOT REAR YARD SETBACK	47.1	47.1	47.1
48. MAX. LOT FRONT SETBACK	48.1	48.1	48.1
49. MAX. LOT SIDE SETBACK	49.1	49.1	49.1
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73. MAX. LOT SIDE SETBACK	73.1	73.1	73.1
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84. MAX. LOT FRONT SETBACK	84.1	84.1	84.1
85. MAX. LOT SIDE SETBACK	85.1	85.1	85.1
86. MAX. LOT REAR SETBACK	86.1	86.1	86.1
87. MAX. LOT FRONT YARD SETBACK	87.1	87.1	87.1
88. MAX. LOT SIDE YARD SETBACK	88.1	88.1	88.1
89. MAX. LOT REAR YARD SETBACK	89.1	89.1	89.1
90. MAX. LOT FRONT SETBACK	90.1	90.1	90.1
91. MAX. LOT SIDE SETBACK	91.1	91.1	91.1
92. MAX. LOT REAR SETBACK	92.1	92.1	92.1
93. MAX. LOT FRONT YARD SETBACK	93.1	93.1	93.1
94. MAX. LOT SIDE YARD SETBACK	94.1	94.1	94.1
95. MAX. LOT REAR YARD SETBACK	95.1	95.1	95.1
96. MAX. LOT FRONT SETBACK	96.1	96.1	96.1
97. MAX. LOT SIDE SETBACK	97.1	97.1	97.1
98. MAX. LOT REAR SETBACK	98.1	98.1	98.1
99. MAX. LOT FRONT YARD SETBACK	99.1	99.1	99.1
100. MAX. LOT SIDE YARD SETBACK	100.1	100.1	100.1



30 Independence Blvd., Suite 200
Warren, NJ 07059
908.668.8300

November 3, 2020

Via Federal Express

New Jersey Department of Environmental Protection
Division of Land Resource Protection
501 East State Street
5 Station Plaza, 2nd Floor
Trenton, New Jersey 08625

Attn: Application Support Area

RE: Application for a Freshwater Wetlands
Letter of Interpretation Presence/Absence –
Footprint of Disturbance
Flood Hazard Area Applicability Determination
and Riparian Zone Verification
Proposed Parking Lot Expansion
Block 803, Lots 2, 3, 5, 6 and 23
Bernards Township
Somerset County, New Jersey
BENJ #J200554

Dear Application Support:

We respectively request a Freshwater Wetlands Letter of Interpretation, Presence/Absence Footprint of Disturbance, Flood Hazard Area Applicability Determination and Riparian Zone Verification for the above referenced project pursuant to the New Jersey Freshwater Wetland Protection Act Rules at N.J.A.C. 7:7A and the Flood Hazard Area Protection Act Rules at N.J.A.C. 7:13. Specifically enclosed for your review are copies of the following:

One (1) copy of the following:

- NJDEP Freshwater Wetland Letter of Interpretation Presence/Absence
- NJDEP Flood Hazard Area Application Checklist Applicability Determination
- NJDEP LURP Form
- Application for a Letter of Interpretation Presence/Absence Footprint of Disturbance Report
- Application for Flood Hazard Area Applicability Determination Report
- Verification of Certified Mail Notices to:
 - Township Clerk (entire application)
 - Township Construction Official
 - Township Environmental Commission
 - Township Planning Board
 - Somerset County Planning Board
 - Somerset-Union Soil Conservation District
 - Property Owners within 200'
- Certified Property Owners List

BOHLER //

New Jersey Department of Environmental Protection
Division of Land Use Regulation
BENJ File No. J200554
November 3, 2020
Page 2 of 2

- Notification Letter with Plan
- One (1) check in the amount of \$2,000.00, made payable to Treasurer, State of New Jersey, to cover the Application Fee
- A CD containing all application materials

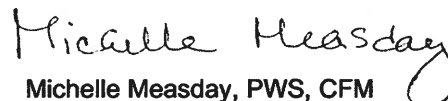
Three (3) signed and sealed copies of the following:

- NJDEP Freshwater Wetland Area Plan dated November 2, 2020, prepared by Bohler Engineering NJ, LLC
- NJDEP Riparian Zone Verification Plan dated November 2, 2020, prepared by Bohler Engineering NJ, LLC

Should you have any questions or comments or require any additional information, please do not hesitate to contact the undersigned.

Sincerely,

BOHLER ENGINEERING NJ, LLC


Michelle Measday, PWS, CFM
Senior Environmental Specialist

MSM/gs - G:\2020\J200554\Admin\Submission Packages\NJDEP - 2020-11-03 - FHA AD + FW LOI P-A\00 Application Cover Letter.doc
Enclosures

cc: Bernards Township Clerk



State of New Jersey
Department of Environmental Protection
Division of Land Use Regulation
Application Form for Permit(s)/Authorization(s)
501 E. State Street Mail Code 501-02A P.O. Box 420
Trenton, NJ 08625-0420
Phone #: (609) 777-0454 Web: www.nj.gov/dep/landuse



Please print legibly or type the following: Complete all sections and pages unless otherwise noted. Is this project a NJDOT Priority 1 Repair Project? Yes ☐ No ☒

Initial Application ☒ Response to DLUR Deficiency ☐ Extension / Modification ☐

Is this project a NJDOT Priority 2 Repair Project? Yes ☐ No ☒

Verizon Corporate Services Group, Inc.

1. Applicant Name: Mr./Ms./Mrs. c/o Daniel Walradt
Address: One Verizon Way
City/State: Basking Ridge/NJ

E-Mail: Dwalradt@usa-bhi.com
Daytime Phone: 908-373-2110 Ext.
Zip Code 07920 Cell Phone:

2. Agent Name: Mr./Ms./Mrs. Michelle Measday
Firm Name: Bohler Engineering NJ, LLC
Address: 30 Independence Boulevard
City/State: Warren/NJ

E-Mail: mmeasday@bohlereng.com
Daytime Phone: 908-668-8300 Ext.
Zip Code 07059 Cell Phone:

3. Property Owner: Mr./Ms./Mrs. Same as applicant
Address:
City/State:

E-mail:
Daytime Phone: Ext.
Zip Code Cell Phone:

4. Project Name: Proposed Parking Lot Expansion
Municipality: Bernards Township (Basking Ridge)
Block(s): 803

Address/Location: 300 North Maple Avenue
County: Somerset Zip Code 07920
Lot(s): 2, 3, 5, 6 and 23

N.A.D. 1983 State Plane Coordinates (feet) E(x): 479,936 N(y): 688,270

Not Longitude/Latitude

Watershed: Passaic River Upper (above Pine Brook branch)

Subwatershed: Passaic River Upper (above Osborn Mills)

Nearest Waterway: Passaic River tributary

5. Project Description: The applicant proposes to replace existing tennis courts with a parking lot.

Provide if applicable: Previous LUR File # (s): 1802-20-0001.1

Waiver request ID # (s):

A. SIGNATURE OF APPLICANT (required):

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this document and all attachments and that, based on my inquiry of those individuals immediately responsible for obtaining and preparing the information, I believe that the information is true, accurate, and complete. I am aware that there are significant penalties for knowingly submitting false information, including the possibility of fine and imprisonment. If the applicant is an organization such as a corporation, municipal entity, home-owners association etc., the party responsible for the application shall sign on behalf of the organization.

Abhilasha Patel
Signature of Applicant

10/14/2020
Date

Daniel Walradt
Print Name

Signature of Applicant

Date

Print Name

B. PROPERTY OWNER'S CERTIFICATION

I hereby certify that the undersigned is the owner of the property upon which the proposed work is to be done. This endorsement is certification that the owner/easement holder grants permission for the conduct of the proposed activity. In addition, written consent is hereby given to allow access to the site by representatives or agents of the Department for the purpose of conducting a site inspection(s) or survey(s) of the property in question.

In addition, the undersigned property owner hereby certifies:

1. Whether any work is to be done within an easement? Yes ☐ No ☒
(If answer is "Yes" - Signature/title of responsible party is required below)
2. Whether any part of the entire project will be located within property belonging to the State of New Jersey? Yes ☐ No ☒
3. Whether any work is to be done on any property owned by any public agency that would be encumbered by Green Acres? Yes ☐ No ☒
4. Whether this project requires a Section 106 (National Register of Historic Places) Determination as part of a federal approval? Yes ☐ No ☒

Abhilasha Patel
Signature of Owner
10/14/2020
Date
Daniel Walradt Abhilasha Patel
Print Name

Signature of Owner/Easement Holder

Date

Print Name/Title

C. APPLICANT'S AGENT

I Daniel Walradt Abhilasha Patel the Applicant/Owner and _____, co-Applicant/Owner authorize to act as my agent/representative in all matters pertaining to my application the following person:

Michelle Measday
Name of Agent
Sr. Environmental Specialist
Occupation/Profession of Agent

Abhilasha Patel
Signature of Applicant/Owner
10/14/2020
Signature of co-Applicant/Owner

AGENT'S CERTIFICATION:

I agree to serve as agent for the above-referenced applicant:

Michelle Measday
Signature of Agent

Bohler Engineering NJ, LLC

Name of Firm

D. STATEMENT OF PREPARER OF PLANS, SPECIFICATIONS, SURVEYOR'S OR ENGINEER'S REPORT

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this document and all attachments and that, based on my inquiry of those individuals immediately responsible for obtaining and preparing the information, I believe that the information is true, accurate, and complete. I am aware that there are significant penalties for knowingly submitting false information, including the possibility of fine and imprisonment.

David F. Wisotsky
Signature
David F. Wisotsky, P.E.
Print Name
Principal, Bohler Engineering NJ, LLC
Position & Name of Firm
42951
Professional License #

Date

E. STATEMENT OF PREPARER OF APPLICATION, REPORTS AND/OR SUPPORTING DOCUMENTS (other than engineering)

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this document and all attachments and that, based on my inquiry of those individuals immediately responsible for obtaining and preparing the information, I believe that the information is true, accurate, and complete. I am aware that there are significant penalties for knowingly submitting false information, including the possibility of fine and imprisonment.

Michelle Measday
Signature
Michelle Measday, PWS, CFM
Print Name
Sr. Env. Specialist, Bohler Engineering NJ, LLC
Position & Name of Firm

Professional License #
(If Applicable)
11/3/20
Date

APPLICATION(S) FOR: Please check each permit/authorization that you are applying for and fill in the calculated fee (for each) in the Fee Paid column

	Freshwater Wetlands General Permits	Fee Amount	Fee Paid
<input type="checkbox"/>	FWGP1 Main. & Repair Exist Feature	\$1,000.00	
<input type="checkbox"/>	FWGP2 Underground Utility Lines	\$1,000.00	
<input type="checkbox"/>	FWGP3 Discharge of Return Water	\$1,000.00	
<input type="checkbox"/>	FWGP4 Hazard Site Invest/Cleanup	\$1,000.00	
<input type="checkbox"/>	FWGP5 Landfill Closures	\$1,000.00	
<input type="checkbox"/>	FWGP6 Filling of Non-Tributary Wetlands	\$1,000.00	
<input type="checkbox"/>	FWGP6A TA Adj. to Non-Tributary Wetlands	\$1,000.00	
<input type="checkbox"/>	FWGP7 Human-made Ditches/Swales in Headwaters	\$1,000.00	
<input type="checkbox"/>	FWGP8 House Additions	\$1,000.00	
<input type="checkbox"/>	FWGP9 Airport Sight-line Clearing	\$1,000.00	
<input type="checkbox"/>	FWGP10A Very Minor Road Crossings	\$1,000.00	
<input type="checkbox"/>	FWGP10B Minor Road Crossings	\$1,000.00	
<input type="checkbox"/>	FWGP11 Outfalls / Intakes Structures	\$1,000.00	
<input type="checkbox"/>	FWGP12 Surveying and Investigating	\$1,000.00	
<input type="checkbox"/>	FWGP13 Lake Dredging	\$1,000.00	
<input type="checkbox"/>	FWGP14 Water Monitoring Devices	\$1,000.00	
<input type="checkbox"/>	FWGP15 Mosquito Control Activities	\$1,000.00	
<input type="checkbox"/>	FWGP16 Creation/Restoration/Enhancement Habitat	No Fee	No Fee
<input type="checkbox"/>	FWGP17 Trails / Boardwalks	\$1,000.00	
<input type="checkbox"/>	FWGP17A Non-Motorized Multi-Use Paths	\$1,000.00	
<input type="checkbox"/>	FWGP18 Dam Repairs	\$1,000.00	
<input type="checkbox"/>	FWGP19 Docks and Piers	\$1,000.00	
<input type="checkbox"/>	FWGP20 Bank Stabilization	\$1,000.00	
<input type="checkbox"/>	FWGP21 Above Ground Utility Lines	\$1,000.00	
<input type="checkbox"/>	FWGP22 Expansion Cranberry Growing (Pinelands)	No Fee	No Fee
<input type="checkbox"/>	FWGP23 Spring Developments	\$1,000.00	
<input type="checkbox"/>	FWGP24 Malfunctioning Individual Septic Systems	No Fee	No Fee
<input type="checkbox"/>	FWGP25 Minor Channel / Stream Cleaning	\$1,000.00	
<input type="checkbox"/>	FWGP26 Redevelop Previously Disturbed Site	\$1,000.00	
<input type="checkbox"/>	FWGP27 Application of herbicide in wetlands	\$1,000.00	

	Highlands	Fee Amount	Fee Paid
<input type="checkbox"/>	Pre-application Meeting	\$500.00	
<input type="checkbox"/>	Resource Area Determination Boundary Delineation < one acre	\$500.00	
<input type="checkbox"/>	Resource Area Footprint of Disturbance	\$500 + (\$50 x _____ # of acres of the site)	
<input type="checkbox"/>	Resource Area Determination Verification (> one acre)	\$750 + (\$100 x _____ # of acres of the site)	
<input type="checkbox"/>	Resource Area Determination Extension	0.25 x _____ original fee (Minimum \$250)	
<input type="checkbox"/>	HPAAGP 1/ Habitat Creation/Enhance	No Fee	No Fee
<input type="checkbox"/>	HPAAGP 2 Bank Stabilization	\$500.00	
<input type="checkbox"/>	Preservation Area Approval (PAA)		
<input type="checkbox"/>	PAA with Waiver (Specify type below)		
	Waiver Type:		
<input type="checkbox"/>	HPAA Extension	\$1,000	

	Freshwater Individual Permits	Fee Amount	Fee Paid
<input type="checkbox"/>	FWW IP-SFH/Duplex-Wetlands	\$2,000	
<input type="checkbox"/>	FWW IP-Wetlands (not SFH/Duplex)	\$5,000 + (\$2,500 x _____ # acres FWW disturbed)	
<input type="checkbox"/>	FWW IP-SFH/Duplex-Open Water	\$2,000	
<input type="checkbox"/>	FWW IP-Open Water (not SFH/Duplex)	\$5,000 + (\$2,500 x _____ # acres FWW disturbed)	

	Freshwater Wetlands Transition Area Waivers	Fee Amount	Fee Paid
<input type="checkbox"/>	TAW Averaging Plan	With valid LOI \$1,000 + (\$100 x _____ # acres TA disturbed)	
<input type="checkbox"/>	TAW Hardship Reduction		
<input type="checkbox"/>	TAW Reduction per N.J.A.C. 7:7A-8.1(d)		
<input type="checkbox"/>	TAW Special Activity Individual Permit		
<input type="checkbox"/>	TAW Special Activity Linear Development	Without valid LOI \$1,000 + (\$100 x _____ # acres TA disturbed) + LOI Fee	
<input type="checkbox"/>	TAW Special Activity Redevelopment		
<input type="checkbox"/>	TAW Special Activity Stormwater		

	Letter of Interpretation	Fee Amount	Fee Paid
<input type="checkbox"/>	LOI Presence Absence	\$1,000.00	
<input checked="" type="checkbox"/>	LOI Footprint of Disturbance (3 Maximum)	\$1,000.00 each	\$ 1,000
<input type="checkbox"/>	LOI Delineation < 1.00 Acres	\$1,000.00	
<input type="checkbox"/>	LOI Verification	\$1,000 + (\$100 x _____ # of acres of the site)	
<input type="checkbox"/>	LOI Partial Site Verification	\$1,000 + (\$100 x _____ # of acres of the site subject to LOI)	
<input type="checkbox"/>	LOI Extension Presence/Absence, Footprint, Delineation < 1 acre (Re-issuance)	\$500	
<input type="checkbox"/>	LOI Extension Line Verification (Re-issuance)	0.50 x _____ original fee (Minimum \$500)	

	Additional Freshwater Wetlands Authorizations	Fee Amount	Fee Paid
<input type="checkbox"/>	FWGP Administrative Modification	No fee	No Fee
<input type="checkbox"/>	FWGP Minor technical modification	\$500.00	
<input type="checkbox"/>	FWGP Major technical modification	\$500.00	
<input type="checkbox"/>	Individual Permit Administrative Modification	No Fee	No Fee
<input type="checkbox"/>	Individual Permit Minor Technical Modification	\$500.00	
<input type="checkbox"/>	Individual Permit Major Technical Modification	0.30 x _____ original fee (Minimum \$500)	
<input type="checkbox"/>	TAW Administrative Modification	No Fee	No Fee
<input type="checkbox"/>	TAW Minor Technical Modification	\$500.00	
<input type="checkbox"/>	TAW Major Technical Modification	0.30 x _____ original fee (Minimum \$500)	
<input type="checkbox"/>	FWGP Extension	\$500 x _____ # of items to be extended	
<input type="checkbox"/>	Individual Permit/Open Water Permit Extension	0.30 x _____ original fee (Minimum \$500)	
<input type="checkbox"/>	TAW Extension	\$500 x _____ # of items to be extended	
<input type="checkbox"/>	Freshwater Wetlands Exemption	\$500.00	
<input type="checkbox"/>	TAW Exemption	\$500.00	
<input type="checkbox"/>	Permit Equivalency/CERCLA	No Fee	No Fee

FEE CALCULATION TIPS:

- Whenever the calculation requires an acreage figure (including the Stormwater calculations), you will need to round UP to the nearest whole number, for example: 0.25 acres gets rounded up to one (1) acre or 2.61 acres gets rounded up to three (3) acres.
- The maximum fee for a CAFRA Individual permit, an Upland Waterfront Development permit, or an In-Water Waterfront Development permit is \$30,000 per permit type. For example: if you are applying for both an upland and an in-water Waterfront Development the maximum fee is applied to each permit for a maximum total of \$60,000 plus any applicable stormwater review fee.
- The stormwater review fee is applied only one time per project, maximum of \$20,000, regardless of multiple applications.

APPLICATION(S) FOR: Please check each permit/authorization that you are applying for and fill in the calculated fee (for each) in the 'Fee Paid' column

	Coastal General Permits	Fee Amount	Fee Paid
<input type="checkbox"/>	CZMGP1 Amusement Pier Expansion	\$1,000.00	
<input type="checkbox"/>	CZMGP2 Beach/Dune Activities	\$1,000.00	
<input type="checkbox"/>	CZMGP3 Voluntary Reconstruction Certain Residential/Commercial Dev	\$1,000.00	
<input type="checkbox"/>	CZMGP4 Development of one or two SFH or Duplexes	\$1,000.00	
<input type="checkbox"/>	CZMGP5 Expansion or Reconstruction SFH/Duplex	\$1,000.00	
<input type="checkbox"/>	CZMGP6 New Bulkhead/Fill Lagoon	\$1,000.00	
<input type="checkbox"/>	CZMGP7 Revetment at SFH/Duplex	\$1,000.00	
<input type="checkbox"/>	CZMGP8 Gabions at SFH/Duplex	\$1,000.00	
<input type="checkbox"/>	CZMGP9 Support Facilities at a Marina	\$1,000.00	
<input type="checkbox"/>	CZMGP10 Reconstruction of Existing Bulkhead	\$1,000.00	
<input type="checkbox"/>	CZMGP11 Hazard Waste Clean-up	\$1,000.00	
<input type="checkbox"/>	CZMGP12 Landfill of Utilities	\$1,000.00	
<input type="checkbox"/>	CZMGP13 Recreation Facility at Public Park	\$1,000.00	
<input type="checkbox"/>	CZMGP14 Bulkhead Construction & Fill Placement	\$1,000.00	
<input type="checkbox"/>	CZMGP15 Construction of Piers/Docks/Ramps in Lagoons	\$1,000.00	
<input type="checkbox"/>	CZMGP16 Minor Maintenance Dredging in Lagoons	\$1,000.00	
<input type="checkbox"/>	CZMGP17 Eroded Shoreline Stabilization	\$1,000.00	
<input type="checkbox"/>	CZMGP18 Avian Nesting Structures	\$1,000.00	
<input type="checkbox"/>	CZMGP19 Modification of Electrical Substations	\$1,000.00	
<input type="checkbox"/>	CZMGP20 Legalization of the Filling of Tidelands	\$1,000.00	
<input type="checkbox"/>	CZMGP21 Construction of Telecommunication Towers	\$1,000.00	
<input type="checkbox"/>	CZMGP22 Construction of Tourism Structures	\$1,000.00	
<input type="checkbox"/>	CZMGP23 Geotechnical Survey Borings	\$1,000.00	
<input type="checkbox"/>	CZMGP24 Habitat Creation, Restoration, Enhancement, Living Shorelines	No Fee	No Fee
<input type="checkbox"/>	CZMGP25 1 to 3 Turbines < 200 Feet	\$1,000.00	
<input type="checkbox"/>	CZMGP26 Wind Turbines < 250 Feet	\$1,000.00	
<input type="checkbox"/>	CZMGP27 Dredge Lagoon (post storm event)	\$1,000.00	
<input type="checkbox"/>	CZMGP28 Dredge post Bulkhead Failure	\$1,000.00	
<input type="checkbox"/>	CZMGP29 Dredge Marina (post storm event)	\$1,000.00	
<input type="checkbox"/>	CZMGP30 Aquaculture Activities	\$1,000.00	
<input type="checkbox"/>	CZMGP31 Placement of Shell (shellfish areas)	\$1,000.00	
<input type="checkbox"/>	CZMGP32 Application of Herbicide in Coastal Wetlands	\$1,000.00	
<input type="checkbox"/>	CZM Permit-by-Certification (On-line application ONLY)	\$1000.00	

	Coastal Individual Permits	Fee Amount	Fee Paid
<input type="checkbox"/>	CAFRA – IP SFH or Duplex	\$2,000	
<input type="checkbox"/>	CAFRA – IP Residential not SFH/duplex	\$3,000 x _____ # of units	
<input type="checkbox"/>	CAFRA – IP Commercial, Industrial or Public	\$3,000 x _____ acres of the site	
<input type="checkbox"/>	WFD – IP SFH or Duplex (Upland/Landward of MHWL)	\$2,000	
<input type="checkbox"/>	WFD – IP Residential not SFH/duplex (Upland/Landward of MHWL)	\$3,000 x _____ # of units	
<input type="checkbox"/>	WFD – IP Commercial, Industrial or Public Development (Upland/Landward of MHWL)	\$3,000 x _____ acres of the site	
<input type="checkbox"/>	WFD – IP SFH or Duplex (Waterward of MHWL)	\$2,000	
<input type="checkbox"/>	WFD – IP Residential not SFH/duplex (Waterward of MHWL)	\$3,000 x _____ acres of water area impacted	
<input type="checkbox"/>	WFD – IP Commercial, Industrial or Public Development (Waterward of MHWL)	\$3,000 x _____ acres of water area impacted	
<input type="checkbox"/>	CSW – IP SFH or Duplex	\$2,000	
<input type="checkbox"/>	CSW – IP All Development not SFH/duplex	\$3,000 x _____ acres of wetlands disturbed	

	Additional Coastal Authorizations	Fee Amount	Fee Paid
<input type="checkbox"/>	Modification of a Coastal GP	\$500	
<input type="checkbox"/>	Minor Technical Modification of a Coastal Wetland Permit	\$500 x _____ # of items to be revised	
<input type="checkbox"/>	Minor Technical Modification of a CAFRA IP	\$500 x _____ # of items to be revised	
<input type="checkbox"/>	Minor Technical Modification of a Waterfront IP	\$500 x _____ # of items to be revised	
<input type="checkbox"/>	Major Technical Modification of a Coastal Wetland Permit	0.30 x _____ original fee = Fee (Minimum \$500)	
<input type="checkbox"/>	Major Technical Modification of a CAFRA IP	0.30 x _____ original fee = Fee (Minimum \$500)	
<input type="checkbox"/>	Major Technical Modification of a Waterfront IP	0.30 x _____ original fee = Fee (Minimum \$500)	
<input type="checkbox"/>	Zone Letter (Waterfront Development Exemption)	\$500	
<input type="checkbox"/>	CAFRA Exemption Request	\$500	
<input type="checkbox"/>	CZM General Permit Extension	\$240 x _____ # of GPs to be extended	
<input type="checkbox"/>	Waterfront Development Individual Permit – Extension (Waterward of MHWL)	0.25 x _____ original fee = Fee (Maximum \$3,000)	
<input type="checkbox"/>	Meadowlands District Water Quality Certificate	\$5,000 + (\$2,500 x _____ # acres regulated area disturbed)	
<input type="checkbox"/>	Individual Permit Equivalency/CERCLA	No Fee	No Fee

	Consistency Determination	Fee Amount	Fee Paid
<input type="checkbox"/>	Water Quality Certificate (NOTE: No fee required under the coastal program)	\$5,000 + (\$2,500 x _____ # acres regulated area disturbed)	
<input type="checkbox"/>	Federal Consistency	No Fee	No Fee

APPLICATION(S) FOR: Please check each permit/authorization that you are applying for and fill in the calculated fee (for each) in the 'Fee Paid' column

	Flood Hazard Area General Permits	Fee Amount	Fee Paid
<input type="checkbox"/>	FHAGP1 Channel Clean w/o Sediment Removal	No Fee	
<input type="checkbox"/>	FHAGP1 Channel Clean w/Sediment Removal	No Fee	
<input type="checkbox"/>	FHAGP2 Mosquito Control	\$1,000.00	
<input type="checkbox"/>	FHAGP3 Scour Protection Bridges/Culverts	\$1,000.00	
<input type="checkbox"/>	FHAGP4 Creation/Restoration/Enhancement of Habitat and Water Quality Values and Functions	No Fee	
<input type="checkbox"/>	FHAGP5 Reconstruction and/or Elevation of Building in a Floodway	No Fee	
<input type="checkbox"/>	FHAGP6 Construction of One SFH/Duplex and Driveway	\$1,000.00	
<input type="checkbox"/>	FHAGP7 Relocation of Manmade Roadside Ditches for Public Roadway Improvements	\$1,000.00	
<input type="checkbox"/>	FHAGP8 Placement of Storage Tanks	\$1,000.00	
<input type="checkbox"/>	FHAGP9 Construction/Reconstruction of Bridge/Culvert Across Water < 50 Acres	\$1,000.00	
<input type="checkbox"/>	FHAGP10 Construction/Reconstruction of Bridge/Culvert Across Water > 50 Acres	\$1,000.00	
<input type="checkbox"/>	FHAGP11 Stormwater Outfall Along Regulated Water <50 Acres	\$1,000.00	
<input type="checkbox"/>	FHAGP12 Construction of Footbridges	\$1,000.00	
<input type="checkbox"/>	FHAGP13 Construction of Trails and Boardwalks	\$1,000.00	
<input type="checkbox"/>	FHAGP14 Application of herbicide in riparian zone	\$1,000.00	

	Flood Hazard Area Individual Permits	Fee Amount	Fee Paid
<input type="checkbox"/>	FHA - IP SFH and/or Accessory Structures	\$2,000	
<input type="checkbox"/>	Individual Permit (Fee is calculated by adding the base fee to the specific elements below)	\$3,000 Base Fee	
	FHA - IP Utility*	+\$ (1,000 x _____ # of water crossings)	
	FHA - IP Bank/Channel (No Calculation Review) *	+\$1,000	
	FHA - IP Bank/Channel (With Calculation Review) *	+\$ (4,000 + (\$400 x _____ per 100 linear ft.))	
	FHA - IP Bridge/Culvert/Footbridge/Low Dam (No Calculation Review)*	+\$ (1,000 x _____ # of structures)	
	FHA - IP Bridge/Culvert/Footbridge/Low Dam (With Calculation Review) *	+\$ (4,000 x _____ # of structures)	
	FHA - Review of Flood Storage Displacement (net fill) Calculations*	+\$4,000	
	Total	IP Review Fee	

	Flood Hazard Area Verifications	Fee Amount	Fee Paid
<input checked="" type="checkbox"/>	Verification-Delineation of Riparian Zone Only	\$1,000	\$ 1,000
<input type="checkbox"/>	Verification-Method 1 (DEP Delineation) *	\$1,000	
<input type="checkbox"/>	Verification-Method 2 (FEMA Tidal Method) *	\$1,000	
<input type="checkbox"/>	Verification-Method 3 (FEMA Fluvial Method) *	\$1,000	
<input type="checkbox"/>	Verification-Method 4 (FEMA Hydraulic Method)	\$4,000 + (\$400 x _____ per 100 linear feet)	
<input type="checkbox"/>	Verification-Method 5 (Approximation Method)	\$1,000	
<input type="checkbox"/>	Verification-Method 6 (Calculation Method)	\$4,000+(\$400 x _____ per 100 linear feet)	

*Fee not applicable to (1) SFH

	Additional Flood Hazard Area Authorizations	Fee Amount	Fee Paid
<input type="checkbox"/>	FHA Hardship Exception Request	\$4,000	
<input type="checkbox"/>	FHA GP Administrative Modification	No Fee	No Fee
<input type="checkbox"/>	FHA GP Minor technical modification	\$500 x _____ # of project elements to be revised	
<input type="checkbox"/>	FHA GP Major technical modification	0.30 x _____ original fee (Minimum \$500)	
<input type="checkbox"/>	FHA Individual Permit Administrative Modification	No Fee	No Fee
<input type="checkbox"/>	FHA Individual Permit Minor Technical Modification	\$500 x _____ # of project elements to be revised	
<input type="checkbox"/>	FHA Individual Permit Major Technical Modification	0.30 x _____ original fee (Minimum \$500)	
<input type="checkbox"/>	FHA Verification Administrative Modification	No Fee	No Fee
<input type="checkbox"/>	FHA Verification Minor Technical Modification	\$500 x _____ # of project elements to be revised	
<input type="checkbox"/>	FHA Verification Major Technical Modification	0.30 x _____ original fee (Minimum \$500)	
<input type="checkbox"/>	FHA GP Extension	\$240	
<input type="checkbox"/>	FHA Individual Permit Extension	0.25 x _____ original fee	
<input type="checkbox"/>	FHA Verification Extension of Methods 1, 2, 3, 5, or Riparian Zone Only	\$240	
<input type="checkbox"/>	FHA Verification Extension of Methods 4 or 6	0.25 x _____ original fee	
<input type="checkbox"/>	FHA Individual Permit Equivalency/CERCLA	No Fee	No Fee
<input type="checkbox"/>	FHA GP Administrative Modification	No Fee	No Fee

Stormwater Review Fee (Maximum Fee = \$20,000)	Fee Amount (Round UP to the nearest whole number)	Fee Paid
<input type="checkbox"/> Stormwater Review (Fee is calculated by adding the base fee to the specific elements below)	\$3,000 Base Fee	
Review of Groundwater Calculations	+\$250 x _____ # acres disturbed	
Review of Runoff Quantity Calculations	+\$250 x _____ # acres disturbed	
Review of Water Quality Calculations	+\$250 x _____ # acres impervious surface	
Total	Stormwater Review Fee	

	Applicability Determination	Fee Amount	Fee Paid
<input type="checkbox"/>	Coastal Applicability Determination	No Fee	No Fee
<input checked="" type="checkbox"/>	Flood Hazard Applicability Determination	No Fee	No Fee
<input type="checkbox"/>	Highlands Jurisdictional Determination	No Fee	No Fee
<input type="checkbox"/>	Executive Order 215	No Fee	No Fee

TOTAL FEE:	\$ 2,000
CHECK NUMBER:	

*Fee not applicable to (1) SFH

APPLICANT NAME: Verizon Global Real Estate

FILE # (if known): 1802-20-0001.1

APPLICATION FORM - APPENDIX I

Section 1: Please provide the following information for the overall project site. All area measurements shall be recorded in acres to the nearest thousandth (0.001 acres).

<u>PROPOSED:</u>	<u>PRESERVED</u>	<u>UNDISTURBED</u>	<u>DISTURBED</u>
RIPARIAN ZONE	N/A	602,230	179,836
CZMRA FORESTED (CZMRA IP – Only)	N/A	N/A	N/A
E & THABITAT Endangered and/or Threatened	N/A	N/A	N/A
FRESHWATER WETLANDS	N/A	225,738	N/A

Section 2: Please provide the following information for each permit/authorization requested pursuant to the Freshwater Wetlands Protection Act. All area measurements shall be recorded in acres to the nearest thousandth (0.001 acres). Use additional sheets if necessary

PERMIT TYPE	LOI Pres/Abs	WETLAND TYPE Emergent, Forest, Shrub, Etc.	PFO1	RESOURCE CLASSIFICATION Ordinary, Intermediate, Exceptional, EPA, Etc.	Exceptional
<u>PROPOSED DISTURBANCE:</u>		<u>WETLANDS</u>		<u>TRANSITION AREA</u>	<u>SOW</u>
FILLED		N/A	N/A		N/A
EXCAVATED		N/A	N/A		N/A
CLEARED		N/A	N/A		N/A
TEMPORARY DISTURBANCE		N/A	N/A		N/A

PERMIT TYPE	WETLAND TYPE Emergent, Forest, Shrub, Etc.	RESOURCE CLASSIFICATION Ordinary, Intermediate, Exceptional, EPA, Etc.
<u>PROPOSED DISTURBANCE:</u>	<u>WETLANDS</u>	<u>TRANSITION AREA</u>
FILLED		
EXCAVATED		
CLEARED		
TEMPORARY DISTURBANCE		



30 Independence Blvd.
Suite 200
Warren, NJ 07059
908.668.8300

MEMORANDUM

DATE: January 21, 2021

TO: David Schley, PP, AICP

FROM: Michelle Measday, PWS
Senior Environmental Specialist

SUBJECT: Wetlands Delineation Block 803, Lots 2,3,5,6, & 23, Bernard's Township

BENJ NO: J200554

This memorandum is being submitted to provide written confirmation that the wetlands depicted on the Preliminary & Final Site Plans dated November 2, 2020, last revised January 21, 2021 are accurate to the best of my professional opinion and experience. The depicted limits will be confirmed by the New Jersey Department of Environmental Protection as part of the submission our office made on November 2, 2020. The approved wetland letter of interpretation will be provided to your office upon receipt.

Submit 21 copies TOTAL.

FORM G

**TOWNSHIP OF BERNARDS
APPLICATION FOR TREE REMOVAL PERMIT**

DATE: _____

1. Name and address of the owner of the premises and status of legal entity (individual, partnership, corporation of this or any other state, etc.) Verizon Corporate Services Group, Inc.,
located at One Verizon Way, Basking Ridge, New Jersey 07920.

2. Status of the applicant with respect to land (owner, lessee, tenant, purchaser, under contract, etc.) Owner.

3. Name and address of the applicant for the permit if other than the owner (attach owner's written consent) Same as owner.

4. Description of the premises where tree removal is to take place, including lot and block numbers and street address 300 North Maple Avenue, Bernards Township (Basking Ridge),
County of Somerset, New Jersey, 07920, identified as Block 803, Lots 2, 3, 5, 6, and 23 on the Bernards
Township tax map.

5. A list of all trees to be removed with a DBH equal to or greater than six inches identified by size and species, including total number of each species to be removed (attach separate sheet if necessary) See attached Site Plans, Sheet C-703, "Tree Species Removal
Calculation" and "Tree Removal & Replacement Calculations."

6. Purpose for tree removal (construction, street or roadway, driveway, utility easement, recreation areas, patio, parking lot, etc.) Parking lot expansion and construction of drive aisle.

7. Proof that there are no delinquent property taxes or assessments due on the property for which the application is submitted (attach certification from tax collector).

8. Trees that had been removed within the past two years None.

Michael High

From: David Schley <dschley@bernards.org>
Sent: Thursday, January 14, 2021 4:10 PM
To: Timothy Aguilar
Cc: J200554@nf.bohlereng.com; Alexander Lomei
Subject: RE: Verizon Corporate Services Group, Inc, Site Plan (The Ridge Parking Expansion); 300 North Maple Avenue

EXTERNAL: Use caution with attachments and links.

Hi Timothy,

Yes, the plan attached to your email below would satisfy the checklist requirement. And yes, I plan to be in the office most of the day tomorrow, between 7am and 3pm, the earlier the better but any time is fine.

David Schley, PP, AICP
Township Planner
Township of Bernards
277 South Maple Avenue
Basking Ridge, NJ 07920
(908) 204-3004
(908) 204-3089 fax
dschley@bernards.org

From: Timothy Aguilar <taguilar@bohlereng.com>
Sent: Thursday, January 14, 2021 4:00 PM
To: David Schley <dschley@bernards.org>
Cc: J200554@nf.bohlereng.com; Alexander Lomei <alomei@bohlereng.com>
Subject: Verizon Corporate Services Group, Inc, Site Plan (The Ridge Parking Expansion); 300 North Maple Avenue

Good afternoon David,

We have received a response to our OPRA request and will be picking up a CD with the aerial and topo tomorrow. Our of curiosity, does the plan attached satisfy the checklist request for the 200' overlap? Do you have a few minutes tomorrow to discuss our conversations with both Tom Quinn and Mark Sylvester? Let me know if there is a particular time that works best. Thank you!

Timothy Aguilar, P.E

Sr. Project Manager
30 Independence Blvd., Suite 200
Warren, NJ 07059
o 908-668-8300 / taguilar@bohlereng.com
[Check out our new website](#)

We've moved!

Please note our new address.

BOHLER //

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Michael High

From: Thomas Quinn <tquinn@ekaassociates.com>
Sent: Friday, January 15, 2021 12:17 PM
To: Timothy Aguilar
Cc: 'David Schley'; Alexander Lomei; J200554@nf.bohlereng.com
Subject: RE: Verizon Corporate Services Group, Inc, Site Plan (The Ridge Parking Expansion); 300 North Maple Avenue

EXTERNAL: Use caution with attachments and links.

Indeed I can confirm that I have no issues with the waiver for storm profiles on this application.
Regards,

Thomas J. Quinn, PE
EKA Associates, P.A.
328 Park Avenue
Scotch Plains NJ 07076
908 322 2030

From: Timothy Aguilar [mailto:taguilar@bohlereng.com]
Sent: Thursday, January 14, 2021 3:43 PM
To: Thomas Quinn
Cc: David Schley; Alexander Lomei; J200554@nf.bohlereng.com
Subject: Verizon Corporate Services Group, Inc, Site Plan (The Ridge Parking Expansion); 300 North Maple Avenue

Good afternoon Tom,

Thank you for taking a few minutes to speak with me last week. I wanted to circle back with an email that includes David so he is aware of our discussion regarding the waiver for storm profiles. Based on our discussion, it sounded like you would support our waiver request for not providing storm profiles for the proposed conveyance piping. Based on our discussion, the storm system is limited, does not cross other utilities, and only features one crossing above an existing storm pipe. The existing storm pipe is several feet below the proposed pipe. Can you please confirm that you found this approach acceptable and will support the waiver request.

Best regards,
Timothy Aguilar, P.E
Sr. Project Manager
30 Independence Blvd., Suite 200
Warren, NJ 07059
o 908-668-8300 / taguilar@bohlereng.com
[Check out our new website](#)

We've moved!
Please note our new address.

BOHLER //

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ENVIRONMENTAL IMPACT ASSESSMENT

for

Verizon Corporate Services Group

Proposed Parking Lot Expansion
*300 North Maple Avenue
Block 803, Lot 2, 3, 5, 6, and 23
Bernards Township (Basking Ridge)
Somerset County, New Jersey*

Prepared by:

BOHLER //

NJ Certificate of Authorization No. 24GA28161700

30 Independence Boulevard
Warren, New Jersey 07059
908-668-8300

October 2020

BENJ # J200554

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EXECUTIVE SUMMARY

Verizon Corporate Services Group, Inc. is proposing to convert an existing tennis court to a parking lot and existing concrete walkway to a driveway along with landscaping, lighting and stormwater management. The overall site is identified on the Township Tax Maps as Block 803, Lots 2, 3, 5, 6 and 23 in Bernards Township, Somerset County, New Jersey. The project is located within the southwestern portion of Lot 2, southeast of the project boundary that borders Interstate Route 287 and consists of approximately 0.88 acres of the overall lot area of 34.991 acres. Under existing conditions, the project area is previously developed with tennis courts and access walkway, landscaping, and mowed turf. A moderately to heavily wooded area surrounds the project area.

Stormwater runoff generated by the conversion of the existing impervious tennis court to parking lot expansion, including driveways, and sidewalks will be managed through the construction of an underground detention basin. The detailed drainage report presents data that demonstrate that the site design meets the quantity reduction (peak runoff rate reduction) requirement to the greatest extent possible. Water quality treatment or groundwater recharge are not proposed as the project introduces 0.15 acres of new impervious cover to the Site, which is less than 0.25 acres of new impervious cover triggering water quality treatment measures and groundwater recharge mitigation. Therefore, the stormwater management system addresses the requirements regarding water quantity, water quality and groundwater recharge per NJDEP and Township Ordinance.

The principal impacts of the proposed plan of development are those associated with a change in land use from an existing tennis court to a parking lot with driveway access. Long term impacts to the site include re-grading of the site topography. Temporary impacts are anticipated to occur during the construction phase of the project and include soil loss, and increased noise and dust levels. All impacts will be minimized through appropriate application of mitigation procedures and best management practices. The project is located on a site zoned for office and research development and is compatible with surrounding land uses, which are dominated by office and lab research uses.

This EIA has been prepared in accordance with the Bernards Township Land Development Ordinance §21-54.6 which requires the submission of a written environmental impact assessment and municipal checklist, which requires the submission of a written environmental impact assessment report and is intended to support plans prepared by Bohler Engineering NJ, LLC. The following chapters provide a project description, an inventory of existing environmental conditions on and around the site, an assessment of potential impacts associated with the

proposed construction, a description of performance controls designed to mitigate adverse impacts, and a listing of required permits and approvals.

1. DESCRIPTION OF THE DEVELOPMENT PLAN

1.1 *General Description*

This Environmental Impact Assessment (EIA) has been prepared by Bohler Engineering NJ, LLC on behalf of Verizon Corporate Services Group, Inc. to satisfy the Site Plan application requirements for the Bernards Township, Somerset County, New Jersey. This EIA has been prepared in accordance with the Bernards Township Land Development Ordinance §21-54.6 which requires the submission of a written environmental impact assessment.

The applicant is proposing the demolition of existing tennis courts and construction of a parking lot with improved access drive within Bernards Township. The purpose of this assessment is to evaluate the environmental conditions of the project site, describe the proposed Project, and provide an analysis of the potential direct and indirect environmental impacts of the proposed improvements.

Specifically, the assessment will include information and analysis pertaining to the project location, project description, environmental inventory and a discussion of potential impacts, as well measures proposed to mitigate potential impacts. Relevant exhibits and documentation are included within the Appendix of this assessment. Project elements evaluated in this assessment are depicted on the "Preliminary and Final Site Plan" documents prepared by Bohler Engineering NJ, LLC.

1.2 *Master Planning and Zoning*

The project site is located on a portion of the overall lot formally identified on the Township Tax Maps as Block 803, Lot 2, 3, 5, 6 and 23 in Bernards Township, Somerset County, New Jersey (**Figure 1**). The proposed parking lot expansion and associated improvements shall hereby be referenced as "the project". The project is located within the southwestern portion of Lot 2, southeast of the project boundary that borders Interstate Route 287 and consists of approximately 0.88 acres of the overall lot area of 39.991 acres. Under existing conditions, the project area is previously developed with tennis courts and access walkway, landscaping, and mowed turf. A moderately to heavily wooded area surrounds the Site. Please refer to the Site Location Maps (**Figures 2, 3 and 4**) in Appendix A for more information.

Pursuant to the Bernards Township Zoning Map (**Figure 5**), the Site is located within the Office Laboratory 1 (E-1) Zone. According to the Bernards Township Land Development Ordinance, the E-1 Zone includes a conference inn as a conditional use that is required to comply with Sections 21 and 22 of the Ordinance.

The proposed Project is also in conformity with the general goals of the New Jersey State Plan. According to the State Plan Policy Map (**Figure 6**), the Site is located within Suburban Planning Area (PA-2). The planning goals for the Suburban Planning Area are to promote growth in compact forms in an effort to stabilize older suburbs, protect the character of existing communities and protect natural resources (New Jersey State Planning Commission, 2001). These goals are accomplished by providing public facilities, consumer services and community activities for surrounding residential uses in core areas to take advantage of public transportation services. Medium to high density development is encouraged in these areas to utilize existing infrastructure, while attempting to prevent urban/suburban sprawl into surrounding lesser developed areas. The proposed development is consistent with these State Plan goals and objectives for the Suburban Planning Area.

1.3 *Sanitary Sewage and Potable Water Supply*

The project will not require additional flows to the Bernards Township Sewerage Authority or make additional demands for potable water.

1.4 *Stormwater Management Facilities*

Stormwater runoff generated by the conversion of the existing tennis court to parking lot expansion, including driveways, and sidewalks will be managed through the construction of an underground detention basin. The detailed drainage report presents data that demonstrate that the site design meets the quantity reduction (peak runoff rate reduction) requirement to the greatest extent possible. Water quality treatment or groundwater recharge are not proposed as the project introduces 0.15 acres of new impervious cover to the Site, which is less than 0.25 acres of new impervious cover triggering water quality treatment measures and groundwater recharge mitigation. Therefore, the stormwater management system addresses the requirements regarding water quantity, water quality and groundwater recharge per NJDEP and Township Ordinance.

1.5 ***Utilities Plan***

Utilities to be provided to the proposed project include, electricity for lighting and stormwater conveyance pipes associated with the stormwater management system. All utilities will be located underground.

1.6 ***Solid Waste Plan***

All construction debris generated on-site and any existing on-site debris will be transported by a licensed waste hauler, in accordance with the requirements of the Somerset County Public Works.

The proposed parking lot expansion is not considered a trash generating activity. Trash receptacles will be located within the new parking area and will follow the existing protocol on site for trash collection and removal.

2. INVENTORY OF EXISTING NATURAL RESOURCES

The following section is an inventory of the present land use and environmental conditions at the Site including features such as topography, geology, soils, water resources, vegetation, wildlife, threatened and endangered species, and historical/cultural resources. This inventory will establish a baseline to which the proposed Project can be analyzed and compared to ascertain potential environmental impacts.

2.1 *Topography*

The Site is located on the property near the highest topographic points of the property. The Site slopes generally in a west to east direction towards an existing ditch and the existing building. A high point of approximately 287 feet above mean sea level (m.s.l.) in the western edge of the existing tennis court. The low point of the Site is located at the point where the sidewalk meets the parking lot at approximately 277 feet above m.s.l.

Pursuant to the Township Ordinance, steep slopes are those defined as land areas with slopes exceeding 15%. According to the NRCS mapping in the vicinity of the Site, areas of steep slopes exist, however there are no steep slopes within the project disturbance area.

2.2 *Geology*

New Jersey is divided into four regions, known as physiographic provinces, which are areas with similar rock types, geologic structures and a common geologic history. The Site is situated within the Piedmont Physiographic Province of New Jersey with a small portion along the eastern property boundary located in the Piedmont Physiographic Province (**Figure 7**). The Piedmont Physiographic Province consists of approximately 1,600 acres occupying all or parts of Bergen, Essex, Hudson, Hunterdon, Mercer, Middlesex, Morris, Somerset, and Union counties and extends from the Highlands in northwest New Jersey to the Coastal Plain in central and southern New Jersey. Landforms generally consist of low rolling plains and gently sloping hills divided by a series of higher ridges. Underlying formations predominately include partially folded and faulted sedimentary rocks dating to the Triassic and Jurassic periods (240 – 140 million years old). Sedimentary classes of rock include siltstone, shale, sandstone, mudstone, and conglomerates.

Bedrock is the solid rock beneath the soil and surficial rock. According to NJ GeoWeb Mapping, the majority of the site is underlain by the Boonton Formation (Jb), which is characterized by sandstone, siltstone and mudstone, fine-grained (**Figure 8**).

Surficial geology refers to the unconsolidated sediments that overlie bedrock formations. These unconsolidated sediments are classified onsite as weathered shale, mudstone and sandstone (Qws) (**Figure 9**). The Qws unit can be as much as 10 feet thick.

2.3 ***Soils***

Soils are formed through the interaction of a variety of physical, chemical, and biological factors that include climate, parent material, topography, biological activities, and time. The degree to which any or all of these factors affect the local soil characteristics is quite variable, generally leading to the formation of a mosaic of soil types in any particular locality. The United States Department of Agriculture has, through the Natural Resources Conservation Service (NRCS), mapped soils in detail for New Jersey.

According to the Natural Resource Conservation Service's Web Soil Survey (**Figure 10**), the onsite soils include Raritan (RarAr) soils.

Raritan soil series (RarAr) are located over the entire project site. This soil type is a very fine loamy soil, which consists of very deep, moderately well or somewhat poorly drained soils with 0 to 3 percent slopes. Permeability is moderately rapid to moderate above and below the fragipan. Available water capacity is very low. According to the NRCS, seasonal high water perched at a depth of one-half to three feet below ground surface (**Figure 11**).

Raritan soils have been classified by NRCS as Group "C" soils. Group "C" soils have slow infiltration rates when thoroughly wet. These soils generally have a layer that impedes the downward movement of water (**Figure 12**).

2.4 ***Groundwater Resources***

Ground water is all water within the soil and subsurface strata that is not at the surface of the land. It includes water that is within the earth that supplies wells and springs. Ground water resources are often functionally linked to overlying land area and surface water bodies; ground water is often recharged through "outcrop" area at the land surface and ground water discharges ("seeps") may contribute to base flows of streams and rivers.

The ground water yields of any particular geological formation are a function of the porosity and permeability of the material comprising the formation (consolidated rock or unconsolidated deposits). Porosity describes the water-containing spaces between individual mineral grains, while permeability is the ease or difficulty with which water is transmitted through interconnecting spaces in the formation. Formations lacking open spaces between the mineral grains have both low porosity and low permeability. Weathering and cracking of the parent bedrock can induce secondary porosity in the formation; water can accumulate and move through these features in the primary rock formation.

The site is underlain by sandstone, siltstone and mudstone. Ground water is stored and transmitted in fractures and bedding planes of the bedrock. (**Figure 13**). Water within this geologic unit is generally of good quality, but locally may require chemical treatment for hardness, iron and manganese. (N.J.G.S., 1998).

The NJ-GeoWeb map ranks the aquifer recharge potential for the project site as 16 to 23 in/yr (**Figure 14**).

Seven sole-source aquifers are defined in New Jersey, which are those aquifers that contribute more than 50% of the drinking water to a specific area. The site is underlain by the Buried Valley sole source aquifer area. This aquifer covers an 80 square mile area in Essex, Morris, Somerset and Union counties and includes portions of the following watersheds: Whippany River, Passaic River (Upper and Lower), Raritan River, and Rahway River. The groundwater supplied by this aquifer is estimated to be approximately 40 million gallons per year (US EPA, 1980).

According to the NJ GeoWeb GIS mapping (**Figure 15**), the project area is located within a Tier-1 Wellhead Protection Area, community wells are located northwest and southwest of the project site approximately 1,200 feet from the project area.

2.5 ***Surface Waters***

The site is located within the Upper Passaic, Whippany and Rockaway Watershed Management Area, within the Whippany River watershed. The project area drains to Passaic River Upper (above Osborn Mills) HUC-14 Sub-Watershed (**Figure 16**). The closest watercourse to the project area is the Passaic River unnamed tributary, which flows in a southwest to northeast direction approximately 300 feet southeast of the project area (**Figure 17**). Passaic River unnamed tributary has a State Surface Water Quality Classification of

Freshwater Trout Production (FW2-TP). Pursuant to the Flood Hazard Area Control Act Rules at N.J.A.C 7:13, a 300-foot riparian buffer from the top of bank associated with the tributary.

Under existing conditions, the drainage pattern for the project area generally follows existing topography. The site drains southeast towards the tributary located along the southeastern lot boundary.

According to the National Flood Insurance Program's Flood Insurance Rate Map FEMA Panel # 34027C0301F and 34035C0056E (9/28/2007), the proposed project is located outside of areas subject to flooding (**Figure 18**).

2.6 ***Freshwater Wetlands***

The NJDEP GeoWeb Mapping of the project area did not indicated any wetland habitats within 150 feet of the project area (**Figure 19**). A wetland delineation with survey flag location was performed on the property on April 22, 2020. The majority of wetland habitat was identified along the Passaic River unnamed tributary. A stormwater channel is located in the general vicinity of the project area. A Letter of Interpretation Presence/Absence Footprint of Disturbance application has been submitted to the NJDEP to confirm wetland regulated areas are not located within the proposed project area.

2.7 ***Vegetation & Wildlife Habitat***

Vegetation is the plant life or total plant cover that is found in a specific area, whether indigenous or introduced by humans. The Piedmont Physiographic Province of New Jersey contains a diverse mixture of major terrestrial plant habitats, including freshwater marshes, bogs, swamps and floodplains, upland valleys and slopes, upland ridges and rock outcrops (Robichaud and Buell, 1973). This habitat diversity results in a mosaic of plant communities occurring in small areas.

The NJDEP has mapped general vegetation communities and land uses through the state using 2012 aerial photographs. According to the NJ-GeoWeb Mapping, vegetation communities mapped for the Site included urban land use. No other land uses were identified on site. (**Figure 20**).

During wetland delineation activities, the project area was observed as being fully developed. Adjacent areas to the project can be characterized as moderately to heavily wooded.

The utility of an area as wildlife habitat depends on many factors. All wildlife species require food, water, cover and space. The relative abundance or lack of these resources in relation to each species' particular requirements will, in part, determine the species composition and distribution of a particular area. In addition, the types of vegetative communities present, the size, shape and complexity of the habitat(s), and the surrounding land uses will further interact to determine the success of various wildlife species at the location being considered. Some wildlife species have demonstrated great adaptability and tolerance to human presence/disturbance; others are less able to tolerate such activities and are displaced to more suitable habitats, if such are available and accessible.

The NJDEP Landscape Project (Version 3.3) is a wildlife habitat mapping program that is used to identify and map critical wildlife habitats for endangered, threatened and special concern species. The Landscape Project provides mapping for five distinctive land cover types: forest, emergent wetlands, forested wetlands, grasslands and beach/dune. The maps are based on land use classification and rare species locations. Each mapped area appears as a shaded color from light to dark (5 rankings) indicating its relative priority ranking. Rank 1 is the lowest priority ranking, while Rank 5 is the highest priority ranking. Rank 1 meets the minimum area requirements, but no data exists for the presence of priority species (NJDEP, Division of Fish and Wildlife, Endangered & Nongame Species Program, 2016). This is the NJDEP's lowest priority ranking and is defined as areas meeting the minimum size requirements but with no documented sightings of threatened or endangered species. Rank 2 contains records of priority species, which are species of special concern. Ranks 3, 4 and 5 indicate that the identified land cover type has been identified as providing habitat for State threatened (Rank 3), state endangered (Rank 4), or federally threatened or endangered (Rank 5) species.

The project area did not receive any ranking with regard to threatened/endangered species (**Figure 21**). Surrounding forested areas were assigned a Rank 5 for federally protected threatened/endangered species.

Avian species may utilize the adjacent forested areas for habitat and may include:

Table 1 Potential Onsite Avian Species	
Scientific Name	Common name
<i>Cardinalis cardinalis</i>	Northern cardinal
<i>Carpodacus mexicanus</i>	house finch
<i>Cathartes aura</i>	turkey vulture
<i>Corvus brachyrhynchos</i>	American crow
<i>Cyanocitta cristata</i>	blue jay
<i>Dumetella carolinensis</i>	gray catbird
<i>Mimus polyglottos</i>	mockingbird
<i>Parus atricapillus</i>	black capped chickadee
<i>Parus bicolor</i>	tufted titmouse
<i>Passer domesticus</i>	house sparrow
<i>Poecile carolinensis</i>	Carolina chickadee
<i>Quiscalus quiscula</i>	common grackle
<i>Spizella pusilla</i>	field sparrow
<i>Sturnus vulgaris</i>	European starling
<i>Toxostoma rufum</i>	brown thrasher
<i>Troglodytes aedon</i>	house wren
<i>Turdus migratorius</i>	American robin
<i>Zenaida macroura</i>	mourning dove

Small mammals may utilize the adjacent forested areas for habitat and may include:

Table 2 Potential Onsite Mammal Species	
Scientific Name	Common name
<i>Blarina brevicauda</i>	shorttail shrew
<i>Marmota monax</i>	ground hog
<i>Mephitis mephitis</i>	striped skunk
<i>Peromyscus leucopus</i>	white footed mouse
<i>Peromyscus maniculatus</i>	deer mouse
<i>Procyon lotor</i>	raccoon
<i>Scalopus aquaticus</i>	Eastern mole
<i>Sciurus carolinensis</i>	gray squirrel
<i>Sylvilagus floridanus</i>	Eastern cottontail
<i>Tamias striatus</i>	Eastern chipmunk

2.8 **Air Quality**

Ambient air quality in the vicinity is tracked by the NJDEP. The nearest air monitoring stations to the Site include Chester and Ramapo, which both monitor Ozone, Chester on a regular basis and Ramapo on a seasonal basis. At the time of the preparation of this report, the NJDEP was reporting “good” air quality for northern New Jersey with low levels of pollutants such as ozone (O₃) and particulates (PM_{2.5}). According to the most recent Air Quality Index Summary (2018), New Jersey averages “good” air quality 145 days a year, “moderate” air quality 198 days a year, and “unhealthy for sensitive groups” 22 days a year.

2.9 **Cultural, Historical or Archeological Resources**

According to the New Jersey and National Registers of Historic Places (NJDEP, last updated October 1, 2020), no historic or eligible for listing resources are located on or immediately adjacent to the site (Appendix B). Based on a review of the NJDEP GeoWeb Mapping for the site, no historic resources are mapped on or immediately adjacent to the site.

3. PROJECT IMPACTS & PROTECTIVE MEASURES

As with any development activity, the proposed Project will have some impact on the natural environment in some fashion. Below is a discussion of the potential Project impacts on the site, surrounding area, and environment that may occur as a result of the proposed site improvements. A discussion of potential mitigation measures and best management practices (BMPs) that may be employed before, during, and after construction to minimize potential impacts of the proposed Project has also been included. These measures will serve to reduce and/or eliminate potential adverse impacts to the site, surrounding area, and environment so that the overall environmental impact of the Project may be reduced.

3.1 *Impacts to Topography*

As depicted on the "Grading Plan", impacts to topography for the proposed project will include re-grading in the vicinity of the former tennis courts and the driveway for site clearing and leveling. Under proposed conditions, the topography of the Site will continue to slope from northwest to southeast, similar to current conditions. The proposed high point will remain at approximately 287 feet m.s.l. near the northwestern edge of the project area. The low point will be at approximately 277 feet m.s.l., where the new driveway meets the existing parking lot.

3.2 *Soil Erosion and Sediment Control*

Soil erosion and sedimentation can occur both during the construction and operational phases of the Project. During the construction phase, stormwater runoff and wind may result in the movement of soils and sediments from unstabilized materials. This impact is proposed to be controlled during construction through the implementation of an approved Soil Erosion and Sediment Control Plan by the Somerset-Union Soil Conservation District, as well as by careful adherence to the sequence of construction described on the Soil Erosion and Sediment Control Plan.

As depicted on the "Soil Erosion & Sediment Control Plan", the following structural and non-structural soil erosion Best Management Practices (BMPs) will be implemented during construction: placement of silt fencing and/or silt fencing around the limit of disturbance, temporary soil stockpiles surrounded with silt fencing, temporary vegetative cover standards, inlet filter covers over all existing and proposed stormwater inlets, and anti-tracking stabilized construction access driveway entrance off the existing parking area. Soil management factors that prevent erosion hazards and minimize the creation of airborne particulate and dust will be monitored by the onsite inspector for the proposed construction. Following completion of

construction, soil erosion and sediment control will be able to continue to be controlled through measures such as the implementation and maintenance of the stormwater management system, inlet filter grates, permanent vegetative cover, stabilized stormwater outfall structures, regular property maintenance, and curbing.

3.3 *Impacts to Geology*

Excavations will be required for the placement of the underground utilities and underground stormwater management basin. Excavations required are anticipated to be 8 to 10 feet below ground surface. According to the NRCS Soil Survey for the Site, excavation for underground utilities and stormwater will occur into the overlying glacial deposits, which consist of sands, silts, clays and sandstone fragments.

Adverse impacts to the geology of the site and surrounding area are not expected to occur as a result of the proposed project

3.4 *Impacts to Surface Waters*

No surface waters exist within the project area. Therefore, none will be impacted with this project. Passaic River unnamed tributary is located approximately 300 feet southeast of the project area. Development of the project is proposed outside of any riparian buffers associated with above referenced tributary and will not impact surface water resources. The construction of the proposed project is expected to have a minimal impact to the surface water resources within the vicinity of the project area. Potential short-term impacts to surface water quality are generally associated with soil loss, erosion, and sedimentation during construction activities. As previously described in Sections 2.1 and 2.3, topographic and soils disturbance will occur over 0.88 acres of the lot area for the proposed parking lot and driveway construction. Any adverse impacts will be minimized by the installation and maintenance of proven soil erosion and sediment control measures presented in the plans. These measures will retain disturbed soil sediment within the areas of construction and will mitigate the potential for sediment being transported to the existing storm sewer system and/or offsite streams.

The proposed improvements include the construction of the parking lot, driveway, landscaping, and stormwater management facility with associated utility improvements. The stormwater management system consists of an underground detention basin for pavement runoff.

The project proposes an increase in impervious cover by 0.15 acres over existing conditions. The regulatory threshold for providing water quality treatment and groundwater recharge mitigation is 0.25 acres. Therefore, the project is addressing only water quantity control with regard to stormwater management.

The proposed Project is not anticipated to result in any significant adverse impacts to surface waters or water quality.

3.5 *Surface Drainage*

In New Jersey, projects resulting in over 1 acre of land disturbance or 0.25 acres of new impervious surfaces are required to comply with the NJDEP's Stormwater Management Rules at N.J.A.C. 7:8. As required by the regulations, municipal entities are responsible to ensure projects meet the required or applicable standards for stormwater runoff including quantity control, quality control, and groundwater recharge. Land disturbance exceeds 1 acre and new impervious surfaces is under 0.25 acres; therefore, stormwater quantity control is required.

The onsite stormwater management facilities will be designed to decrease in peak rate onsite stormwater runoff being discharged from the property. This will be achieved by collecting onsite runoff and routing stormwater to an onsite underground detention basin.

3.6 *Freshwater Wetlands*

The project has been designed to avoid regulated wetland areas. A Freshwater Wetland Letter of Interpretation Presence/Absence Footprint of Disturbance has been submitted to the NJDEP to confirm project activities are located outside of freshwater wetland regulated areas.

3.7 *Groundwater Impacts*

Primary sources for groundwater pollution include infiltration of contaminated stormwater, malfunctioning septic systems, underground storage tank leakage, and uncontrolled discharges of wastes. Waste handling is required to comply with State and Federal standards and rules. The proposed stormwater management design will include methods to safely collect stormwater runoff from high pollutant loading areas such as the parking and access drive areas of the site. Runoff from this high pollutant loading area will not be permitted to recharge directly to groundwater.

3.8 *Vegetation & Wildlife Habitat Impacts*

Construction for the proposed development involves redevelopment of existing tennis courts and concrete walkway to a parking light with driveway access. Disturbance is proposed within previously developed or mowed turf areas. No mature forested areas are disturbed with this project. A landscaping plan has been prepared as part of this project to re-establish vegetation along project area borders.

As indicated within the Preliminary and Final Site Plan package, a landscaping plan will be implemented to enhance the aesthetic features of the development. The plan provides for the installation of an aesthetically pleasing arrangement of trees, shrubs, and ground cover around the buildings, parking areas and along the driveways.

During construction, potential mammalian and avian species utilizing the project area edges for habitat will likely be displaced into adjacent areas. Upon completion of construction, these species may return to landscaped portions of the site. In addition, the project area is not known or mapped to contain suitable habitat for any threatened or endangered species. No adverse impacts to any threatened or endangered species or their respective habitat are anticipated to occur as a result of the proposed site improvements.

Overall, adverse impacts to vegetation, wildlife or wildlife habitat will not occur as a result of the proposed site improvements.

3.9 *Air Quality Impacts*

Currently, air quality at the site is primarily impacted by vehicular traffic along Tabor Road.

During construction, all possible measures to reduce air pollution from construction equipment emissions and control of dust will be taken. During operation, the development is anticipated to result in negligible increases in emissions resultant of vehicular traffic associated with visitors, and/or employees.

Overall, the proposed development is not anticipated to result in any significant impacts to air quality.

3.10 ***Solid Waste Disposal***

During construction, construction wastes and materials will be collected, transported, and disposed of offsite by a private contractor. All wastes will be exported offsite to appropriate collection facilities based on the type and quantity of materials. Burning or dumping of onsite debris will not be permitted.

Upon completion of construction, the conversion of the tennis courts to a parking area are not anticipated to generate significant waste to materials normally collected on site. Therefore, management of operational wastes will be incorporated into existing solid waste measures employed at the site. Solid waste disposal will continue to be performed in accordance with all applicable local, county, and State standards and regulations.

3.11 ***Traffic & Circulation***

A traffic analysis report has not been prepared for this project.

3.12 ***Impacts to Cultural, Historical or Archeological Resources***

As discussed in Section 2.9 above, the site and surrounding area is not known to contain documented cultural or historic features or resources. Destruction or degradation of cultural historic features is not anticipated to occur as a result of the proposed site improvements.

There is a low probability for the existence of any archeological resources near the soil surface that would be potentially disturbed during construction. Should any archeological resources or remains be encountered during construction, all construction activities will immediately cease, the proper authorities will be notified, and the matter will be handled in accordance with all applicable laws, regulations, and standard operating procedures.

3.13 ***Socio-Economic Impacts***

Population increase will not occur as a result of the proposed improvements as it will not be providing additional residences. Additionally, an existing tennis court, is proposed to be used for the Project. As such, no people, farms, or existing businesses shall be displaced by the proposed facility. There is no projected need for any increase in municipal services such as schools, police, or fire. In compliance with local zoning and the Master Plan, the proposed Project is consistent with surrounding land uses and will not result in undesirable land use patterns.

3.14 **Noise Level Increases**

The State of New Jersey regulates noise under the New Jersey Noise Control Act, N.J.A.C. 7:29. This Act contains both protocols for assessing noise impacts as well as the allowable noise levels. Allowable noise levels differ for residential properties and commercial zoned areas. The regulations are as follows:

Residential:

7:00 AM – 10:00 PM 65 DBA at the nearest property line

10:00 PM – 7:00 AM 50 DBA at the nearest property line

Commercial: 65 DBA at the nearest property lines at all times.

During the construction phase, the noise levels will be slightly elevated as a result of construction activities, such as the operation of construction equipment. No blasting will occur. These disturbances will be limited to the Site construction time period and normal working hours.

After completion of the Project, the noise level will be reduced to normal commercial levels. Noise generating operations that will occur onsite include vehicular traffic, pedestrian activities, mechanical equipment (air conditioners, etc.), and delivery activities. Noise levels are anticipated to be levels far below than those allowed by State regulations. The noise levels of the proposed parking area are anticipated to have a negligible impact on the Site and the surrounding vicinity, given the nature of the proposed use and its location near Route 287, a major interstate highway already impacted by heavy vehicular traffic.

3.15 **Artificial Lighting**

Decorative and/or safety lighting is proposed through the Project Site. The lighting plan will be designed in accordance with all applicable Bernards Township regulations to the greatest extent possible.

Under proposed conditions, artificial lighting levels will not exceed the minimum necessary for safety in and around the facility. Minimal lighting is proposed to meet the lighting standards, minimizing spill over to adjacent properties. Adjacent properties are not anticipated to be adversely impacted as a result of the proposed Site improvements.

3.16 ***Aesthetics***

Development of the Site is not anticipated to have any adverse impacts on aesthetics. Landscaping and vegetation are proposed to serve as screening and buffer areas, architecturally pleasing and complimentary building facades will be incorporated as feasible.

4. LIST OF ENVIRONMENTAL PROTECTION MEASURES

The following is a listing of environmental protection and mitigation measures within the site design to be employed during site construction and operation.

- Placement of silt fencing around the limit of disturbance
- Temporary soil stockpile with silt fencing
- Erosion blankets for slopes 3:1 or greater
- Existing & proposed inlet filter covers
- Stabilized anti-tracking construction entrance
- Parking areas have been proposed with minimal slope to decrease the velocity of overland flows
- Proposed landscaping
- Low maintenance landscaping and native species shall be planted as feasible
- Lawn areas and potential use of fertilizers and pesticides has been minimized.

5. LIST OF UNAVOIDABLE ADVERSE IMPACTS

Criteria	Short Term Impacts	Long Term Impacts	Reversible Impacts	Irreversible Impacts
Topography	Grading	Grading	Alteration of topography, general patterns respected	Leveling of the Site.
Geology	Excavations for underground utilities, and foundations.	None anticipated	Excavations for underground utilities, and foundations.	None anticipated
Soils	Land clearing, potential soil erosion	Grading, fill	Potential soil erosion – mitigation proposed	None
Groundwater	None anticipated	None anticipated.	None.	None anticipated
Surface Water	Potential soil erosion impact during construction - mitigation proposed	None anticipated.	None.	None anticipated
Wetlands	Reconstruction of two man-made basins containing wetlands	None.	None	None anticipated.
Vegetation & Wildlife Habitat	Disturbance to avian & small mammal habitat during construction.	None	None	None anticipated
Air Quality	Minor related to dust generation & increased emissions during construction	Negligible	Construction related impacts will dissipate post construction, increased vehicular use at site	None anticipated
Noise	Increased noise levels during construction	Negligible	Increased noise levels during construction	None anticipated
Historic Resources	None anticipated	None anticipated	None anticipated	None anticipated

6. ALTERNATIVES

The proposed project is located on a previously disturbed site, thereby protecting natural resources on remaining portions of the lot. Also, as discussed in the Sections above, various BMPs and protective measures are incorporated into the design of the site to reduce or eliminate potential environmental impacts.

7. ANTICIPATED REQUIRED LICENSES, PERMITS AND APPROVALS

Agency	Permit/Approval	Status
Bernards Township Planning Board	Preliminary and Final Site Plan Approval	Subject of this application
Bernards Township	Building Permit Review	To be submitted
Somerset County Planning Board	Exemption	Exempt
Somerset-Union Soil Conservation District	Soil Erosion and Sediment Control Plan	Pending
New Jersey Department of Environmental Protection	Freshwater Wetland LOI Presence/Absence Footprint of Disturbance Flood Hazard Area Riparian Zone Verification Flood Hazard Area Permit-By-Rule	Pending

8. SUMMARY

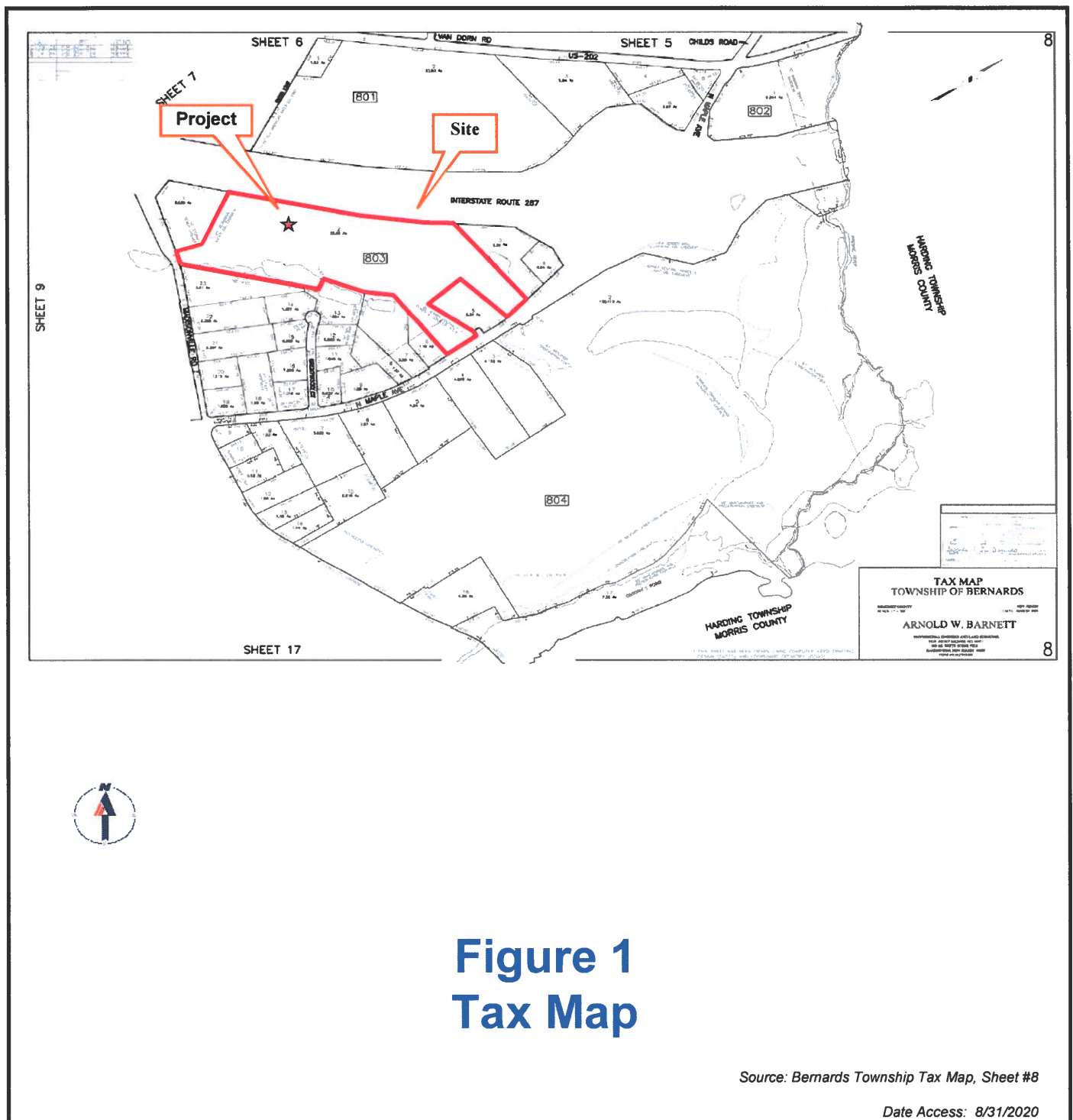
In conclusion, as discussed and detailed above, the proposed improvements are anticipated to have minimal impact on environmental resources. The site improvements have been designed to be compatible with and compliment onsite uses and minimizes to the maximum extent possible, impacts to natural features on undeveloped portions of the site. Implementation of the proposed improvements are anticipated to result in minimal short-term and long-term adverse environmental impacts relative to the existing development state and the surrounding land uses. Minor impacts will be minimized and mitigated through proper engineering, planning and design, proper construction management techniques, as well as implementation of the various mitigation measures and BMP's discussed within this assessment. It is not anticipated that any significant unmitigated impacts to the environment or the residents of the Bernards Township will occur as a result of this Project. The Project will be designed to comply with local, county, and State development standards and planning objectives and will not pose significant impacts to the natural environment or local community.

9. REFERENCES

- Bohler Engineering. Preliminary and Final Site Plan Documents. Dated 8/28/2020.
- Bernard Township Ordinance (www.ecode360.com).
- Drake, Avery A. *et al.* 1996. Bedrock Geologic Map of New Jersey.
- Federal Emergency Management Agency. Flood Insurance Rate Map, Community Panel #34035C0056E. Effective date: 9/28/2007.
- Natural Resources Conservation Service, Web Soil Survey. Last updated 5/18/2016. <http://websoilsurvey.nrcs.usda.gov/app/>
- New Jersey Division of Fish and Wildlife. 2016. New Jersey Landscape Project, Version 3.3. New Jersey Department of Environmental Protection, Division of Fish and Wildlife, Endangered and Nongame Species Program.
- NJDEP. Air Monitory Web Site. 2018 Air Quality Index Summary. <http://www.njaqinow.net/>
- NJDEP, Historic Preservation Office. New Jersey and National Register of Historic Places. Last updated 10/1/2020.
- New Jersey Geological Survey (NJGS). 2008. NJGS Digital Geodata Series –Aquifers of New Jersey. Available for download at: <http://www.state.nj.us/dep/njgs/geodata/dgs98-5.htm>
- NJGS. Informational Circular: Physiographic Provinces of New Jersey. 2003.
- NJGS. Open File Report: Guidelines for Delineation of Well Head Protection Areas in New Jersey. 2003.
- NJGS. 2009. NJGS Digital Geodata Series – Bedrock Geology of New Jersey. Available for download at: <http://www.state.nj.us/dep/njgs/geodata/dgs04-6.htm>.
- NJGS. 2009. NJGS Digital Geodata Series – Ground-Water Recharge for New Jersey. Available for download at: <http://www.state.nj.us/dep/njgs/geodata/dgs02-3.htm>
- NJGS. 2009. NJGS Digital Geodata Series – Physiographic Provinces of New Jersey. Available for download at: <http://www.state.nj.us/dep/njgs/geodata/dgs02-7.htm>.
- Robichaud, B., and M.F. Buell. 1973. Vegetation of New Jersey: A Study of Landscape Diversity. Rutgers University Press, New Brunswick, New Jersey.
- United States Geologic Survey. 1986. 7.5 Minute Quadrangle Maps. United States Geologic Survey, Bernardsville Quadrangles, New Jersey.

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APPENDIX A
SITE LOCATION MAPS
(Site mapping outlines Lot 2 only,
which is where all the site work takes place)



Verizon Global Real Estate			
300 North Maple Avenue Block 803; Lot 2		Township of Bernards, Somerset County, NJ	
BENJ #200554		BOHLER //	
Prepared by: mm	Date: 8/31/2020		
Checked by: ta	Scale: nts		



Figure 2
Aerial Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //



Figure 3
Roads Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //

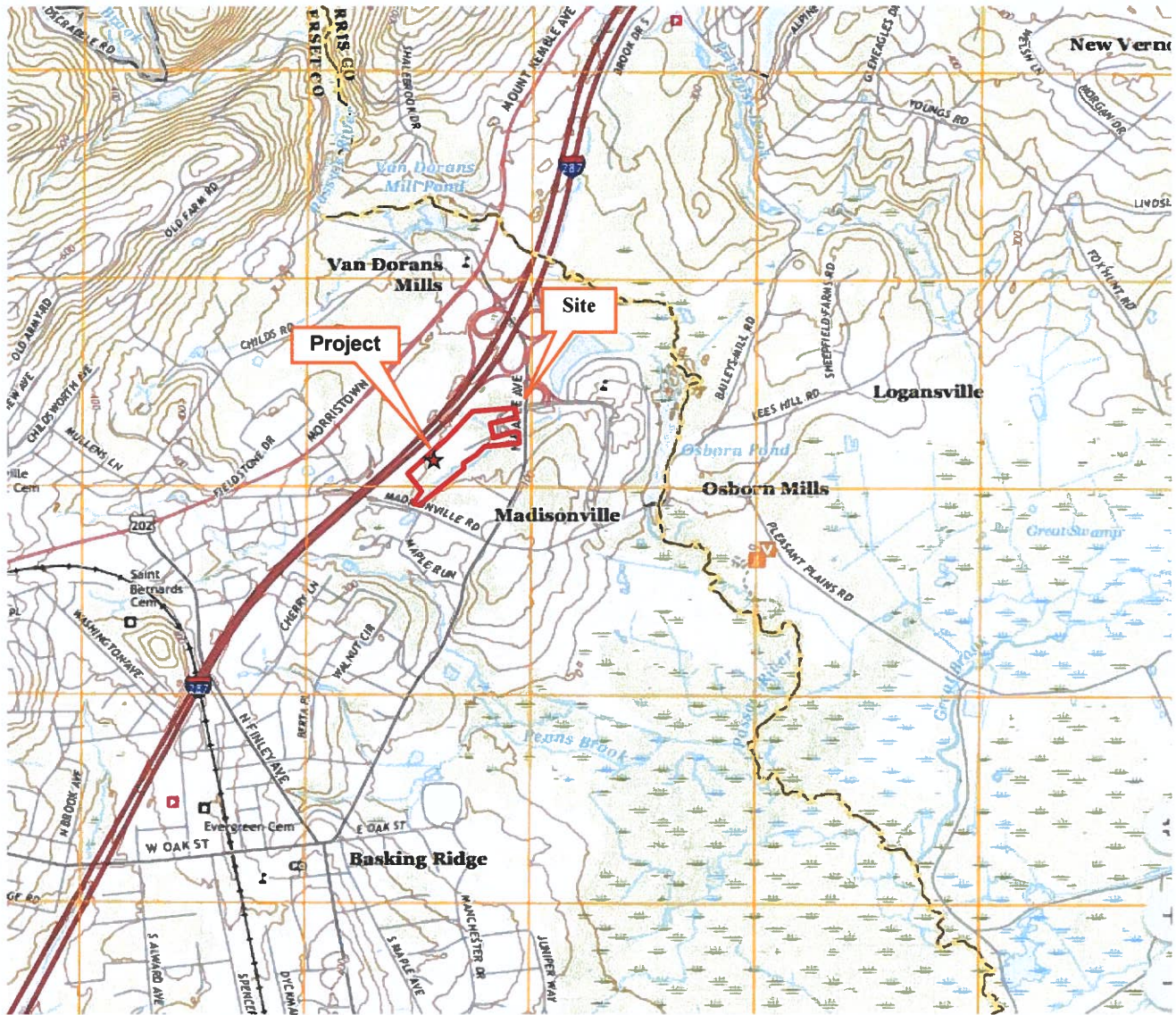


Figure 4
USGS Map
Bernardsville Quadrangle

Source: USGS, 2019

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
 Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //

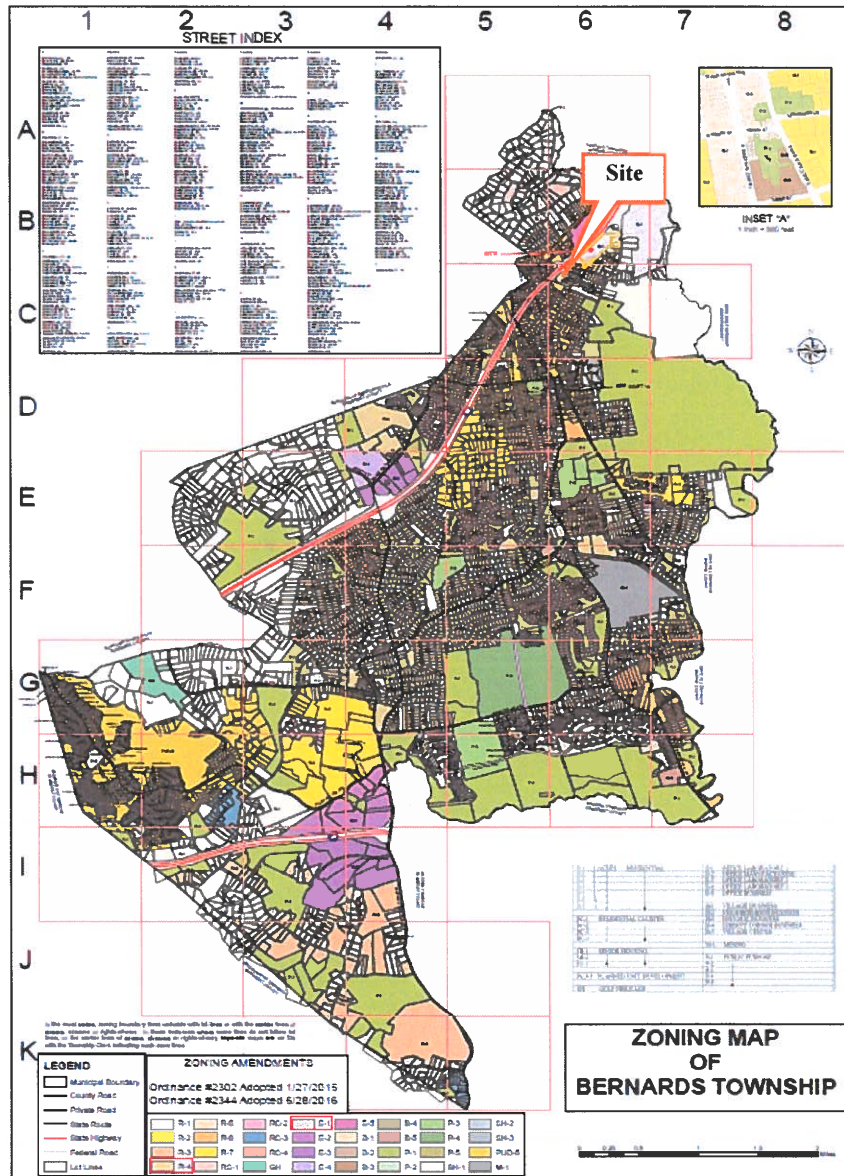


Figure 5
Zoning Map

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //



Figure 6
State Planning Area Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

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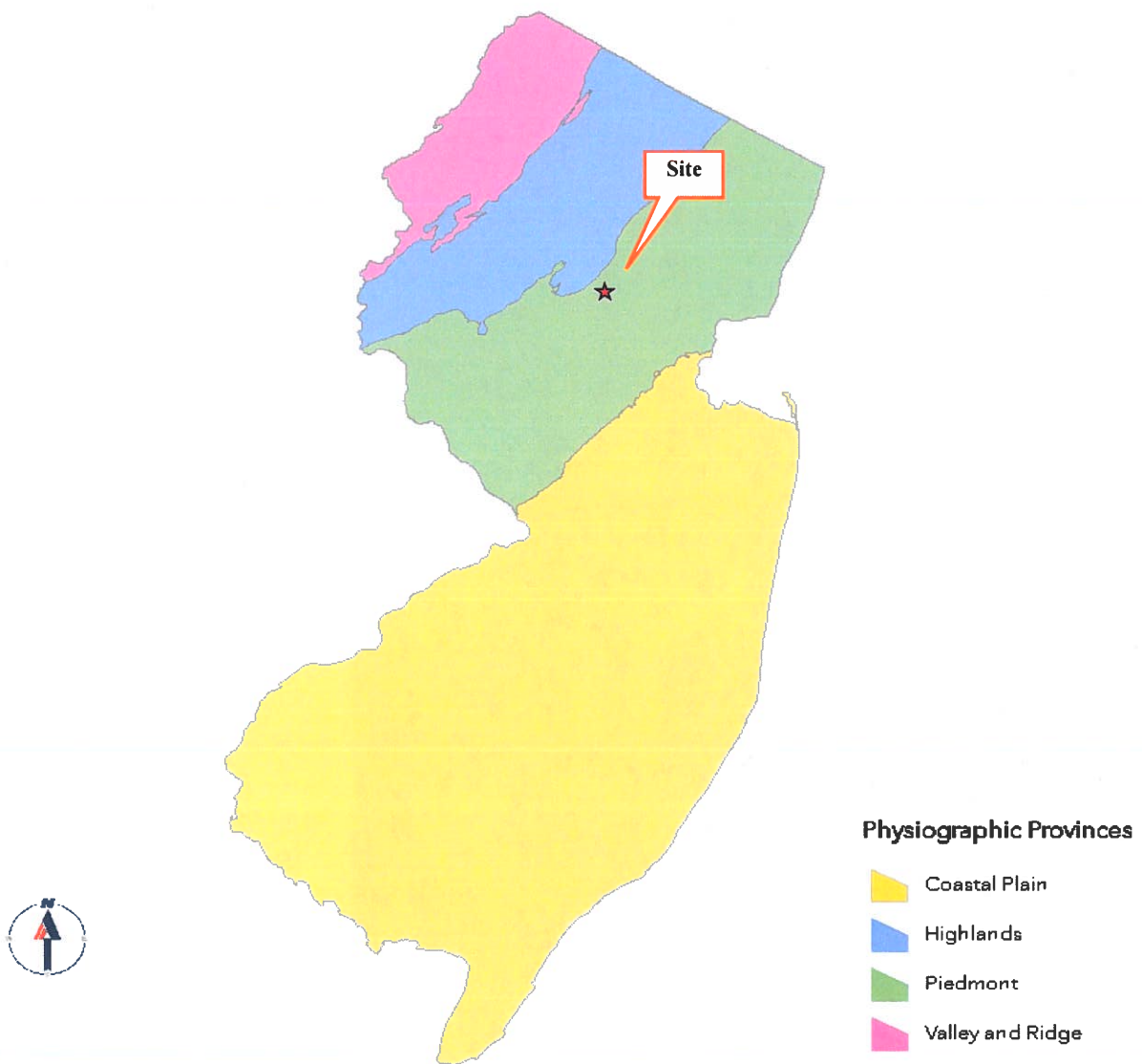


Figure 7
Physiographic Province

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

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Date: 8/31/2020

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BOHLER //

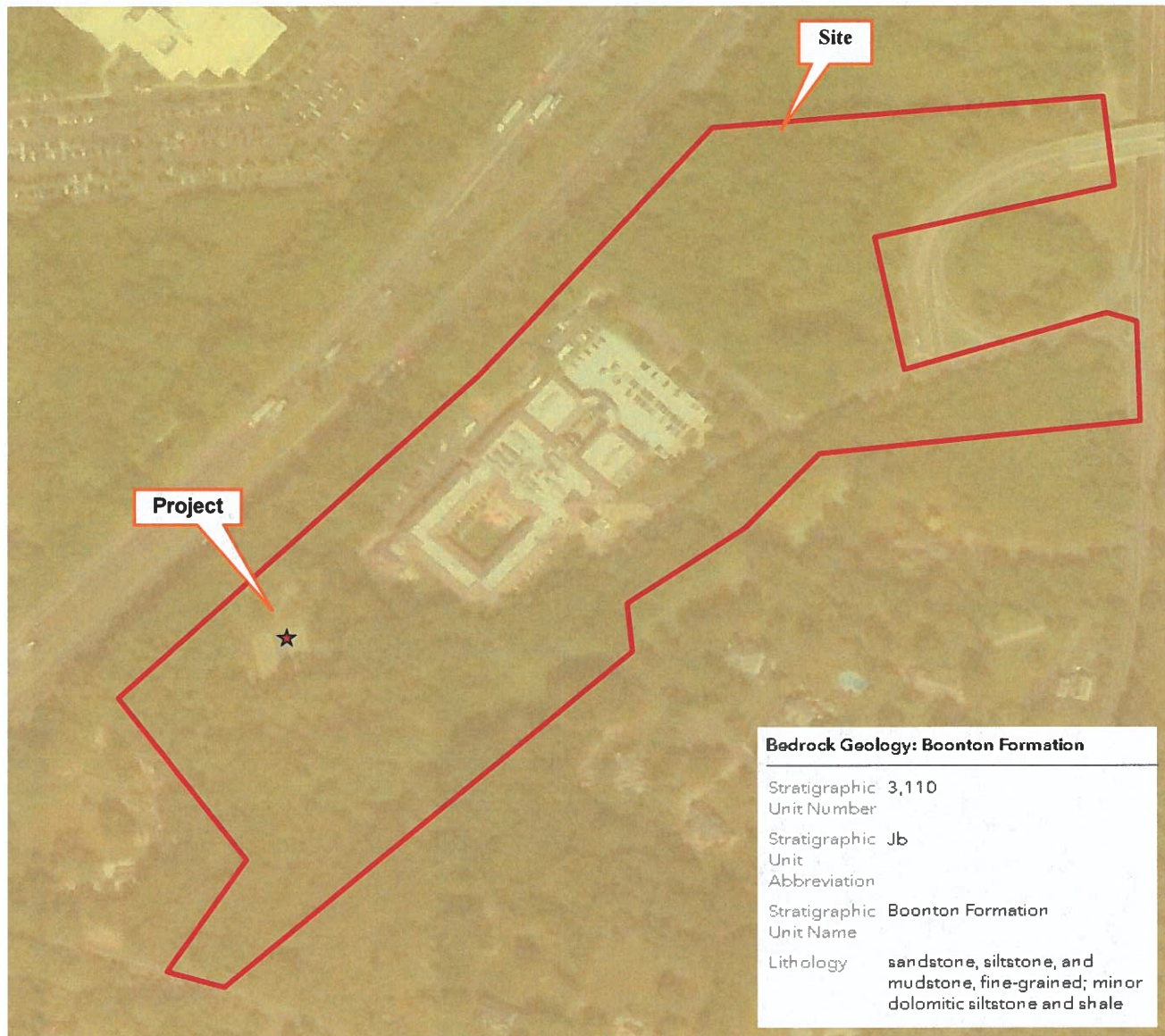


Figure 8
Bedrock Geology Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //

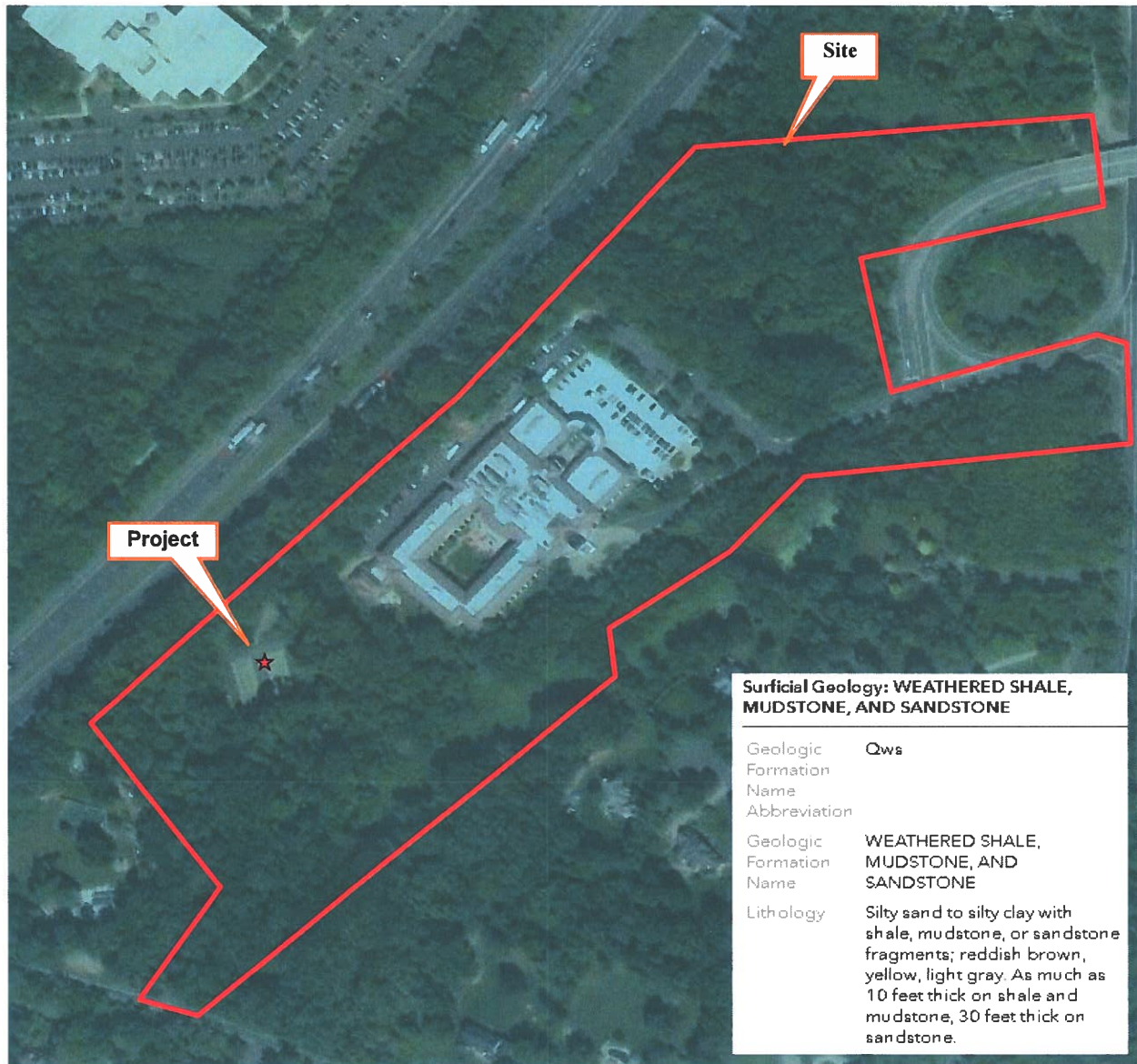


Figure 9
Surficial Geology Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //

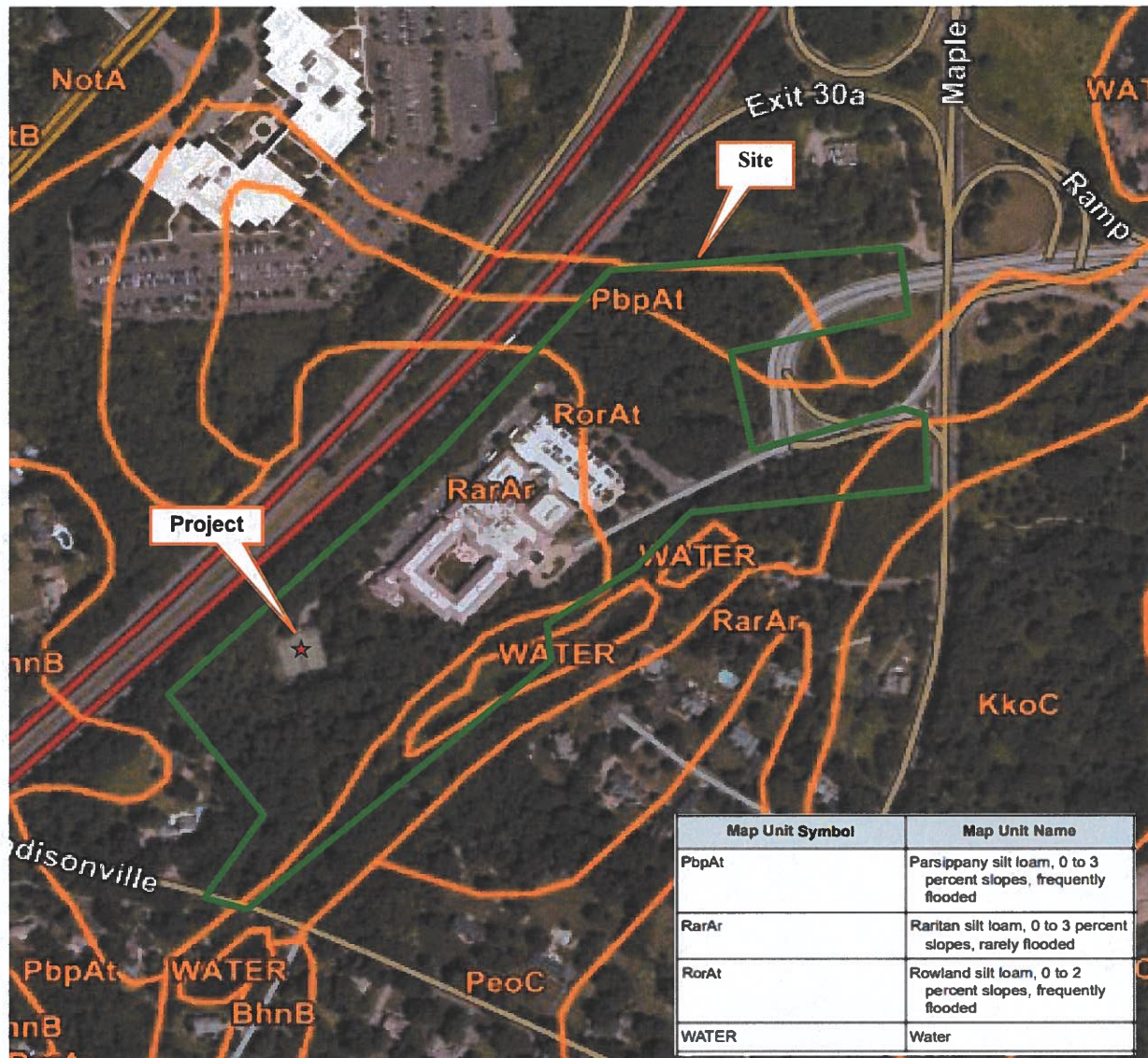


Figure 10
Soils Map

Source: NRCS Web Soil Survey, 2012

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

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Scale: nts

BOHLER //

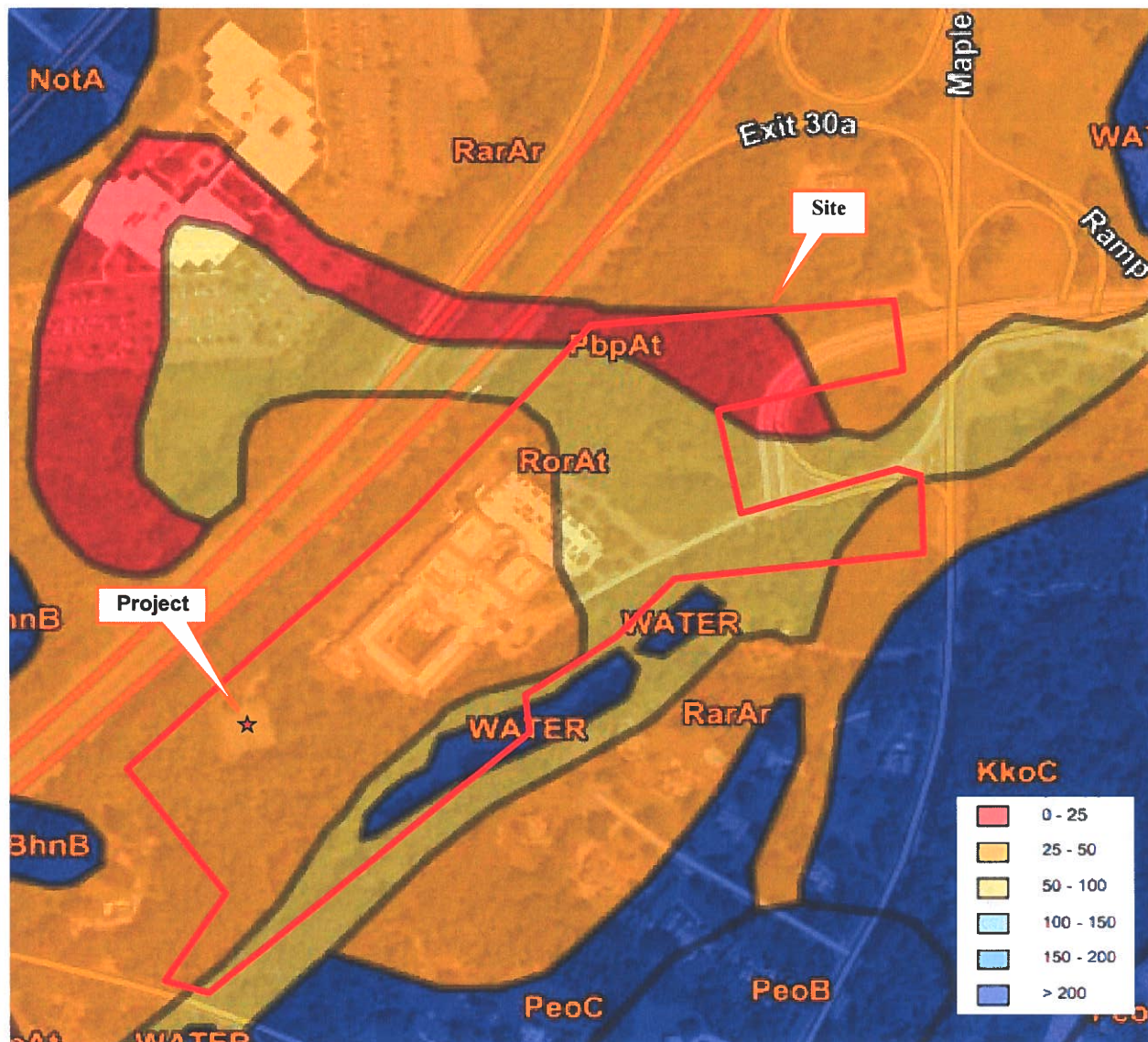


Figure 11
Depth to Seasonal High Water Table

Source: NRCS Web Soil Survey, 2012

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Mⁿ Maple Avenue
 Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

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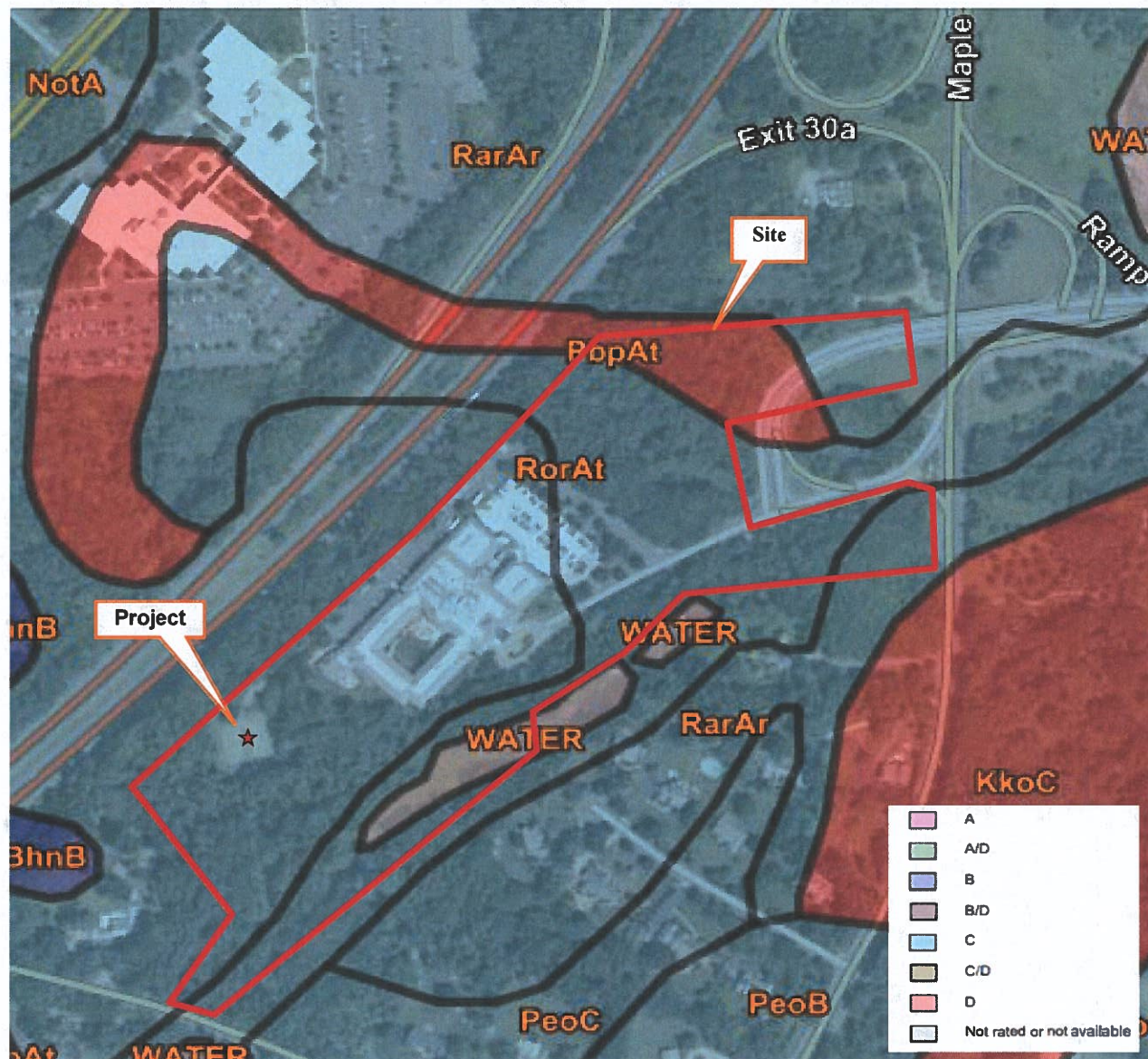


Figure 12
Hydrologic Soils Group

Source: NRCS Web Soil Survey, 2012

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //



Figure 13

Bedrock Aquifer Map

Source: NJ GeoWeb 2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

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Figure 14

Groundwater Recharge Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

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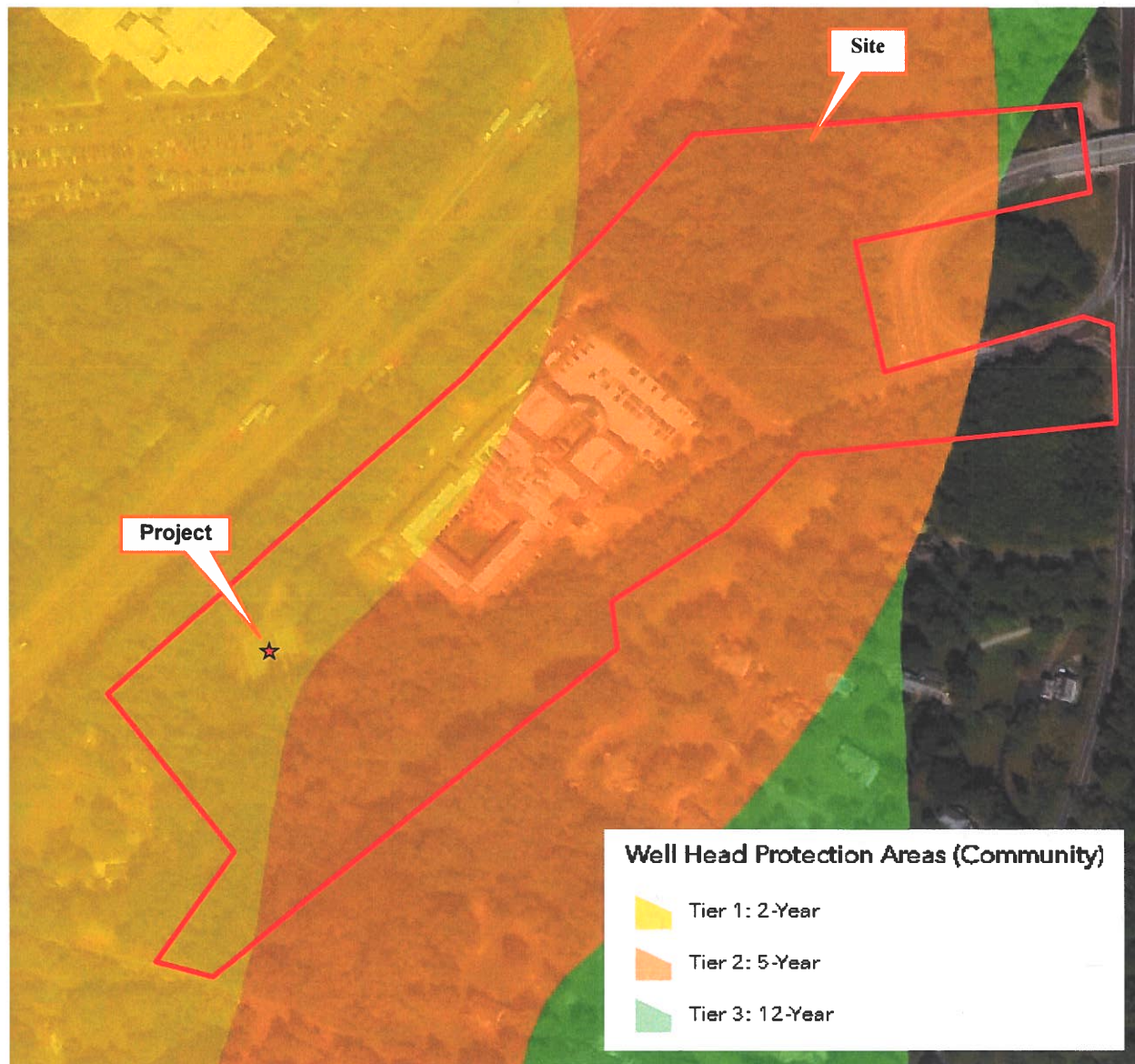


Figure 15
Wellhead Protection Area Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

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Figure 16
HUC-14 Sub-Watershed Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

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Date: 8/31/2020

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Figure 17
NJDEP Stream Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //

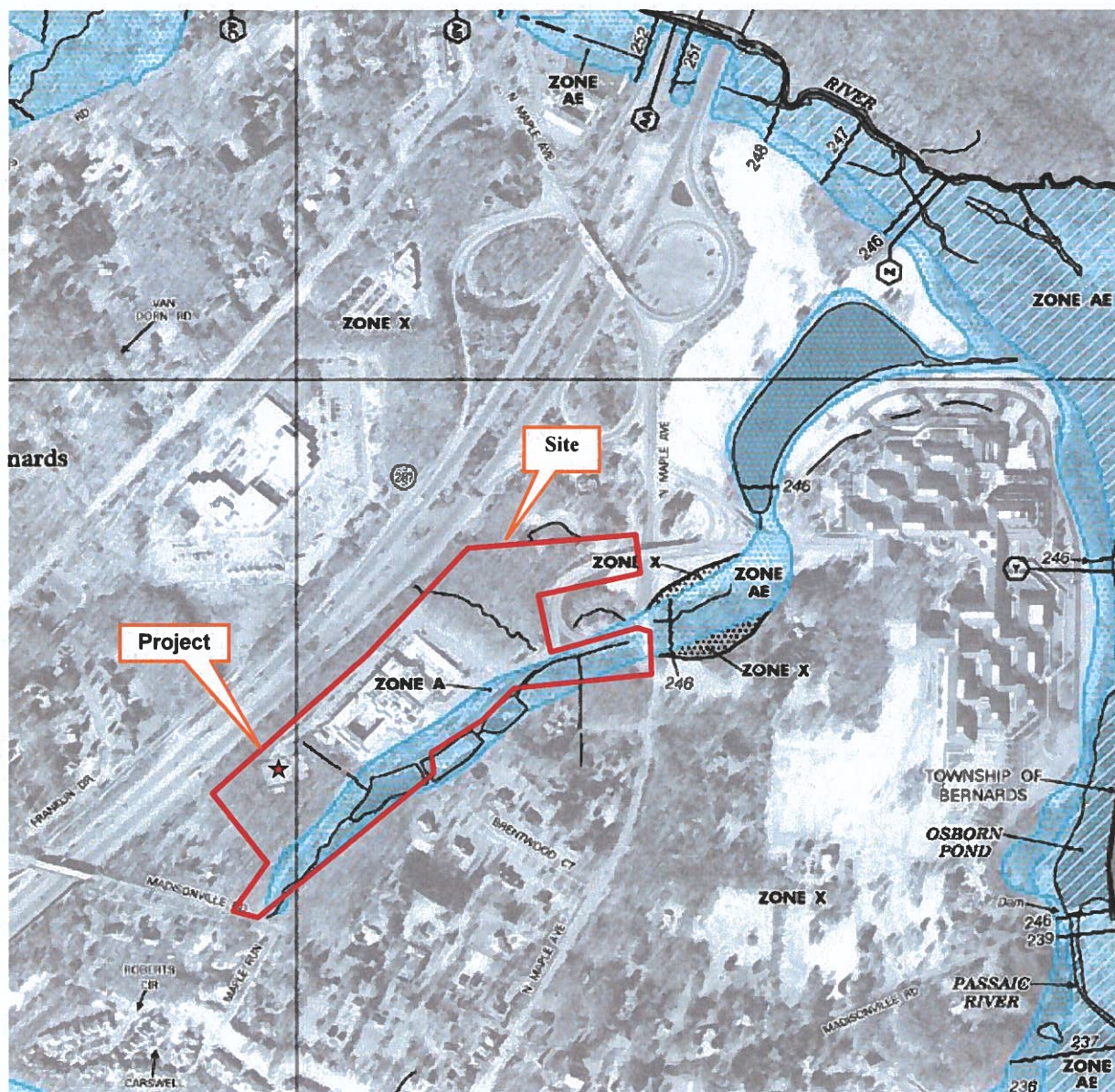


Figure 18
FEMA Flood Map

Source: FEMA FIRM Map #34035C0056E, Date 9/28/2007

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //



Figure 19
NJDEP Potential Freshwater Wetlands Map

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
 Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

BOHLER //

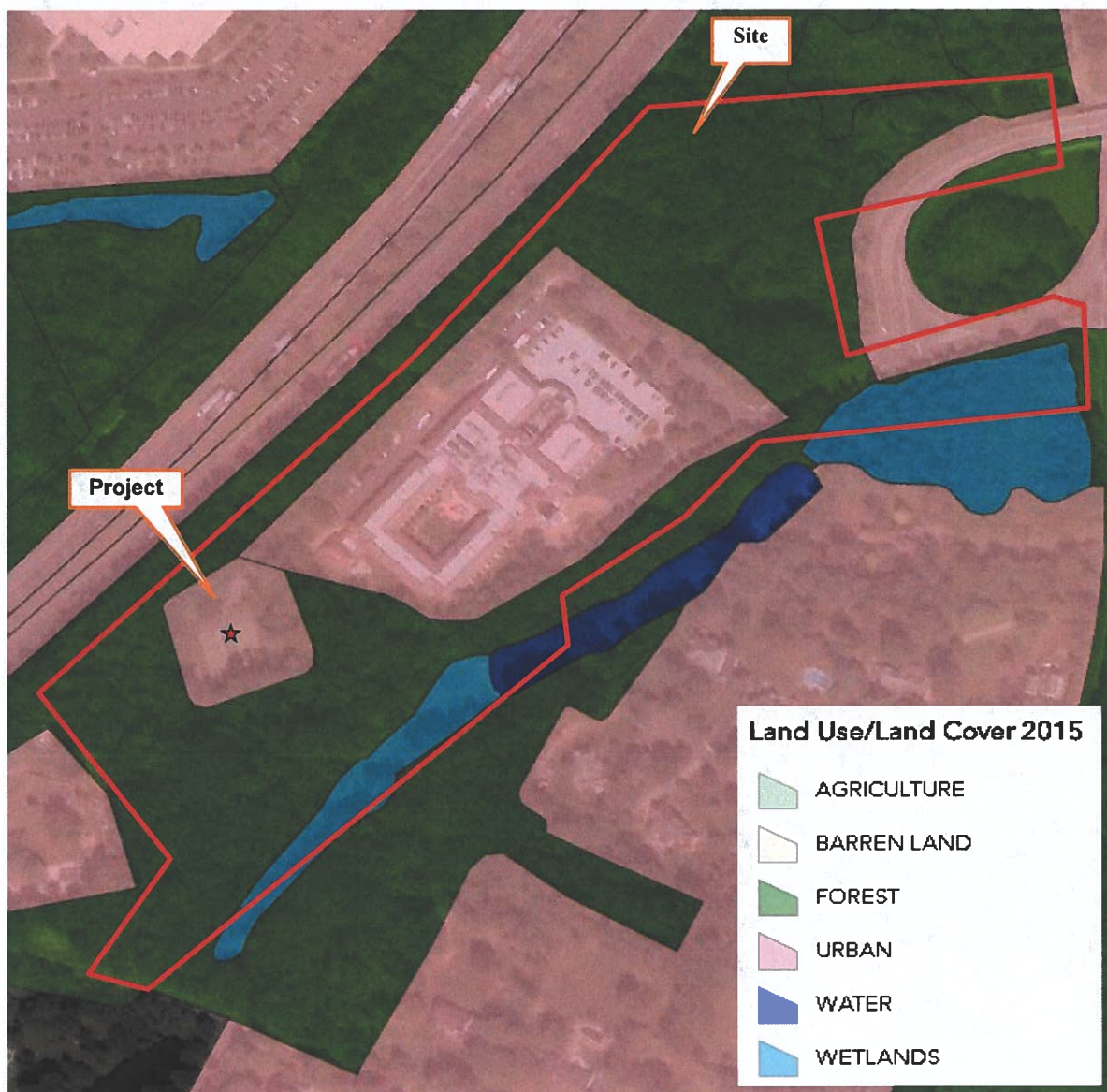


Figure 20
Land Use/Land Cover 2015

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

Prepared by: mm

Date: 8/31/2020

Checked by: ta

Scale: nts

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Figure 21
NJDEP Potential
Threatened/Endangered Species Habitat

Source: NJ GeoWeb 2020

Date Access: 8/31/2020

Verizon Global Real Estate

300 North Maple Avenue
 Block 803; Lot 2

Township of Bernards, Somerset County, NJ

BENJ #200554

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Date: 8/31/2020

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Scale: nts

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APPENDIX B
New Jersey and National Registers of Historic Places



SOMERSET County

Bedminster Township

Bedminster Reformed Church (Grace Fellowship Church) (ID#3531)

375 Main Street
SHPO Opinion: 2/25/1985
COE: 6/23/2005

Greater Cross Roads Historic District (ID#3441)

Lamington Road
SHPO Opinion: 6/13/1997

Hamilton Farm Stable Complex (ID#5101)

1040 Pottersville Road
NR: 5/18/2018 (NR Reference #: RS100001243)
SR: 4/6/2017
COE: 8/3/2011
(a.k.a. James Cox Brady Stable, U.S. Equestrian Team Headquarters, COE is for individual property)

A. Herzog Farmstead (ID#2459)

190 Pottersville Road
SHPO Opinion: 12/29/1993

Lamington Historic District (ID#2461)

Portions of Lamington, Black River, Rattlesnake Bridge and Cowperthwaite roads
NR: 6/21/1984 (NR Reference #: 84002802)
SR: 5/7/1984

Lesser Crossroads / Bedminster Village Historic District (ID#2462)

Peapack and Lamington roads
SHPO Opinion: 7/21/1992

James Martin House (ID#2463)

120 Pottersville Road
SHPO Opinion: 12/29/1993

McDonald's-Kline's Mill (ID#2464)

Kline's Mill Road
NR: 3/9/1987 (NR Reference #: 87000410)
SR: 11/20/1986

Natirar Estate [Historic District] (ID#4089)

County Route 512
COE: 10/25/2002

See Main Entry / Filed Location:

SOMERSET County, Peapack and Gladstone Borough

Peapack Brook Rural Industrial Historic District (ID#3452)

Old Dutch and Peapack roads
SHPO Opinion: 5/2/1997

Also located in:

SOMERSET County, Far Hills Borough
SOMERSET County, Peapack and Gladstone Borough

Pluckemin Continental Artillery Cantonment Site (28-So-27) (ID#4769)

NR: 3/14/2008 (NR Reference #: 08000180)
SR: 1/17/2008

Pluckemin Village Historic District (ID#2465)

District is concentrated along US Route 206 and Burnt Mills Road
NR: 7/26/1982 (NR Reference #: 82003303)
SR: 2/22/1982

Pottersville Village Historic District (ID#1633)

County Route 512, Hill Street, and McCann Mill Road, Black River and Hacklebarney roads
NR: 9/18/1990 (NR Reference #: 90001475)
SR: 8/9/1990

See Main Entry / Filed Location:

HUNTERDON County, Tewksbury Township

Jacobus Vanderveer House (ID#2808)

US Routes 202 and 206, north of River Road
NR: 9/29/1995 (NR Reference #: 95001137)
SR: 7/13/1995

Vanderveer Archaeological Site (28-So-97) (ID#2466)

SHPO Opinion: 11/1/1988

Bernards Township

The Academy (ID#2467)

15 West Oak Street
NR: 7/21/1976 (NR Reference #: 76001185)
SR: 11/25/1975

Alward House (ID#2468)

40 Mount Airy Road
NR: 3/13/1986 (NR Reference #: 86000388)
SR: 2/5/1986

Basking Ridge Historic District (ID#2469)

North & South Finley and North & South Maple avenues; Lewis, West Craig & Oak streets
DOE: 8/18/1994
(DOE/Owner Objection)

Basking Ridge Presbyterian Church (ID#2470)

6 East Oak Street
NR: 12/31/1974 (NR Reference #: 74001190)
SR: 10/24/1974

Boudinot / Southard Farmstead (ID#4955)

135 North Maple Avenue
NR: 12/18/2009 (NR Reference #: 09001101)
SR: 9/11/2009

"The Buildings" (Lord Stirling Manor Complex) (ID#2475)

NR: 5/22/1978 (NR Reference #: 78001795)
SR: 12/1/1976



Coffee House (ID#2471)

214 North Maple Avenue

NR: 11/7/1977 (NR Reference #: 77000906)

SR: 3/28/1977

Franklin Corners Historic District (ID#2472)

Hardscrabble and Childs roads

NR: 5/12/1975 (NR Reference #: 75001159)

SR: 12/12/1974

Gladstone Branch of the Delaware, Lackawanna and Western (DL&W) Railroad Historic District (ID#5030)

NJ Transit Gladstone Line between Peapack and Gladstone Borough and Summit City

SHPO Opinion: 10/20/2010

See Main Entry / Filed Location:

SOMERSET County, Peapack and Gladstone Borough

Kennedy-Martin-Stelle Farmstead (ID#4200)

450 King George Road

NR: 5/5/2004 (NR Reference #: 03000868)

SR: 6/9/2003

COE: 5/14/2001

(Referred to in COE as "Reverend Samuel Kennedy Parsonage Farmstead")

Liberty Corner Historic District (ID#2473)

Church Street, Lyons Road, and Valley Road

NR: 10/11/1991 (NR Reference #: 91001477)

SR: 8/16/1991

Lyons Railroad Station (ID#2474)

Lyons Road

NR: 6/22/1984 (NR Reference #: 84002805)

SR: 3/17/1984

(Thematic Nomination of Operating Passenger Railroad Stations [ID#5080])

Lyons Veterans Administration Hospital Historic District (ID#2476)

151 Knollcroft Road

NR: 7/3/2013 (NR Reference #: 13000461)

SR: 4/29/2013

DOE: 11/26/1980

SHPO Opinion: 6/12/1980

(United States Second Generation Veterans Hospitals MPDF)

PSE&G Roseland to Branchburg Segment of the Roseland to Pleasant Valley Transmission Line (NHL, ID#5786)

SHPO Opinion: 8/14/2020

(Extends from Livingston Township in Essex County to Branchburg Township in Somerset County)

Bernardsville Borough

Bernardsville Railroad Station (ID#2477)

US Route 202, Mine Brook Road

NR: 6/22/1984 (NR Reference #: 84002786)

SR: 3/17/1984

SHPO Opinion: 9/1/1978

(Thematic Nomination of Operating Passenger Railroad Stations [ID#5080])

Bernardsville Municipal Building (ID#2901)

Mine Brook Road

SHPO Opinion: 2/27/1995

Country Place Era Resources of the NJ Somerset Hills MPDF (ID#5240)

SR: 2/21/2013

Dunster-Squibb House (ID#4997)

189 Mine Brook Road (Route 202)

SR: 10/16/2013

COE: 8/6/2010

(The Dunster Farmstead, The Orchard)

Gill-Saint Bernards Lower School (ID#2478)

Claremont Road

SHPO Opinion: 6/11/1993

Gladstone Branch of the Delaware, Lackawanna and Western (DL&W) Railroad Historic District (ID#5030)

NJ Transit Gladstone Line between Peapack and Gladstone Borough and Summit City

SHPO Opinion: 10/20/2010

See Main Entry / Filed Location:

SOMERSET County, Peapack and Gladstone Borough

Morristown National Historical Park (ID#3381)

NR: 10/15/1966 (NR Reference #: 66000053)

SR: 5/27/1971

(National Historic Site; Four discontiguous units: Washington's Headquarters, Fort Nonsense, Jockey Hollow, and New Jersey Brigade Encampment. Additional documentation accepted by the Keeper of the National Register 2/27/80.)

See Main Entry / Filed Location:

MORRIS County, Morristown Town

Olcott Avenue Historic District (ID#4896)

Portions of Olcott, Childsworth, & Highview Avenues and Church Street

NR: 11/20/2009 (NR Reference #: 09000940)

SR: 5/20/2009

John Parker Tavern (ID#2479)

2 Morristown Road

NR: 12/14/1978 (NR Reference #: 78001796)

SR: 4/15/1978

APPENDIX C
PROFESSIONAL QUALIFICATIONS

Michelle Measday, CFM, PWS

Senior Environmental Specialist

MMEASDAY@BOHLERENG.COM

EDUCATION

M.A. Environmental Management,
Montclair State University, 1993

B.A. Geology, Concentration in
Chemistry, Rutgers University,
1985

PROFESSIONAL LICENSES

Professional Wetland Scientist

Certified Floodplain Manager: US

USACE Wetland
Delineator Certified

Hazardous Waste Operations
Training, 40-Hour, OSHA:
US; Annual Refreshers

Construction Safety Training,
10-Hour, OSHA: US

Advanced Hydric Soils Training

PROFESSIONAL AFFILIATIONS

National Association of
Environmental Professionals

Society of Wetlands Scientists

Ms. Measday has been an Environmental Consultant for over 20 years performing wetland delineations and evaluations on thousands of acres of land through New York, New Jersey and Pennsylvania. Located in Bohler's New Jersey branch offices, she provides support on a variety of environmental projects including industrial, commercial and residential developments.

Ms. Measday has performed numerous habitat assessments for threatened and endangered species targeting herptile, avian and mammalian species. Her experience in threatened and endangered species specific surveys include: call surveys for the Pine Barrens treefrog (*Hyla andersonii*), Barred Owl (*Strix varia*), Red-Shouldered Hawk (*Buteo lineatus*), Red-headed woodpecker (*Melanerpes erythrocephalus*), Red-Cockaded Woodpecker (*Leuconotopicus borealis*) and Cooper's Hawk (*Accipiter cooperii*). She has also worked closely in the field under the direct supervision of the New Jersey Department of Environmental Protection monitoring the nesting of the Bald Eagle (*Haliaeetus leucocephalus*), Osprey (*Pandion haliaetus*), Northern Harrier (*Circus cyaneus*) and colonial water bird sites in the Barnegat Bay and Delaware Bayshore area during Sandy Debris cleanup efforts.

Ms. Measday has coordinated hundreds of environmental projects and regulatory agency permitting applications for various commercial, industrial, and residential projects. She has also authored numerous comprehensive environmental impact and inventory reports.

NOTES CORRESPONDING TO SCHEDULE B

- FIDELITY NATIONAL TITLE INSURANCE COMPANY, FILE NO. 2016--80543, COMMITMENT DATE NOVEMBER 16, 2016.
- 12) Easement to Bernards Water Company as set forth in Deed Book 1085 page 3. -- PLOTTED ON SURVEY.
- 13) Slope and Drainage rights, and right to maintain headwall to the State of New Jersey, along with the conveyance of Rights of Direct Access as set forth in Deed Book 1123 page 19. -- NOT PLOTTED ON SURVEY (REFERENCED MAP IN DOCUMENT NOT PROVIDED).
- 14) Easement to Jersey Central Power and Light Company as set forth in Deed Book 1375 page 313 -- PLOTTED ON SURVEY and Deed Book 1745 page 449. -- PLOTTED ON SURVEY.
- 15) Easement to Bernards Township Sewerage Authority as set forth in Deed Book 1490 page 739. -- NOT PLOTTED ON SURVEY (IT IS A BLANKET SANITARY SEWER EASEMENT).
- 16) Easement to Jersey Central Power and Light Company and New Jersey Bell Telephone Company as set forth in Deed Book 1508 page 347. -- NOT PLOTTED ON SURVEY (IT IS A BLANKET ELECTRIC & PHONE EASEMENT).
- 17) Easement to Jersey Central Power and Light Company as set forth in and Deed Book 1375 page 313. -- PLOTTED ON SURVEY.
- 18) Easement to Jersey Central Power and Light Company as set forth in Deed book 1345 page 563. -- PLOTTED ON SURVEY.
- 19) Release of Claims between Pharmacia & Upjohn Company and AT&T Resource Management Corporation dated July 1, 2002 and recorded July 1, 2002 in Deed Book 5169 page 795. Release of Claims between Pharmacia Learning Center Corporation and AT&T Corp. as successor by merger to AT&T Resource Management Corporation dated July 1, 2002 and recorded July 1, 2002 in Deed Book 5169 page 806. -- NOT PLOTTED ON SURVEY (NOT SURVEY RELATED).
- 20) Reciprocal Easement Agreement between Pharmacia Learning Center Corporation and Verizon Corporate Services Group, Inc. dated May 5, 2005 and recorded May 10, 2005 in Deed Book 5740 page 1881. -- PLOTTED ON SURVEY.
- 21) Easement Agreement between Pharmacia Learning Center Corporation and Verizon Corporate Services Group, Inc. and State of New Jersey, by the Commissioner of Transportation dated September 14, 2006 and recorded March 8, 2007 in Deed Book 6002 page 50. -- NOT PLOTTED ON SURVEY (THE LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT).
- 22) Grant of Sanitary Sewer Easement between Pharmacia Learning Center Corporation and Pharmacia & Upjohn Company, LLC dated May 25, 2007 and recorded June 8, 2007 in Deed Book 6033 page 3425. -- NOT PLOTTED ON SURVEY (IT IS A BLANKET SANITARY SEWER EASEMENT).
- 23) Quit Claim Deed between Pharmacia Learning Center Corporation and BRCP NJ Properties, LLC dated May 31, 2007 and recorded June 8, 2007 in DeedBook 6033 page 3452. -- NOT PLOTTED ON SURVEY (NOT SURVEY RELATED).
- 24) Terms and conditions of Lease, as evidenced by Memorandum of Lease between BRCP NJ PROPERTIES, LLC and BRCP NJ OPERATING, LLC dated June 7, 2007 and recorded June 8, 2007 in Deed Book 6033 page 3460. -- NOT PLOTTED ON SURVEY (NOT SURVEY RELATED).

SITE DATA

1. PARKING PROVIDED -- PARKING GARAGE --REGULAR = 130 SPACES --HANDICAP = 3 SPACES TOTAL SPACES PROVIDED = 133
- PARKING GARAGE --REGULAR = 237 SPACES --HANDICAP = 9 SPACES TOTAL SPACES PROVIDED = 246
2. PROPERTY IS KNOWN AS BLOCK 803 LOTS 2, 3, 5, 6, AND 23 IN THE TOWNSHIP OF BERNARDS, SOMERSET COUNTY, NEW JERSEY.
3. LOT AREA:
LOT 2 = 1,090,465 S.F. OR 25.0336 AC.
LOT 3 = 156,447 S.F. OR 3.6374 AC.
LOT 5 = 98,959 S.F. OR 2.2718 AC.
LOT 6 = 44,496 S.F. OR 1.0215 AC.
LOT 23 = 131,645 S.F. OR 3.0288 AC.
- ZONE E-1 = 1,189,766 S.F. OR 27.3132 AC.
ZONE R-4 = 334,449 S.F. OR 7.6779 AC.
4. VERTICAL DATUM = NAVD 1988
5. BENCHMARK -- MAG NAIL 277.15
6. BASED ON VISUAL OBSERVATION, THE SUBJECT PROPERTY IS SERVED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION. THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR ABOVE GROUND MARKINGS TO DETERMINE ANY SUBSURFACE LOCATION. CONTACT LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION
7. THERE WAS NO OBSERVABLE EVIDENCE OF CEMETERIES FOUND AT THE TIME OF THIS SURVEY.
8. THE PROPERTY HAS DIRECT ACCESS TO TILGHMAN STREET, A PUBLIC RIGHT OF WAY.

ZONING

The subject property is zoned "E-1" Office Laboratory District & "R-4" Residential District

E-1 District:
Front Setback: 150 ft.
Side Setback: 100 ft.
Rear Setback: 150 ft.
Residential Setback: 150 ft.

Minimum Lot Area: 15 acres
Minimum Lot Width: 400 ft.
Minimum Frontage: 100 ft.

R-4 District:
Front Setback: 75 ft.
Side Setback: 20 ft.
Rear Setback: 75 ft.

Minimum Lot Area: 1 acre
Minimum Lot Width: 200 ft.
Minimum Frontage: 100 ft.

ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE TOWNSHIP OF BERNARDS, COUNTY OF SOMERSET, AND STATE OF NEW JERSEY, AND IS DESCRIBED AS FOLLOWS:

Tract 1: (Block 803 Lot 2 formerly Block 15 Lot 2)

Beginning at a point in the westerly right-of-way line of North Maple Avenue, said point being the common corner between Lots 2 and 15, Block 15, thence;

1. Running along the southerly line of Lot 15, South 86° 29' 22" West, 731.17 feet to a point in the southeasterly right-of-way line of N.J.S.H. Route 287, thence the following four courses running along said right-of-way line of Route 287;

2. South 38° 09' 28" West, 154.74 feet to a point, thence;

3. South 42° 21' 20" West, 507.78 feet to a point, thence;

4. South 45° 26' 29" West, 505.89 feet to a point, thence;

5. South 46° 44' 16" West, 288.44 feet to a point on a concrete monument, thence leaving Route 287, the following three courses running along Lot 1, Block 15;

6. South 26° 17' 15" East, 416.98 feet to a point on a concrete monument, thence;

7. On a curve to the left having a radius of 250.00 feet, an arc length of 35.06 feet, a delta of 8° 02' 06", and a chord of South 18° 46' 52" West, 35.03 feet to a point of tangency on a concrete monument, thence;

8. South 14° 45' 45" West, 146.51 feet to a point on a concrete monument in the northerly right-of-way line of Madisonville Road, thence;

9. Running along the northerly right-of-way line of Madisonville Road, on a curve to the right having a radius of 2025.00 feet, an arc length of 97.90 feet, a delta of 2° 46' 12", and a chord of South 70° 24' 04" East, 97.89 feet to a point, thence;

10. Leaving Madisonville Road and running along Lot 3 and 9.04, Block 15, North 44° 58' 11" East, 925.82 feet to a point, thence;

11. Running along Lot 9.04, North 30° 05' 44" West, 60.49 feet to a point, thence;

12. North 8° 26' 46" East, 15.01 feet to a point, thence;

13. Running along Lots 9.04 and 12, Block 15, North 56° 29' 40" East, 292.19 feet to a point, thence;

14. Running along Lot 12, North 43° 42' 33" East, 193.63 feet to a point on a concrete monument, thence;

15. Running along Lots 12 and 13, Block 15, North 83° 14' 12" East, 541.42 feet to a point in the westerly right-of-way line of North Maple Avenue, thence the following two courses running along the westerly right-of-way line of North Maple Avenue;

16. North 1° 06' 34" East, 233.26 feet to a point, thence;

17. North 88° 53' 26" West, 222.27 feet to a point, thence leaving North Maple Avenue the following three courses running along Lot 14, Block 15;

18. South 68° 05' 35" West, 380.29 feet to a point in the entrance road pavement, thence;

19. North 9° 11' 25" West, 278.52 feet to a point, thence;

20. North 76° 00' 35" East, 418.06 feet to a point in the westerly right-of-way line of North Maple Avenue, thence;

21. Running along the westerly right-of-way line of North Maple Avenue, North 10°08' 58" West, 122.77 feet to the point of beginning.

Tract 2: (Block 803 Lot 3 formerly Block 15 Lot 15)

Beginning at a point in the westerly right-of-way line of North Maple Avenue, said point being the common corner between Lots 2 and 15, Block 15, thence;

1. Running along said westerly right-of-way line of North Maple Avenue, North 10° 08' 58" West, 200.00 feet to a corner of Lot 16, Block 15, thence leaving North Maple Avenue the following two courses running along Lot 16;

2. South 86° 29' 22" West, 224.83 feet to a point on a concrete monument, thence;

3. North 10° 08' 58" West, 170.97 feet to a point on a concrete monument in the southeasterly right-of-way line of N.J.S.H. Route 287, thence the following two courses running along the southeasterly right-of-way line of Route 287;

4. South 67° 43' 32" West, 205.14 feet to a point, thence;

5. South 38° 09' 28" West, 404.94 feet to a corner of Lot 2, Block 15, thence;

6. Leaving Route 287 and running along Lot 2, North 86° 29' 22" East, 731.17 feet to the point of beginning.

Tract 3: (Block 803 Lot 5 formerly Block 15 Lot 14)

Beginning at a point in the westerly right-of-way line of North Maple Avenue, said point being the common corner between Lots 2 and 14, Block 15, and being the most northeasterly corner of Lot 14, thence leaving North Maple Avenue, the following three courses running along Lot 2;

1. South 76° 00' 35" West, 418.06 feet to a point, thence;

2. South 9° 11' 25" East, 278.52 feet to a point in the entrance road pavement, thence;

3. North 88° 05' 35" East, 380.29 feet to a point in the westerly right-of-way line of North Maple Avenue, thence the following six courses running along the westerly right-of-way line of North Maple Avenue;

4. North 88° 53' 26" West, 52.23 feet to a point, thence;

5. North 1° 06' 34" East, 50.00 feet to a point, thence;

6. South 88° 53' 26" East, 75.00 feet to a point, thence;

7. North 1° 06' 34" East, 87.91 feet to a point, thence;

8. On a curve to the left having a radius of 975.00 feet, an arc length of 20.35 feet, a delta of 1° 11' 44", and a chord of North 9° 33' 06" West, 20.35 feet to a point of tangency, thence;

9. North 10° 08' 58" West, 77.84 feet to the point of beginning.

Tract 4: (Block 803 Lot 6 formerly Block 15 Lot 13)

Beginning at a point in the westerly right-of-way line of North Maple Avenue, said point being the common corner between Lots 2 and 13, Block 15, thence;

1. Leaving North Maple Avenue and running along the southerly line of Lot 2, South 83° 14' 12" West, 403.87 feet to a point on a concrete monument, thence the following two courses running along Lot 12, Block 15;

2. South 58° 29' 58" East, 240.00 feet to a point on a concrete monument, thence;

3. North 83° 14' 12" East, 194.88 feet to a point in the westerly right-of-way line of North Maple Avenue, thence;

4. Running along the westerly right-of-way line of North Maple Avenue, North 10° 08' 34" East, 150.04 feet to the point of beginning.

Tract 5: (Block 803 Lot 23 formerly Block 15 Lot 3)

Beginning at a point in the northerly right-of-way line of Madisonville Road, said point being the common corner between Lots 2 and 3, Block 15, thence the following three courses running along the northerly right-of-way line of Madisonville Road;

1. On a curve to the right having a radius of 2025.00 feet, an arc length of 77.25 feet, a delta of 2° 11' 09", and a chord of South 67° 55' 23" East, 77.25 feet to a point of curvature, thence;

2. On a curve to the right having a radius of 771.63 feet, an arc length of 68.28 feet, a delta of 5° 28' 50", and a chord of South 66° 57' 10" East, 68.25 feet to a point of tangency on a broken concrete monument, thence;

3. South 64° 12' 14" East, 162.36 feet to a point, thence;

4. Leaving Madisonville Road and running along Lots 4.01 and 4.02, Block 15, North 25° 47' 46" East, 762.19 feet to a point on a concrete monument, thence;

5. Running along Lot 9.04, Block 15, North 57° 05' 14" West, 38.35 feet to a point in line of Lot 2, Block 15, thence;

6. Running along Lot 2, South 44° 58' 11" West, 820.75 feet to the point of beginning.

Beginning at a point in the westerly right-of-way line of North Maple Avenue, said point being the common corner between Lots 2 and 15, Block 15, thence;

1. Running along said westerly right-of-way line of North Maple Avenue, North 10° 08' 58" West, 200.00 feet to a corner of Lot 16, Block 15, thence leaving North Maple Avenue the following two courses running along Lot 16;

2. South 86° 29' 22" West, 224.83 feet to a point on a concrete monument, thence;

3. North 10° 08' 58" West, 170.97 feet to a point on a concrete monument in the southeasterly right-of-way line of N.J.S.H. Route 287, thence the following two courses running along the southeasterly right-of-way line of Route 287;

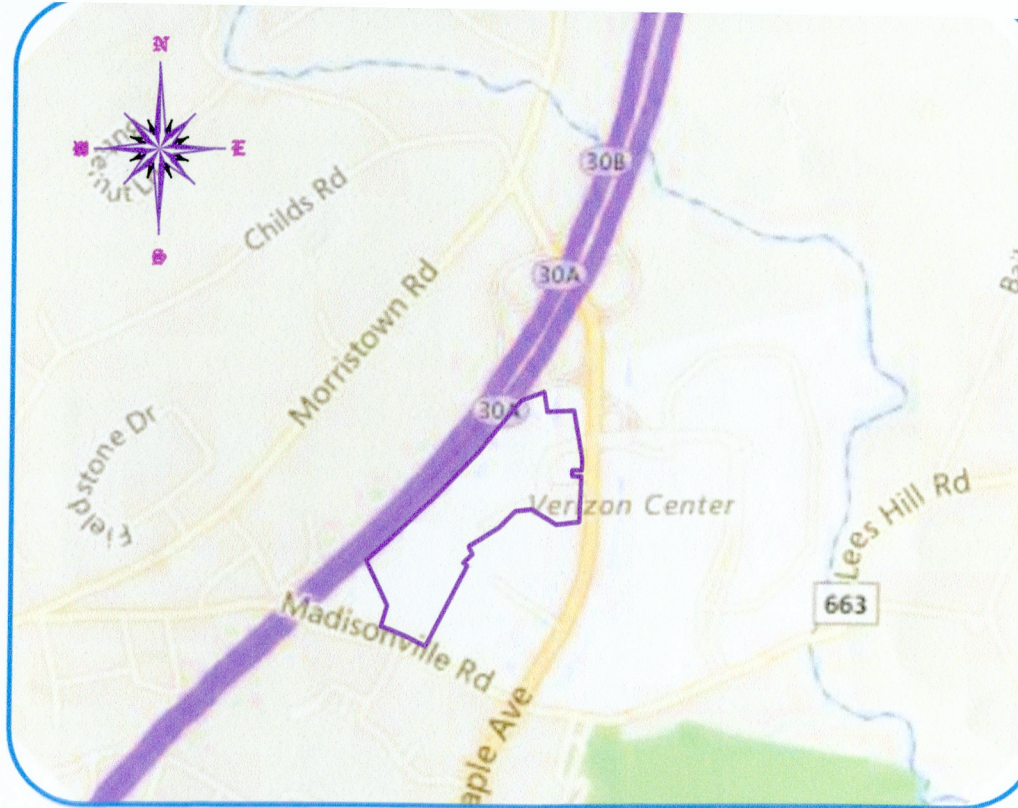
4. South 67° 43' 32" West, 205.14 feet to a point, thence;

5. South 38° 09' 28" West, 404.94 feet to a corner of Lot 2, Block 15, thence;

6. Leaving Route 287 and running along Lot 2, North 86° 29' 22" East, 731.17 feet to the point of beginning.

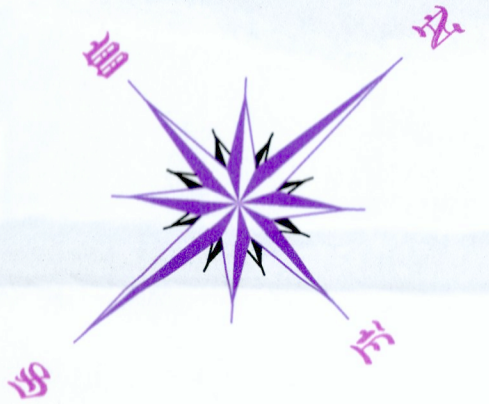
STANDARD LEGEND

- | | | |
|---------------------------|---------------------------|------------------------------|
| ● MONUMENT FOUND | POWER POLE | SS SANSEWER LINE |
| ○ MONUMENT SET | GY WIRE | ○ SEWER MANHOLE |
| ■ P.K. NAIL FOUND | LIGHT POLE | ○ CLEAN OUT |
| □ P.K. NAIL SET | STREET LIGHT POLE | SD STORM DRAIN LINE |
| × SET X MARK | ELEC. TRANSFORMER | STORM DRAIN MANHOLE |
| △ R.R. SPIKE FOUND | AIR CONDITIONER | STORM INLET |
| △ R.R. SPIKE SET | BURIED ELECTRIC | CURB INLET |
| ⊕ BENCHMARK | O/H OVERHEAD ELECTRIC | ☎ PAY PHONE |
| CONC. R/W MARKER | ELEC. MANHOLE | ☎ TELEPHONE BOX |
| (R) RECORD DATA | ○ ELECTRIC METER | ○ TELEPHONE MANHOLE |
| (M) MEASURED DATA | W WATER LINE | ☎ TELEPHONE POLE |
| (S) SURVEYED DATA | WATER MANHOLE | ○/HT OVERHEAD TELEPHONE |
| R/W RIGHT OF HWY | WATER VALVE | UNDERGROUND TELEPHONE MARKER |
| BSL BACK SET LINE | WATER METER | ○/HC OVERHEAD CABLE |
| RCP REINFORCED CONC PIPE | HYDRANT | ☎ CABLE BOX |
| PVC CORRUGATED METAL PIPE | BACK FLOW PREVENTOR | ☎ UNDERGROUND CABLE MARKER |
| PVC PLASTIC PIPE | GAS VALVE | ☎ TRAFFIC SIGNAL |
| MTL METAL | UNDERGROUND GAS MARKER | ☎ TRAFFIC MANHOLE |
| AGL ABOVE GROUND LEVEL | GAS MANHOLE | ☎ TRAFFIC SIGNAL BOX |
| F.P. FOOTPRINT | GAS LINE | ☎ STOP SIGN |
| L/S LANDSCAPING | BOLLARD | ☎ SIGN |
| TREE | BORE HOLE MONITORING WELL | |
| MCQ METAL TANK COVER | MAIL BOX | |
| | UNKNOWN MANHOLE | |
| | SQUARE METAL LID | |
| | FUEL TANK LID | |
| | FLAG POLE | |



VICINITY MAP

NOT TO SCALE



ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S CERTIFICATION

TO: VERIZON CORPORATE SERVICES GROUP INC AND FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7a, 7c, 8, 9, 11, 13, 17, & 21 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON NOVEMBER 28, 2016.

DATE OF PLAT OR MAP: DECEMBER 8, 2016

JACK W. SHOEMAKER
NEW JERSEY PROFESSIONAL LAND SURVEYOR GS 035878

For inquiries, questions or concerns about this survey contact Inquiries@ussurveyor or call 1-800-867-8783 ext. 221



PREPARED FOR:

VERIZON CORPORATE
SERVICES GROUP INC

PROJECT LOCATION:

TOWNSHIP OF BERNARDS
SOMERSET COUNTY, STATE OF NJ

PROJECT ADDRESS:

300 NORTH MAPLE AVE.
BASKING RIDGE, NJ 07920

PROJECT TYPE:

ALTA/NSPS LAND
TITLE SURVEY

60' 0' 60' 120'

SCALE: 1" = 60'

THIS DRAWING WAS CREATED TO BE REPRODUCED IN THE FORMAT OF A U.S. REPRODUCTION. THE VIEWER IS NOT TO BE USED FOR OTHER PURPOSES. IF ANY PART IS TO BE USED.

IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL UTILITIES, WHETHER SHOWN ON THIS SURVEY OR NOT PRIOR TO COMMENCEMENT OF WORK. THIS SURVEY HAS BEEN PREPARED USING AVAILABLE UTILITY DATA. THIS SURVEYOR DOES NOT MAKE STATEMENTS OF ACCURACY BASED UPON MAPS AND UTILITY LOCATES OF OTHERS.

PREPARED BY:
FIRST ORDER, LLC

Certificate of Authorization 24GA28154900
4363 HECKTOWN ROAD, SUITE B
BETHLEHEM, PA 18020
Phone (610) 365-2907 Fax (610) 365-2958

4951

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SHEET 1 OF 2

JOB NUMBER:

SS51432

DATE OF ORIGINAL: DECEMBER 8, 2016

REVISION: PER CLIENT COMMENTS DATE: DECEMBER 9, 2016

REVISION: PER CLIENT COMMENTS DATE: DECEMBER 13, 2016

REVISION: PER CLIENT COMMENTS DATE: DECEMBER 15, 2016

IMPROVEMENT NOTES

THIS IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS DEED LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.

NONE OBSERVED.

SURVEYOR NOTES

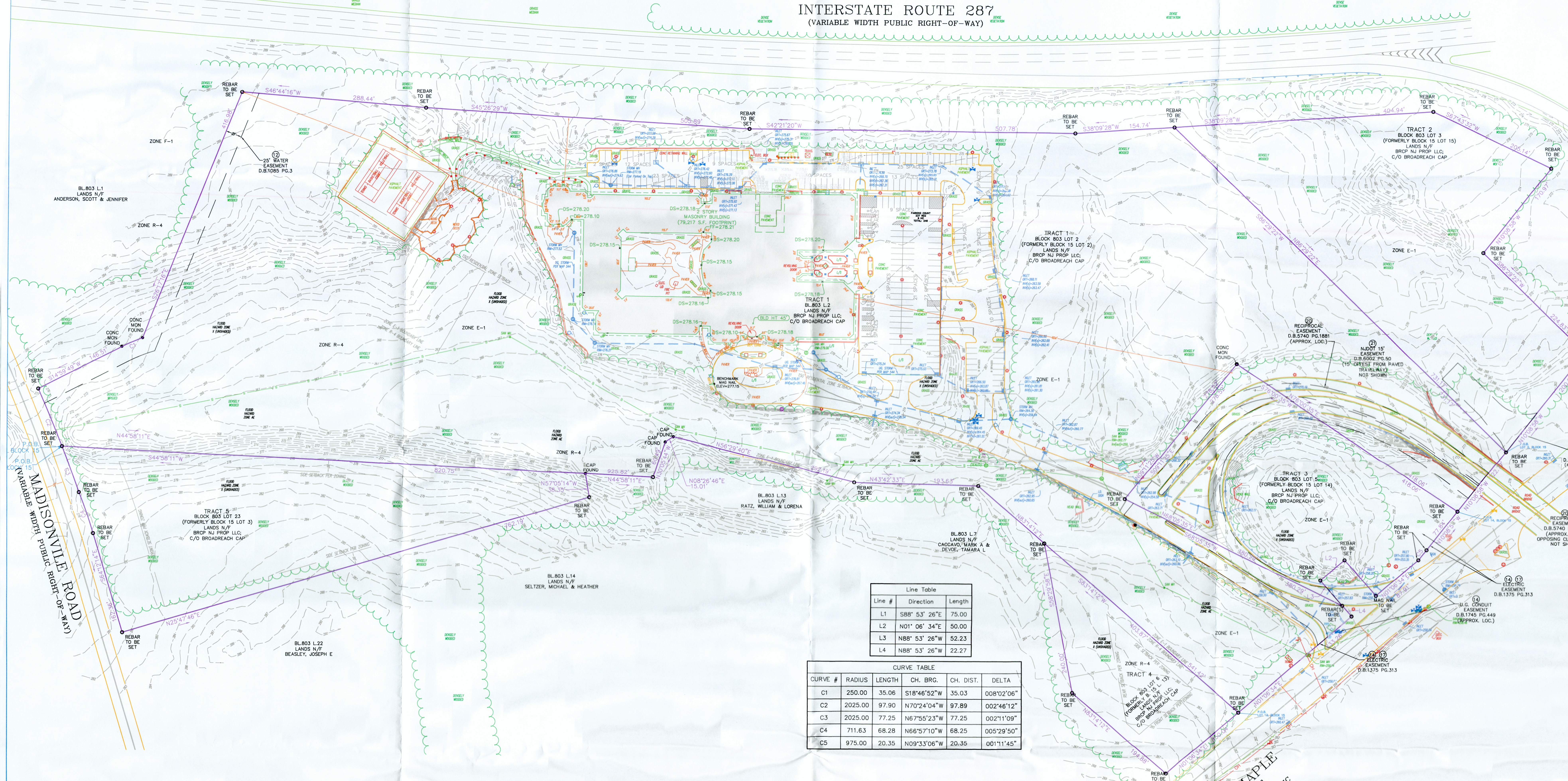
THIS SURVEY IS SUBJECT TO ANY AND ALL ENFORCEABLE RESTRICTIVE COVENANTS.

ITEMS LISTED BELOW MAY REPRESENT AN EASEMENT THAT WAS NOT SHOWN IN SCHEDULE B DOCUMENTS.

NONE OBSERVED.

ALTA/NSPS LAND TITLE SURVEY

INTERSTATE ROUTE 287 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



Line #	Direction	Length
L1	S88° 53' 26"E	75.00
L2	N01° 06' 34"E	50.00
L3	N88° 53' 26"W	52.23
L4	N88° 53' 26"W	22.27

CURVE #	RADIUS	LENGTH	CH. BRG.	CH. DIST.	DELTA
C1	250.00	35.06	S18°46'52"W	35.03	008°02'06"
C2	2025.00	97.90	N70°24'04"W	97.89	002°46'12"
C3	2025.00	77.25	N67°55'23"W	77.25	002°11'09"
C4	711.63	68.28	N66°57'10"W	68.25	005°29'50"
C5	975.00	20.35	N09°33'06"W	20.35	001°11'45"

STANDARD LEGEND	
● MONUMENT FOUND	SS - SAN SEWER LINE
○ MONUMENT SET	SEWER MANHOLE
□ P.K. NAIL FOUND	CLEAN OUT
□ P.K. NAIL SET	STORM DRAIN LINE
× FND X MARK	STORM DRAIN MANHOLE
× SET X MARK	STORM INLET
△ R.R. SPIKE FOUND	CURB INLET
△ R.R. SPIKE SET	PAY PHONE
▲ BENCHMARK	TELEPHONE BOX
— CONC. R/W MARKER	TELEPHONE MANHOLE
(R) RECORD DATA	TELEPHONE POLE
(M) MEASURED DATA	TELEPHONE LINE
(S) SURVEYED DATA	OVERHEAD TELEPHONE
R/W RIGHT OF WAY	UNDERGROUND TELEPHONE
BSL BACK SET LINE	UNDERGROUND TELEPHONE MARKER
RCP REINFORCED CONC PIPE	CABLE TELEVISION
CAP CORRUGATED METAL PIPE	OVERHEAD CABLE
PVC PLASTIC PIPE	CABLE BOX
MTL METAL	UNDERGROUND CABLE MARKER
AGL ABOVE GROUND LEVEL	TRAFFIC POLES
F.P. FOOTPRINT	TRAFFIC SIGNAL
L/S LANDSCAPING	TRAFFIC MANHOLE
TREE	TRAFFIC SIGNAL BOX
MO METAL TANK COVER	STOP SIGN
	SIGN

For inquiries, questions or concerns about this survey contact Inquiries@ussurveyor.com or call 1-800-867-8783 ext. 221

U.S. SURVEYOR®
4929 Riverwind Pointe Drive
Evansville, Indiana 47715
"America's Land Surveyor"

1-800-TO-SURVEY

PREPARED FOR:
VERIZON CORPORATE
SERVICES GROUP INC

PROJECT LOCATION:
TOWNSHIP OF BERNARDS
SOMERSET COUNTY, STATE OF NJ

PROJECT ADDRESS:
300 NORTH MAPLE AVE.
BASKING RIDGE, NJ 07920

PROJECT TYPE:
ALTA/NSPS LAND
TITLE SURVEY

DATE OF COMPLETION:
12/16/2016

CERTIFICATE OF AUTHORIZATION 84628154900

JACK W. SHOEMAKER
NJ PROFESSIONAL LAND SURVEYOR NO. 008676

SHEET 2 OF 2

JOB NUMBER:
SS51432

IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL UTILITIES, WHETHER SHOWN ON THIS SURVEY OR NOT PRIOR TO COMMENCEMENT OF WORK. THIS SURVEY HAS BEEN PREPARED USING AVAILABLE UTILITY DATA. THIS SURVEYOR DOES NOT MAKE STATEMENTS OF ACCURACY BASED UPON MAPS AND UTILITY LOCATES OF OTHERS.

PREPARED BY:
FIRST ORDER, LLC
Certificate of Authorization 246A28154900
4383 HECKTOWN ROAD, SUITE B
BETHLEHEM, PA 18020
Phone (610) 365-2907 Fax (610) 365-2958

FLOOD DATA: This property is in Zone AE & X (UNSHADED) of the Flood Insurance Rate Map, Community Panel No. 340428 0056 E, which has an effective date of Sept. 28, 2007, and is PARTIALLY in a Special Flood Hazard Area. Field surveying was not needed to determine this zone. An elevation certificate may be needed to verify this determination or apply for an amendment from the Federal Emergency Management Agency.

DATE OF ORIGINAL: DECEMBER 8, 2016

REVISION: PER CLIENT COMMENTS DATE: DECEMBER 9, 2016

REVISION: PER CLIENT COMMENTS DATE: DECEMBER 13, 2016

REVISION: PER CLIENT COMMENTS DATE: DECEMBER 15, 2016

[illegible][illegible]

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND MONITORING SUCH MEASURES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.

3. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM CONTROL DEVICES, NOTED AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.

4. LOCATIONS OF PROPOSED SIDEWALKS AND TRAFFIC SIGNALS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNALS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT.

5. ELEVATIONS OF EXISTING AND PROPOSED SURFACE FINISHES OF CURBS, SIDEWALKS, DRIVEWAYS, BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF PILES, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS. UNLESS NOTED CLEARLY OTHERWISE.

6. WHEN APPLICABLE, OWNER OPERATOR MUST FILE THE NECESSARY PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL ALL NECESSARY PERMITS ARE OBTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, PER N/P/D REQUIREMENTS, THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF PROVIDED).

7. ALL MATERIALS TO BE USED MUST BE OBTAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS. DETAILS AND/OR GEOTECHNICAL REPORT.

8. THE CONTRACTOR MUST REPAIR OR REPLACE THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, AND DRIVEWAYS.

GRADING NOTES

(Rev. 10/2019)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

2. SIDEWALKS MUST BE FINISHED WITH A FINISH GRADE WITHIN 1/8" OF THE FINISHED GRADE SPECIFICATIONS AND THE RECOMMENDATION SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS FOR FINISHED GRADES AND COMMERCE-APPROVED MATERIALS TO BE USED TO THE PROJECT. SUBGRADE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT.

3. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK.

4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION DIFFERENCES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.

5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE DESIGN SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE GRADING ZONE AREA HAVE BEEN PROPERLY COMPACTED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS, RULES, AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES.

6. ALL FILLED AREAS, ORIGINALLY OR OTHERWISE, MUST BE FREE OF ORGANICS AND/OR OTHER UNSUITABLE MATERIALS. SUBGRADE MUST BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE. SUBGRADE MUST BE REMOVED AND FILLED WITH APPROVED MATERIAL. THE CONTRACTOR'S AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES, AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

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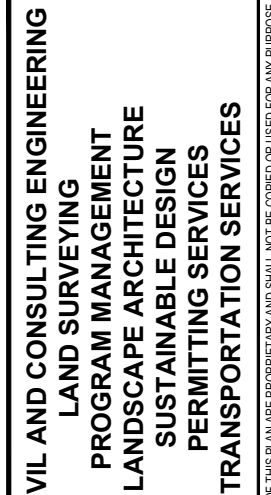
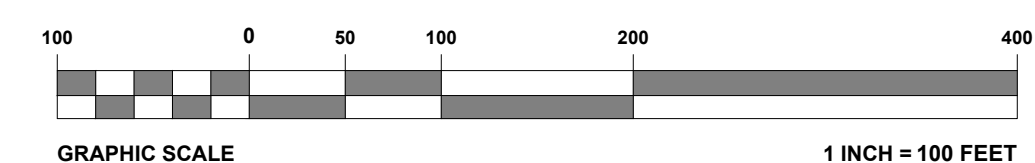
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39. THE CONTRACTOR SHALL


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[illegible]

**ISSUED FOR MUNICIPAL &
AGENCY REVIEW & APPROVAL**

PROJECT No.:	J200554
DRAWN BY:	ATK
CHECKED BY:	TA/AS
DATE:	11/02/2020
CAD I.D.:	J200554-OVL-1A

**PRELIMINARY &
FINAL SITE PLAN****VERIZON CORPORATE
SERVICES GROUP, INC.**

BOHLER 
BOHLER ENGINEERING N.J., LLC

**30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059**
Phone: (908) 668-8300
Fax: (908) 754-4401
www.BohlerEngineering.com

NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

PROFESSIONAL ENGINEER:
NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 22098
NEW YORK LICENSE No. 073745

OVERALL SITE LAYOUT PLAN

C-301

REVISION 1 - 01/21/2021



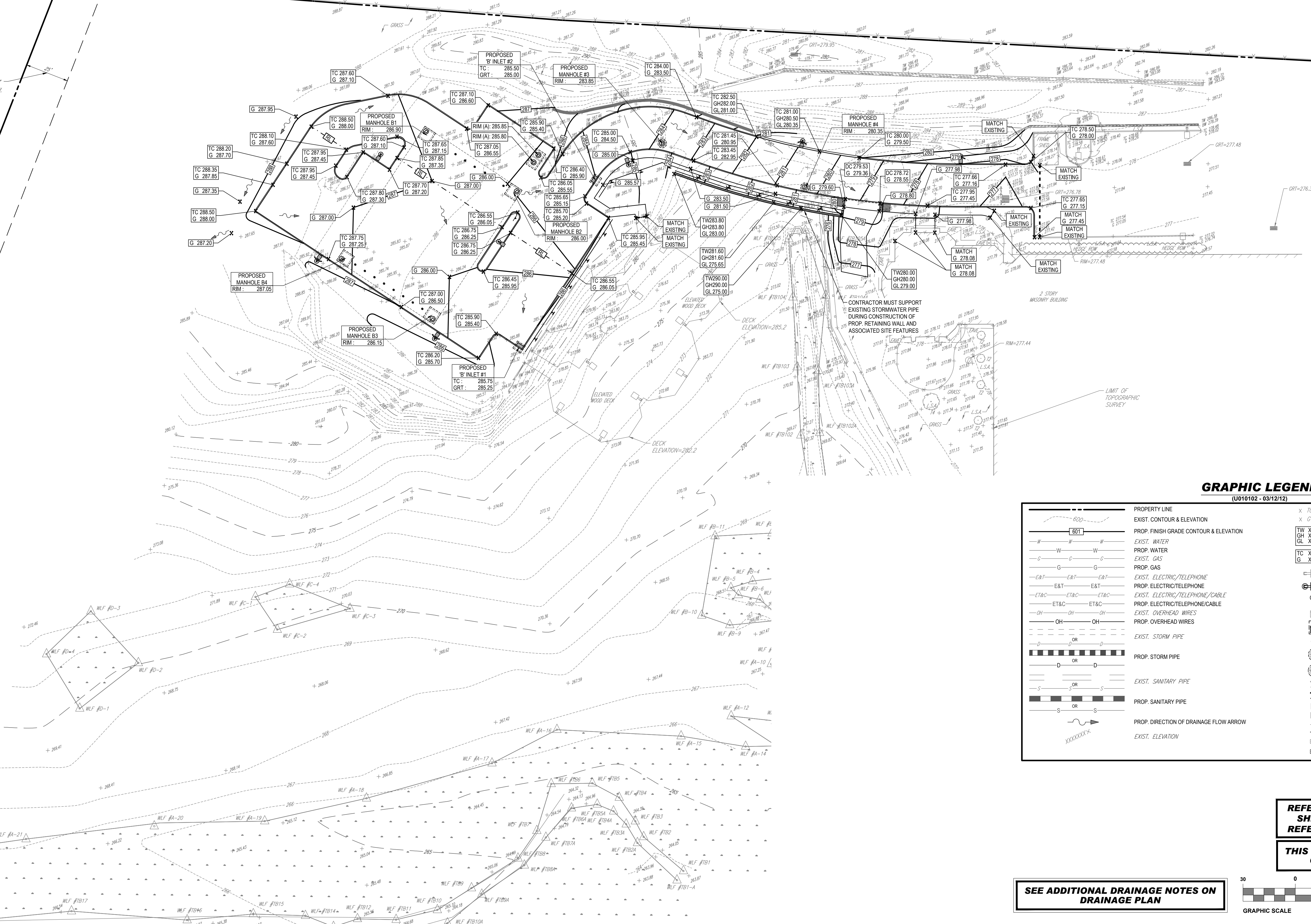
NAVD 1988

N.J.S.H. ROUTE 287

(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

25' WIDE N.J.A.N.C. EASEMENT
25' WIDE BERNARDS WATER CO. R.O.W.

BLOCK 803
LOT 1



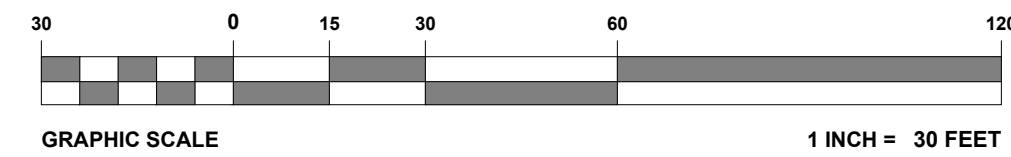
GRAPHIC LEGEND (U010102 - 03/12/12)

PROPERTY LINE	EXIST. TOP OF CURB ELEVATION
EXIST. CONTOUR & ELEVATION	EXIST. GRADE ELEVATION
PROP. FINISH GRADE CONTOUR & ELEVATION	PROP. TOP OF WALL ELEVATION
EXIST. WATER	PROP. GRADE ON HIGH SIDE OF WALL
PROP. WATER	PROP. GRADE ON LOW SIDE OF WALL
EXIST. GAS	PROP. TOP OF CURB & FINISHED GRADE ELEV.
PROP. GAS	EXIST. AREA/YARD LIGHT
EXIST. ELECTRIC/TELEPHONE	PROP. AREA/YARD LIGHT
PROP. ELECTRIC/TELEPHONE	PROP. CLEAN OUT
EXIST. ELECTRIC/TELEPHONE/CABLE	EXIST. INLET
PROP. ELECTRIC/TELEPHONE/CABLE	PROP. INLET
EXIST. OVERHEAD WIRES	EXIST. MANHOLE
PROP. OVERHEAD WIRES	PROP. STORM MANHOLE
EXIST. STORM PIPE	PROP. SANITARY MANHOLE
PROP. STORM PIPE	EXIST. HYDRANT
EXIST. SANITARY PIPE	PROP. HYDRANT
PROP. SANITARY PIPE	EXIST. UTILITY VALVE
PROP. DIRECTION OF DRAINAGE FLOW ARROW	EXIST. UTILITY POLE
EXIST. ELEVATION	EXIST. UTILITY POLE
	EXIST. TRAFFIC SIGNAL
	PROP. TRAFFIC SIGNAL

REFER TO NOTES AND REFERENCES
SHEET FOR ADDITIONAL NOTES,
REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR SITE
GRADING PURPOSES ONLY

SEE ADDITIONAL DRAINAGE NOTES ON
DRAINAGE PLAN



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	01/21/2021	REV. PER COMPLETENESS	ACF TA

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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: J200554
DRAWN BY: ATK
CHECKED BY: TAJAS
DATE: 11/02/2020
CAD ID: J200554-GDU-1A

PROJECT:

PRELIMINARY & FINAL SITE PLAN

FOR

VERIZON CORPORATE
SERVICES GROUP, INC.

PROPOSED
PARKING LOT EXPANSION
BLOCK: 803 | LOT: 2, 3, 5, 6 & 23
300 NORTH MAPLE AVENUE
BERNARDS TOWNSHIP
SOMERSET COUNTY, NEW JERSEY

BOHLER

BOHLER ENGINEERING NJ, LLC
30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 665-5300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

D.F. WISOTSKY

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 22068
NEW YORK LICENSE No. 073745

SHEET TITLE:

GRADING PLAN

SHEET NUMBER:

C-401

REVISION 1 - 01/21/2021

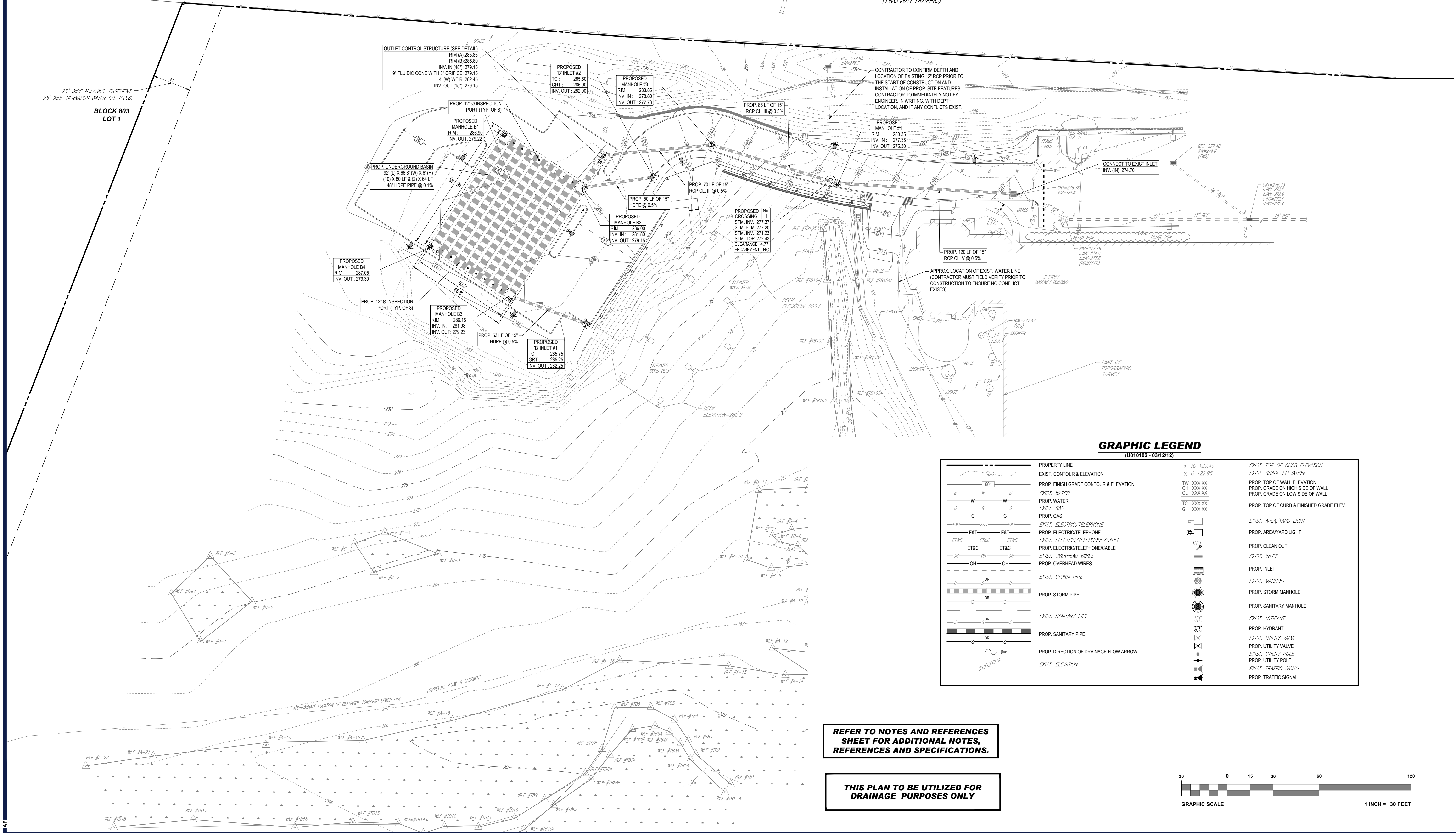
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NAVD 1988

N.J.S.H. ROUTE 287

(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)



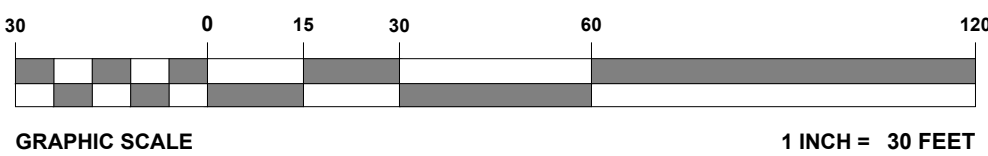
GRAPHIC LEGEND

(U010102 - 03/12/12)

	PROPERTY LINE		X G 123.45
	EXIST. CONTOUR & ELEVATION		X G 123.45
	PROP. FINISH GRADE CONTOUR & ELEVATION		TW XXXXX
	EXIST. WATER		GL XXXXX
	PROP. WATER		TC XXXXX
	EXIST. GAS		G XXXXX
	PROP. GAS		E&T
	EXIST. ELECTRIC/TELEPHONE		E&T
	PROP. ELECTRIC/TELEPHONE		ET&C
	EXIST. ELECTRIC/TELEPHONE/CABLE		ET&C
	PROP. ELECTRIC/TELEPHONE/CABLE		OH
	EXIST. OVERHEAD WIRES		OH
	PROP. OVERHEAD WIRES		D
	EXIST. STORM PIPE		D
	PROP. STORM PIPE		S
	EXIST. SANITARY PIPE		S
	PROP. SANITARY PIPE		OR
	PROP. DIRECTION OF DRAINAGE FLOW ARROW		XXXXXXX
	EXIST. ELEVATION		
	EXIST. TOP OF CURB ELEVATION		
	EXIST. GRADE ELEVATION		
	PROP. TOP OF WALL ELEVATION		
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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
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CAD ID: J200554-GDU-1A

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FOR

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PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 22098
NEW YORK LICENSE No. 073745

SHEET TITLE:

DRAINAGE PLAN

SHEET NUMBER:

C-402

REVISION 1 - 01/21/2021

G:\020\20054\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\020054-SP-1A.....LAYOUT: C-601 ERGS



NAVD 888

SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES, INCLUDING DOWN SLOPE PERIMETER FILTER ROCK AND SILT FENCING (1 DAY)
- PHASE 2: DEMOLISH TENNIS AREA & CONCRETE STRUCTURES (1 WEEK)
- PHASE 3: CLEAR AND ROUGH GRADE FOR NEW PARKING EXPANSION AND OTHER AREA REQUIRING EXCAVATION (2 WEEKS)
- PHASE 4: EXCAVATE FOR UNDERGROUND BASIN INSTALLATION & RETAINING WALL (2 WEEKS)
- PHASE 5: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, LIGHT FOUNDATIONS ETC. (2 WEEKS)
- PHASE 6: FINAL GRADING ON SITE (1 WEEK)
- PHASE 7: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING (4 WEEKS)
- PHASE 8: REMOVAL OF SOIL EROSION CONTROL MEASURES UPON APPROVAL FROM SOMERSET-UNION SOIL CONSERVATION DISTRICT APPROVAL (1 DAY)

STABILIZATION SPECIFICATIONS TEMPORARY SEEDING AND MULCHING:

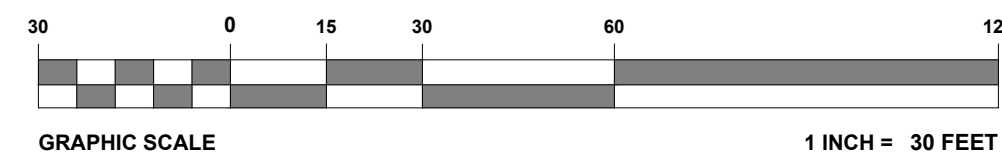
- LIME: 90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4"
- SEEDS: COOL SEASON: PERENNIAL RYE GRASS 100 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. WARM SEASON: PEARL MILLET AT 20 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
- MULCH: SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDERS)

STABILIZATION SPECIFICATIONS PERMANENT SEEDING:

- PERMANENT STABILIZATION SPECIFICATIONS:
 - MULCHING
 - A. MULCH MATERIALS TO BE UNROTATED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS/ACRE OR 70 TO 90 LBS/1,000 SQ. FT.
 - B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED.
 - C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH BINDERS
 - MULCH STABILIZATION
 - A. UNROTATED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING TIE DOWN, OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS/ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - D. MULCH NETTING SUCH AS PAPER LITE, EXCELSDOR, COTTON, OR PLASTIC, MAY BE USED.
 - E. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH BINDERS

**BERNARDS TOWNSHIP ENGINEER
MUST RECEIVED 72-HOUR WRITTEN
NOTIFICATION PRIOR TO THE START
OF LAND DISTURBANCE**

**THIS PLAN TO BE UTILIZED FOR SOIL
EROSION AND SEDIMENT CONTROL
PURPOSES ONLY**



N.J.S.H. ROUTE 287

(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

LEGEND

- PROP. INLET FILTER
- PROP. TREE PROTECTION FENCE
- PROP. LIMIT OF DISTURBANCE
- PROP. SILT FENCE
- PROP. TEMPORARY BLOCK AND SEDIMENT FILTER TUBE
- PROP. TEMPORARY STOCKPILE
- PROP. TEMPORARY CONSTRUCTION ACCESS
- PROP. COMPACTION TEST

HATCH LEGEND

AREAS SUBJECT TO COMPACTION TESTING
AND/OR MITIGATION FOR BUILDING ON SLAB - 12"
(2 TESTS REQUIRED PER EACH ACRE OF
DISTURBANCE)
(±0.91 ACRES TOTAL DISTURBANCE: 2 TESTS
REQUIRED)

SOIL TYPE

RarR - RARITAN SILT LOAM

REQUIREMENTS FOR LAND GRADING

(0009902-0118)

THE CONTRACTOR MUST COMPLY WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (SSESONJ) IN GENERAL, AND FOR LAND GRADING MORE SPECIFICALLY, CHAPTER 19. THESE REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SUMMARY:

1. SUBGRADE SOILS, PRIOR TO THE APPLICATION OF TOPSOIL, MUST BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION, AND PERFORMED JUST PRIOR TO PLACEMENT OF TOPSOIL AND SEEDING.
3. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
4. COMPACTION TESTING LOCATION ARE DENOTED ON THE PLAN. A COPY OF THE PLAN, OR PORTION OF THE PLAN, MUST BE USED TO MARK LOCATIONS OF TESTS AND BE ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE AT THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT OR AGENCY HAVING JURISDICTION.
5. SOIL COMPACTION REMEDIATION OR TESTING TO PROVE REMEDIATION IS NOT NECESSARY IN AREAS WHERE PERMANENT VEGETATION IS TO BE ESTABLISHED THAT ARE NOT OTHERWISE EXEMPTED BY THE SSESONJ. TESTING METHOD IS TO BE SELECTED, AND SOIL COMPACTION TESTING IS TO BE PERFORMED BY THE CONTRACTOR OR OTHER PROJECT OWNER'S REPRESENTATIVE (E.G., ENGINEER).
6. A MINIMUM OF TWO (2) TESTS ARE TO BE PERFORMED FOR PROJECTS WITH AN OVERALL LIMIT OF DISTURBANCE OF UP TO ONE (1) ACRE AND AT A RATE OF TWO (2) TESTS PER ACRE OF THE OVERALL LIMIT OF DISTURBANCE FOR LARGER AREAS WHICH ARE TO BE EVENLY DISTRIBUTED OVER THE AREA OF DISTURBANCE SUBJECT TO TESTING.
7. TESTS ARE TO BE PERFORMED IN AREAS REPRESENTATIVE OF THE CONSTRUCTION ACTIVITY PREVAILING IN THE AREA.
8. IN THE EVENT THIS TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE TESTING METHOD, THE CONTRACTOR/OWNER WILL HAVE THE OPTION TO PERFORM COMPACTION MITIGATION OVER THE ENTIRE DISTURBED AREA (EXCLUDING EXEMPT AREAS) OR TO PERFORM ADDITIONAL TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION.
9. SOIL TEST METHOD OPTIONS - THE OPTIONS THAT ARE PERMITTED ARE CONTAINED IN THE SSESONJ, CHAPTER 19, WHICH PROVIDES SPECIFICATIONS FOR EACH OPTION THAT MUST BE FOLLOWED. THE OPTIONS INCLUDE THE FOLLOWING:
 - A. PROBING WIRE TEST METHOD
 - B. HAND-HELD PENETROMETER TEST METHOD
 - C. TUBE BULK DENSITY TEST METHOD
 - D. NUCLEAR DENSITY TEST METHOD

MAXIMUM DRY BULK DENSITIES (GRAMS/CUBIC CENTIMETER) BY SOIL TYPE

SOIL TYPE/TEXTURE	BULK DENSITY G/C
COARSE, MEDIUM AND FINE SANDS AND LOAMY SANDS	1.80
VERY FINE SAND AND LOAMY VERY FINE SAND	1.77
SANDY LOAM	1.75
LOAM, SANDY CLAY LOAM	1.70
CLAY LOAM	1.65
SANDY CLAY	1.60
SILT, SILT LOAM	1.55
SILTY CLAY LOAM	1.50
SILTY CLAY	1.45
CLAY	1.40

SOURCE: USDA NATURAL RESOURCE CONSERVATION SERVICE, SOIL QUALITY INFORMATION SHEET, SOIL QUANTITY RESOURCE CONCERNS: COMPACTION, APRIL 1996.

- E. ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED, SUBJECT TO DISTRICT PRE-APPROVAL.
10. PROCEDURES FOR SOIL COMPACTION MITIGATION
 - IF SUBGRADE SOILS ARE DETERMINED TO BE EXCESSIVELY COMPACTED BY TESTING OPTION INDICATED ABOVE, PROCEDURES MUST BE IMPLEMENTED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. RESTORATION OF COMPACTED SOILS IS TO BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) OR IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER.
11. INSTALLATION REQUIREMENTS
 - A. TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETATIVE MATTER WHICH CAN INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS MUST BE REMOVED AND DISPOSED OF ACCORDING TO THE PLAN.
 - B. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISH GRADING OF ALL EXPOSED AREAS REQUIRING TOPSOIL. SSESONJ STANDARD FOR TOPSOILING, PG. 8-1.
 - C. TOPSOIL MUST BE APPLIED UNIFORMLY APPLIED TO AN AVERAGE DEPTH OF 5 INCHES, WITH A MINIMUM DEPTH OF 4 INCHES REQUIRED, IF SPECIAL REGULATIONS AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE, ALTERNATE TOPSOIL DEPTHS MAY BE CONSIDERED. SEE SSESONJ STANDARD FOR TOPSOILING, PG. 8-2.
 - D. FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT CAN BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.
 - E. ALL STRUCTURAL FILLS MUST BE COMPACTED AS DETERMINED BY STRUCTURAL ENGINEERING REQUIREMENTS FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESSIVE SATURATION.
 - F. ALL DISTURBED AREAS MUST BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND MUST BE PROTECTED FROM EROSION. SEE SSESONJ STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1.
 - G. TREES TO BE RETAINED MUST BE PROTECTED AS NECESSARY IN ACCORDANCE WITH SSESONJ STANDARD FOR TREE PROTECTION DURING CONSTRUCTION, PG. 8-1.
12. UPON COMPLETION OF SOIL COMPACTION TESTING, A COMPLETED "SOIL COMPACTION MITIGATION VERIFICATION FORM", ALONG WITH TEST RESULTS, MUST BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT PRIOR TO A REQUEST FOR A "REPORT OF COMPLIANCE INSPECTION".

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

(www.nj.gov/agriculture/divisions/soil/soilerosion.html) (12/8/2017)

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) MUST BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN MUST BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING MUST BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- A. PROBING WIRE TEST (SEE DETAIL)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES MUST BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS MUST BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

SOMERSET-UNION COUNTY SCD NOTES

(08/24/2020)

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
3. PERMANENT VEGETATION SHALL BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION LAST REVISED JANUARY 2014.
5. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1) TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50X30X6 PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
8. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE A SUITABLE ENVIRONMENT, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.
10. IN THAT NUSA 424-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
11. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BEING OPERATIONAL.
12. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
18. HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY. GOOD SEED TO SOIL CONTACT AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1000 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

SWPPP NOTES

(3/2015)

CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	REV. PER COMPLETENESS	ACF	TA
1	01/21/2021				



NEW JERSEY
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-272-1000
www.nj.gov/call.org

**ISSUED FOR MUNICIPAL &
AGENCY REVIEW & APPROVAL**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: J200554
DRAWN BY: ATK
DATE: 11/02/2020
CHECKED BY: J200554-SP-1A
CAD ID:

**PRELIMINARY &
FINAL SITE PLAN**

FOR

**VERIZON CORPORATE
SERVICES GROUP, INC.**

**PROPOSED
PARKING LOT EXPANSION**

**BLOCK: 803 | LOT: 2, 3, 5, 6 & 23
300 NORTH MAPLE AVENUE
BERNARDS TOWNSHIP
SOMERSET COUNTY, NEW JERSEY**

BOHLER
BOHLER ENGINEERING NJ, LLC

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 665-6300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 24GAS161700 & M4000122

D.F. WISOTSKY

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE NO. 42951
CONNECTICUT LICENSE NO. 22098
NEW YORK LICENSE NO. 073745

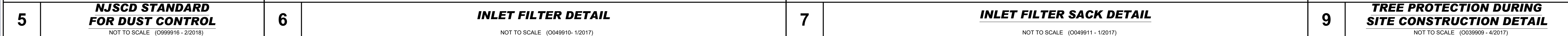
SHEET TITLE:

**SOIL EROSION
& SEDIMENT
CONTROL PLAN**

SHEET NUMBER:

C-601

REVISION 1 - 01/21/2021



\\2020\J200554\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J200554-CDS-1A---->LAYOUT: C-602 DETL



BLOCK 803
LOT 1

EXIST. WOODED AREA
TO REMAIN (TYP.)

ALL PROP. LANDSCAPE BEDS ARE TO BE TREATED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH OVER WATER PERMEABLE WEED BARRIER FABRIC (TYP.)

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREE(S)					
ARB	12	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2 1/2-3' CAL.	B+B
ARB	6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3' CAL.	B+B
GTOS	5	GLEITSIA TRIACANT VAR INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3-4' CAL.	B+B
QR	5	QUERCUS RUBRA	RED OAK	2 1/2-3' CAL.	B+B
SUBTOTAL:	28				

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN TRAFFIC) TO PREVENT BRANCHES FROM OBSTRUCTING THE PATH OF TRAVEL.

TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE SPECIFIED.

VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED TRAVELED SURFACES) ALONG WITH THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.

PAVED TRAVELED SURFACES SHALL BE MAINTAINED TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

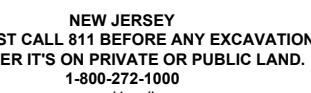
THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR SHALL PROVIDE.

**THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY**

**REFER TO NOTES AND REFERENCES
SHEET FOR ADDITIONAL NOTES,
REFERENCES AND SPECIFICATIONS.**

SECTION	REQUIREMENT	CALCULATIONS	COMPLIANCE
CHAPTER 16 SHADE TREE PROTECTION 16-3.1 WHEN REQUIRED	NO PERSON SHALL CUT DOWN OR REMOVE ANY LIVING TREE WITH A DIAMETER IN EXCESS OF FOUR INCHES MEASURED ON SUCH A TREE AT A HEIGHT OF 4 1/2 FEET ABOVE THE LEVEL OF THE GROUND UPON ANY LANDS WITHIN THE TOWNSHIP UNLESS THE PERSON SHALL HAVE FIRST OBTAINED A PERMIT THEREFOR IN ACCORDANCE WITH THE RULES AND REGULATIONS HEREINAFTER SET FORTH. EXCEPTED FROM THE PROHIBITIONS OF THIS SECTION SHALL BE TREES LOCATED ON A TRACT OF LAND HAVING A TOTAL AREA OF LESS THAN THREE ACRES WITH A BUILDING LOCATED THEREON, ANY TREES CUT OR REMOVED IN ACCORDANCE WITH AN APPROVED MANAGEMENT PLAN OF A PRIVATE STATE OR FEDERAL AUTHORITY. ANY TREES LOCATED ON PUBLICLY OWNED LANDS, ANY TREES REQUIRED TO BE CUT IN CONNECTION WITH THE INSTALLATION OF PUBLIC UTILITIES OR ANY TREES LOCATED IN COMMERCIAL ORCHARDS OR NURSERIES.	A TREE REMOVAL PERMIT WILL BE FILED WITH THE TOWNSHIP. (REFER TO THE TREE IDENTIFICATION PLAN FOR TREE PRESERVATION, AND TREE REMOVAL & REPLACEMENT CALCULATIONS.)	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE IV ZONING 21-2.3 SPECIFIC REQUIREMENTS	(I10) ALL RECREATION AND PARKING AREAS SHALL BE SCREENED FROM VIEW FROM ALL PROPERTY LINES.	THE PROPOSED PARKING AREA IS SCREENED BY THE EXISTING WOODED AREA TO REMAIN ALONG THE NORTHERN PROPERTY LINE WHERE THE SITE ABUTS N.J.S.H. ROUTE 287, AND THE EXISTING WOODED AREAS TO REMAIN ALONG THE EASTERN AND SOUTHERN PROPERTY LINES WHERE THE SITE ABUTS A RESIDENTIAL ZONE.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE IV ZONING 21-2.14 A CLEAR SIGHT TRIANGLE	(I13) ALL SOLID WASTE STORAGE AND LOADING AREAS SHALL BE SCREENED FROM VIEW FROM ALL PROPERTY LINES AND FROM PUBLIC AREAS WITHIN THE SITE THROUGH THE USE OF LANDSCAPING AND/OR ARCHITECTURAL TREATMENT. NO SOLID WASTE STORAGE OR LOADING AREAS SHALL BE LOCATED IN THE FRONT YARD.	TRASH ENCLOSURES AND LOADING AREAS HAVE NOT BEEN PROPOSED AS PART OF THIS APPLICATION.	NOT APPLICABLE
CHAPTER 21 LAND DEVELOPMENT ARTICLE IV ZONING 21-2.14 A CLEAR SIGHT TRIANGLE	CLEAR-SIGHT TRIANGLES SHALL BE PROVIDED AT ALL STREET INTERSECTIONS WITHIN SUCH TRIANGLES, NO VISION-OBSTRUCTING OBJECTS SHALL BE PERMITTED WHICH EXCEEDS A HEIGHT OF 30 INCHES ABOVE THE ELEVATION OF THE INTERSECTING STREET.	LANDSCAPING HAS NOT BEEN PROPOSED WITHIN SIGHT TRIANGLES.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE IV ZONING 21-2.23 REQUIREMENTS FOR NONRESIDENTIAL PARKING AND LOADING AREAS	A. IF A PARKING OR LOADING AREA ABUTS A RESIDENTIAL USE, THE PARKING OR LOADING AREA SHALL BE COMPLETELY SCREENED FROM VIEW FROM THE ADJACENT PROPERTY IN ACCORDANCE WITH SECTION 21-2.8.	THE EXISTING WOODED AREAS ARE TO REMAIN ALONG THE EASTERN AND SOUTHERN PROPERTY LINES WHERE THE SITE ABUTS A RESIDENTIAL ZONE.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE IV ZONING 21-2.8.1 SCREENING	WHERE REQUIRED ELSEWHERE IN THIS CHAPTER, VISUAL SCREENS SHALL BE PROVIDED THROUGH LANDSCAPING OR OTHER MEANS AS APPROVED BY THE BOARD. SUCH SCREENS SHALL BE DESIGNED AND CONSTRUCTED TO AVOID AN VIEW FROM AS TO PROVIDE A SOLID BARRIER OBSTRUCTING THE VIEW OF THE AREA TO BE SCREENED ON A YEAR AROUND BASIS. ALL SCREENS SHALL BE SHOWN ON THE LANDSCAPE PLAN.	THE EXISTING WOODED AREA IS TO REMAIN ALONG THE NORTHERN PROPERTY LINE WHERE THE SITE ABUTS N.J.S.H. ROUTE 287, THE EXISTING WOODED AREAS ARE TO REMAIN ALONG THE EASTERN AND SOUTHERN PROPERTY LINES WHERE THE SITE ABUTS A RESIDENTIAL ZONE.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE IV ZONING 21-2.8.2 BUFFERS	BUFFERS SHALL BE REQUIRED ON ALL LOTS ZONED OTHER THAN RESIDENTIAL OR USED FOR NONRESIDENTIAL PURPOSES, WHERE THE LOT OR LOTS ABUT A RESIDENTIALLY ZONED LOT OR LOTS (EXCEPT IN THE CASE OF OPEN SPACE). ADDITIONALLY, ANY DEVELOPMENT UNDER THE PRO FORMS OF DEVELOPMENT WHICH ABUT EXISTING RESIDENTIAL USES SHALL REQUIRE BUFFERS. ALL BUFFERS SHALL BE SHOWN ON THE LANDSCAPE PLAN (SECTION 21-4.3) UNLESS OTHERWISE PROVIDED FOR IN THIS CHAPTER. ALL BUFFERS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING: A. ALL BUFFERS SHALL BE MINIMUM OF 50 FEET IN WIDTH. B. NO CONSTRUCTION SHALL OCCUR WITHIN ANY BUFFER AREA EXCEPT FOR THE FOLLOWING, IF SPECIFICALLY APPROVED BY THE BOARD: 1. DRAINAGE IMPROVEMENTS. 2. UNDERGROUND UTILITIES. 3. PEDESTRIAN AND BICYCLE PATHS. 4. CROSSINGS OF ACCESS ROADS. C. NO REMOVAL OF EXISTING VEGETATION SHALL OCCUR UNLESS THE BOARD DETERMINES THAT CONJUNCTION WITH CONSTRUCTION OR SELECTIVE THINNING OF TREES AS APPROVED BY THE BOARD. D. WHERE NONRESIDENTIAL USES ABUT RESIDENTIALLY ZONED LOTS, AND WHERE EXISTING VEGETATION WITHIN THE BUFFER DOES NOT PROVIDE ADEQUATE SCREENING, SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH SUBSECTION 21-2.8.1 ABOVE. UNLESS THE BOARD SHALL DETERMINE THAT BECAUSE OF THE DESIGN OF THE SITE, SCREENING IS NOT NECESSARY.	A MINIMUM 50 FOOT BUFFER HAS BEEN PROPOSED ALONG THE EASTERN AND SOUTHERN PROPERTY LINES WHERE THE SITE ABUTS A RESIDENTIAL ZONE.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE IV ZONING 21-2.8.2 BUFFERS	A. ALL BUFFERS SHALL BE MINIMUM OF 50 FEET IN WIDTH. B. NO CONSTRUCTION SHALL OCCUR WITHIN ANY BUFFER AREA EXCEPT FOR THE FOLLOWING, IF SPECIFICALLY APPROVED BY THE BOARD: 1. DRAINAGE IMPROVEMENTS. 2. UNDERGROUND UTILITIES. 3. PEDESTRIAN AND BICYCLE PATHS. 4. CROSSINGS OF ACCESS ROADS. C. NO REMOVAL OF EXISTING VEGETATION SHALL OCCUR UNLESS THE BOARD DETERMINES THAT CONJUNCTION WITH CONSTRUCTION OR SELECTIVE THINNING OF TREES AS APPROVED BY THE BOARD. D. WHERE NONRESIDENTIAL USES ABUT RESIDENTIALLY ZONED LOTS, AND WHERE EXISTING VEGETATION WITHIN THE BUFFER DOES NOT PROVIDE ADEQUATE SCREENING, SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH SUBSECTION 21-2.8.1 ABOVE. UNLESS THE BOARD SHALL DETERMINE THAT BECAUSE OF THE DESIGN OF THE SITE, SCREENING IS NOT NECESSARY.	CURBING IS NOT PROPOSED WITHIN THE BUFFER AREA WHERE THE SITE ABUTS A RESIDENTIAL ZONE.	NOT APPLICABLE
CHAPTER 21 LAND DEVELOPMENT ARTICLE V DEVELOPMENT REGULATIONS 21-3.9.3 TANDARDS FOR PARKING, LOADING AND ACCESS	A6). IF A PARKING LOT HAS AN AREA OF LESS THAN 8,000 SQUARE FEET, AN OPEN AREA TO 5% OF THE LOT SHALL BE MAINTAINED AS OPEN SPACE. IF A PARKING LOT HAS AN AREA OF GREATER THAN 8,000 SQUARE FEET, AN AREA EQUAL TO 10% OF THE LOT SHALL BE MAINTAINED AS OPEN SPACE. THE OPEN SPACE SHALL BE WITHIN THE PERIMETER OF THE LOT AND SHALL BE APPROPRIATELY PLANTED OR DESIGNED FOR THE RETENTION OF EXISTING TREES. ALL PLANTINGS SHALL BE PROTECTED BY CURBING, BUMPERS OR BOLLARDS. WITH ANY PARKING AREA THERE SHALL BE AT LEAST ONE THREE-INCH TO FOUR-INCH CALIPER OR LARGER SHADE TREE FOR EACH 10 SPACES.	EXISTING TREES HAVE BEEN PRESERVED WHERE ALLOWABLE.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE V DEVELOPMENT REGULATIONS 21-3.9.3 TANDARDS FOR PARKING, LOADING AND ACCESS	A7). ALL PORTIONS OF THE PROPERTY NOT USED FOR OFF-STREET PARKING, LOADING OR ACCESS SHALL BE ATTRACTIVELY LANDSCAPED WITH LAWNS, TREES AND SHRUBS AS APPROVED BY THE BOARD. PARKING AREAS VISIBLE FROM A PUBLIC STREET, THROUGH THE USE OF LANDSCAPING, BE INTERMITTENTLY SCREENED.	THE EXISTING WOODED AREAS ARE TO REMAIN ALONG THE EASTERN AND SOUTHERN PROPERTY LINES WHERE THE SITE ABUTS A RESIDENTIAL ZONE.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE V DEVELOPMENT REGULATIONS 21-4.3.2 STANDARDS	A. PLANT MATERIAL. AMERICAN ASSOCIATION OF NURSERMEN'S AMERICAN STANDARD FOR NURSERY STOCK, CURRENT EDITION.	TOTAL PROPOSED PARKING AREA: 17,294 SF PROPOSED: 17,294 SF X 10% = 1,730 SF REQUIRED: 2,077 SF OF OPEN SPACE (12%)	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE V DEVELOPMENT REGULATIONS 21-4.3.2 STANDARDS	B. GRASSING. NEW JERSEY STATE SOIL CONSERVATION COMMISSION'S STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL IN NEW JERSEY, CURRENT EDITION.	ALL PROPOSED PLANTINGS WITHIN THE PROPOSED PARKING AREA HAVE BEEN PROTECTED BY CURBING.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE V DEVELOPMENT REGULATIONS 21-4.3.2 STANDARDS	21-4.3.2.1 EACH DEVELOPMENT PLAN SHALL PROVIDE FOR SHADE TREES HAVING A MAXIMUM SPACING OF 50 FEET ALONG EACH SIDE OF ALL STREETS, PUBLIC OR PRIVATE, EXISTING OR NEW. IN DETERMINING THE NEED FOR NEW SHADE TREES, THE LOCATION OF EXISTING SHADE TREES SHALL BE CONSIDERED. IF EXISTING SHADE TREES WILL REMAIN, THE TREE PROTECTION COMMITTEE AND/OR THE CHIEF ENGINEERING INSPECTOR SHALL DETERMINE IF NEW SHADE TREES WILL BE REQUIRED. ADDITIONALLY, SHADE TREES SHALL BE PROVIDED WITHIN PARKING AREAS AND SHALL BE PLANTED AT A MINIMUM RATIO OF ONE SHADE TREE FOR EVERY 10 PARKING SPACES. SHADE TREES SHALL BE A MINIMUM CALIPER OF THREE TO FOUR INCHES MEASURED SIX INCHES ABOVE GRADE. THE BOARD MAY CONSULT WITH THE SHADE TREE COMMISSION CONCERNING THE ADEQUACY AND APPROPRIATENESS OF THE PROPOSED SHADE TREES.	TOTAL PROPOSED PARKING SPACES: 50 REQUIRED: 50 / 10 = 5 TREES PROPOSED: 5 TREES (5 GTIS)	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE V DEVELOPMENT REGULATIONS 21-4.3.4 BUFFER AREAS	A. PLANT MATERIAL. AMERICAN ASSOCIATION OF NURSERMEN'S AMERICAN STANDARD FOR NURSERY STOCK, CURRENT EDITION.	PARKING LOT SHADE TREES HAVE BEEN PROPOSED AT A MINIMUM 3 TO 4 INCHES IN CALIPER.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE V DEVELOPMENT REGULATIONS 21-4.3.4 BUFFER AREAS	B. GRASSING. NEW JERSEY STATE SOIL CONSERVATION COMMISSION'S STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL IN NEW JERSEY, CURRENT EDITION.	LANDSCAPING INCLUSIVE OF SHRUBS AND LAWN AREAS HAVE BEEN PROPOSED THROUGHOUT THE PROPOSED PARKING AREA. THE PROPOSED PARKING AREA IS SCREENED BY THE EXISTING WOODED AREA TO REMAIN ALONG THE NORTHERN PROPERTY LINE WHERE THE SITE ABUTS N.J.S.H. ROUTE 287, AND THE EXISTING WOODED AREAS TO REMAIN ALONG THE EASTERN AND SOUTHERN PROPERTY LINES WHERE THE SITE ABUTS A RESIDENTIAL ZONE.	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE V DEVELOPMENT REGULATIONS 21-4.3.4 BUFFER AREAS	21-4.3.4.1 EACH DEVELOPMENT PLAN SHALL PROVIDE FOR SHADE TREES HAVING A MAXIMUM SPACING OF 50 FEET ALONG EACH SIDE OF ALL STREETS, PUBLIC OR PRIVATE, EXISTING OR NEW. IN DETERMINING THE NEED FOR NEW SHADE TREES, THE LOCATION OF EXISTING SHADE TREES SHALL BE CONSIDERED. IF EXISTING SHADE TREES WILL REMAIN, THE TREE PROTECTION COMMITTEE AND/OR THE CHIEF ENGINEERING INSPECTOR SHALL DETERMINE IF NEW SHADE TREES WILL BE REQUIRED. ADDITIONALLY, SHADE TREES SHALL BE PROVIDED WITHIN PARKING AREAS AND SHALL BE PLANTED AT A MINIMUM RATIO OF ONE SHADE TREE FOR EVERY 10 PARKING SPACES. SHADE TREES SHALL BE A MINIMUM CALIPER OF THREE TO FOUR INCHES MEASURED SIX INCHES ABOVE GRADE. THE BOARD MAY CONSULT WITH THE SHADE TREE COMMISSION CONCERNING THE ADEQUACY AND APPROPRIATENESS OF THE PROPOSED SHADE TREES.	(REFER TO NOTE F(1)) IN THE LANDSCAPE SPECIFICATIONS ON THE LANDSCAPE NOTES & DETAILS SHEET.)	COMPLIES
CHAPTER 21 LAND DEVELOPMENT ARTICLE V DEVELOPMENT REGULATIONS 21-4.3.4 BUFFER AREAS	A. PLANT MATERIAL. AMERICAN ASSOCIATION OF NURSERMEN'S AMERICAN STANDARD FOR NURSERY STOCK, CURRENT EDITION.	SEEDING WILL BE IN ACCORDANCE WITH THE NEW JERSEY STATE SOIL CONSERVATION COMMISSION'S STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL IN NEW JERSEY.	COMPLIES
CHAPTER 21 LAND			

REV	DATE	COMMENT	DRAWN BY
			CHECKED BY
1	01/21/2021	REV. PER COMPLETENESS	ACF TA



THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
VIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCT
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	J200554
DRAWN BY:	ATK
CHECKED BY:	TA/AS
DATE:	11/02/2020
CAD I.D.:	J200554-LND-1A

FOR

PROPOSED PARKING LOT EXPANSION

BLOCK: 803 | LOT: 2, 3, 5, 6 & 23
300 NORTH MAPLE AVENUE
BERNARDS TOWNSHIP
SOMERSET COUNTY, NEW JERSEY

0 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
 Phone: (908) 668-8300
 Fax: (908) 754-4401
www.BohlerEngineering.com

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 22098
NEW YORK LICENSE No. 073745

HEET TITLE:

HEET NUMBER

C-701

REVISION 1 - 01/21/2021

NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. CUT AND REMOVE BANDS OF WIRE BASKET,BURLAP AND ALL STRINGS OR TWINE FROM TOP 1/3 OF ROOT BALL. CUT WIRE BANDS AND REMAINING STRINGS OR TWINE ON THE REMAINING 2/3 ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LPT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
6. TREES SHALL BE HEAVY AND NOT PRUNED, EXCEPT FOR SPECIFIC APPROVAL OF THE PLANNER.

Diagram illustrating the planting detail for a deciduous tree. The tree is shown with its root ball and surrounding soil layers. Key components include: Reinforced Rubber Hose (1/2" dia. bulk), Plastic Guy Lines, 2" dia. Cedar Stakes 20 Tree (1/2" x 3/8" per tree), 12" wider than the root ball, Prepared Soil for Trees, 1 Part Peat Moss, 1 Part Cow Manure, 3 Parts Topsoil, Undisturbed Subgrade, Dig Wide, Shallow Hole with Tamped Sides, Tamp Soil Solidly Around Base of Root Ball, Set Root Ball on 2" Mound of Compacted Backfill Mixture in Bottom of Hole, All Trees will have One Central Leader, Set Root Ball Flush to Grade or Several Inches Higher in Poorly Draining Soils, 4" Built-Up Earth Saucer, 2" Double-Shredded Hardwood Bark Mulch (Do Not Place Mulch in Contact with Tree Trunk), 6" Prepared Soil, 4-6" Deeper than Root Ball, Cut Bands of Wire Basket and Fold Away from Top of Root Ball, Plant Shall be Transplanted at the Same Grade as in the Container, Remove the Container, Use Finger or Small Hand Tools to Pull the Roots Out of the Outer Layer of Potting Soil, Then Cut or Pull Apart Any Roots That Circle the Perimeter of the Container, 3" Double-Shredded Hardwood Bark Mulch (Do Not Put Mulch Against the Base of the Plant), Finished Grade, Undisturbed Subgrade, Place Shrub on Firm Soil in Bottom of Hole, Soil Surface Roughened to Bind with New Soil, 24" Minimum, 8-12" Planting Mix: 1 Part Peat Moss, 1 Part Cow Manure, 3 Parts Topsoil, Planting Mixture Will Change with Soil Conditions, Before Planting, Add 3 to 4" of Well-Composted Leaves and Recycled Yard Waste to Bed and Till into Top 6" of Prepared Soil.

1

DECIDUOUS TREE PLANTING DETAIL WISTAKES
NOT TO SCALE (L101106 - 06/2012)

2

DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE (L101102-01/2013)

NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. CUT BANDS OF WIRE BASKET AND FOLD BURLAP BACK 103 FROM TOP OF ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LPT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
6. WHEN TREES ARE TO BE PLANTED ON TOP OF, OR ON THE SIDE SLOPES OF A LANDSCAPE BERM, THE BERM MATERIAL, BELOW ONE FOOT OF THE SURFACE, MUST BE COMPACTED IN LIFTS NOT TO EXCEED 12 INCHES, TO AT LEAST 85% MAXIMUM MODIFIED PROCTOR DENSITY.

Diagram illustrating the planting detail for a tree on a slope. The tree is shown with its root ball and surrounding soil layers. Key components include: Nod Purchasing Trees with Two Leaders or Remove One at Planting Otherwise Do as Specific Prune Tree at Planting Except for Specific Structural Corrections, Twice the Width of the Root Ball, 4" Built-Up Earth Saucer, Prepared Soil for Trees 1 Part Peat Moss 1 Part Cow Manure 3 Parts Topsoil, Proposed Built-Up Well Compacted Backfill, Undisturbed Subgrade, Dig Wide, Shallow Hole with Tamped Sides, Tamp Soil Solidly Around Base of Root Ball, Set Root Crown to be at Finish or 1" Above Grade, 2" Double-Shredded Hardwood Bark Mulch (Do Not Place in Contact with Tree Trunk), Before Planting Add 3 to 4" of Well-Composted Leaves or Recycled Yard Waste to Bed and Till into Top 6" of Prepared Soil, 3:1 Slope Max, Cut into Slope, 4-6" Deeper than Root Ball, Cut Bands of Wire Basket and Fold Away from Top of Root Ball, Set Root Ball on Firm Pad in Bottom of Hole.

3

TREE PLANTING ON SLOPE DETAIL
NOT TO SCALE (L101107 - 1/2017)

4

PERENNIAL/GROUND COVER PLANTING DETAIL
NOT TO SCALE (L101101-01/2013)

NOTES:
1. PLANT MATERIAL SPACED AS SPECIFIED ON CENTER (O.C.) (SEE SPACING ON LANDSCAPE PLAN).
2. INCORPORATE 2" OF PEAT INTO 0" OF PLANTING MIXTURE, AS SPECIFIED.
3. 2-3" SHREDDED HARDWOOD BARK MULCH.
4. FINISHED GRADE.
5. EXISTING SUBSOIL.

Diagram illustrating the planting detail for perennial/ground cover. The diagram shows the spacing of plant material, the application of mulch, and the finished grade. Key components include: Plant Material Spaced as Specified on Center (O.C.) (See Spacing on Landscape Plan), Incorporate 2" of Peat into 0" of Planting Mixture, as Specified, 2-3" Shredded Hardwood Bark Mulch, Finished Grade, Existing Subsoil.

SEEDING SPECIFICATIONS:

(L021101 - 06/2012)

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.

2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

3. SEEDING RATES:

PERENNIAL RYEGRASS

1/2 LB/1,000 SQ FT

KENTUCKY BLUEGRASS

1 LB/1,000 SQ FT

RED FESCUE

1 1/2 LBS/1,000 SQ FT

SPREADING FESCUE

1 1/2 LBS/1,000 SQ FT

FERTILIZER (20:10:10)

14 LBS/1,000 SQ FT

MULCH

90 LBS/1,000 SQ FT

4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS:
A. GENERAL - ALL LANDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE MOST CURRENT VERSION OF THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRAGILE, LOAMY SILT SOIL, HAVING AN ORGANIC CONTENT OF NOT LESS THAN 5% BY WEIGHT AND A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF ALL DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE COVERED WITH A MINIMUM 5" THICK LAYER OF TOPSOIL AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SEEDING SPECIFICATION ON THE APPROVED SOIL EROSION PLAN.
a. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
b. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE-FREE WITH A UNIFORM THICKNESS OF AT LEAST 1/2". SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD THE SOD IN PLACE.
D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE SPECIFIED OR DEPICTED ON THE LANDSCAPE PLAN.
E. FERTILIZER
a. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHER-PROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
b. FOR THE PURPOSE OF BIDDING, ASSUMES THAT FERTILIZER SHALL BE AS SPECIFIED OR, AS A MINIMUM, 10% NITROGEN, 8% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE PURCHASED OR APPLIED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.
F. PLANT MATERIAL
a. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
b. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
c. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER BOTANICAL NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
d. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
e. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL EXHIBIT NORMAL GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
f. CALIPER MEASUREMENTS OF NURSERY-GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO 10" AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
g. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
h. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
3. GENERAL WORK PROCEDURES:
A. THE CONTRACTOR SHALL UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
4. SITE PREPARATIONS:
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH THE GENERAL WORK PROCEDURES OUTLINED HEREIN.
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. THE CONTRACTOR SHALL ENSURE THAT ALL EXISTING TREES ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR THE DURATION OF THE PROJECT AND WARRANTY PERIOD FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. THE CONTRACTOR SHALL WATER EXISTING TREES THAT FEEL TO BE NEARLY DEAD TO PREVENT SHOCK OR DECLINE.
C. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF N.J.S.A. 48:2-74, et seq., THE UNDERGROUND UTILITY PROTECTION ACT. IN PARTICULAR, THE CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL.
5. TREE PROTECTION:
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS, WHEN APPLICABLE, MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VIS-FENCE, OR APPROVED EQUIV., MOUNTED ON WOOD-STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
6. SOIL MODIFICATIONS:
A. CONTRACTOR SHALL OBTAIN A SOIL TEST FOR ALL AREAS OF THE SITE AND SUBMIT THE SAME TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL, SOIL MODIFICATIONS, AS SPECIFIED HEREIN OR DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER, IN WRITING, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
D. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
E. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYP-SUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
F. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. FINISHED GRADING:
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT A PROPER SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
8. TOPSOILING:
A. CONTRACTOR SHALL PROVIDE A 5" THICK MINIMUM LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY, UPON THE PROVISION OF A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE SUBMISSION TO AND APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER, BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):
a. 20 POUNDS NITRO-FORM (COARSE) 38-0-0 BLUE CHIP
b. 20 POUNDS GROW POWER OR APPROVED EQUAL
c. 20 POUNDS NITRO-FORM (COARSE) 38-0-0 BLUE CHIP
d. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
9. PLANTING:
A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEADED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
a. PLANTS: MARCH 15 TO DECEMBER 15
b. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY, LANDSCAPE ARCHITECT AND/OR ENGINEER FOR POTENTIAL SUBSTITUTIONS.
G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS RECOMMENDED THAT THESE SPECIES NOT BE PLANTED DURING THE FALL PLANTING SEASON:
ACER RUBRUM
PLATANUS X ACERIFOLIA
BETULA VARIETIES
POPULUS VARIETIES
CAPRINUS VARIETIES
PRUNUS VARIETIES
CRATAEGUS VARIETIES
PYRUS VARIETIES
KOELERUTERIA
QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA
TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA
ZELKOVA VARIETIES
H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
a. 1 PART PEAT MOSS
b. 1 PART COMPOSTED COW MANURE BY VOLUME
c. 3 PARTS TOPSOIL BY VOLUME
d. 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
• 2 TABLETS PER 1 GALLON PLANT
• 3 TABLETS PER 5 GALLON PLANT
• 4 TABLETS PER 15 GALLON PLANT
• LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
L. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, PERENNIALS/ANNUALS SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
10. TRANSPLANTING (WHEN REQUIRED):
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEADED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED AT THE OWNER'S REQUEST OR IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
11. WATERING:
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT REQUIRED TO ENSURE THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
12. GUARANTEE:
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 2 YEARS FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE LANDSCAPE ARCHITECT AND/OR ENGINEER AND THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
13. CLEANUP:
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNERS' (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPRKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

• TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7' FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.

• TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7' FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.

• VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.

• FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

G:\0202\200554\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\0200554-LND-1A.....LAYOUT: C-702.LNTS




AF



NAVD 1988



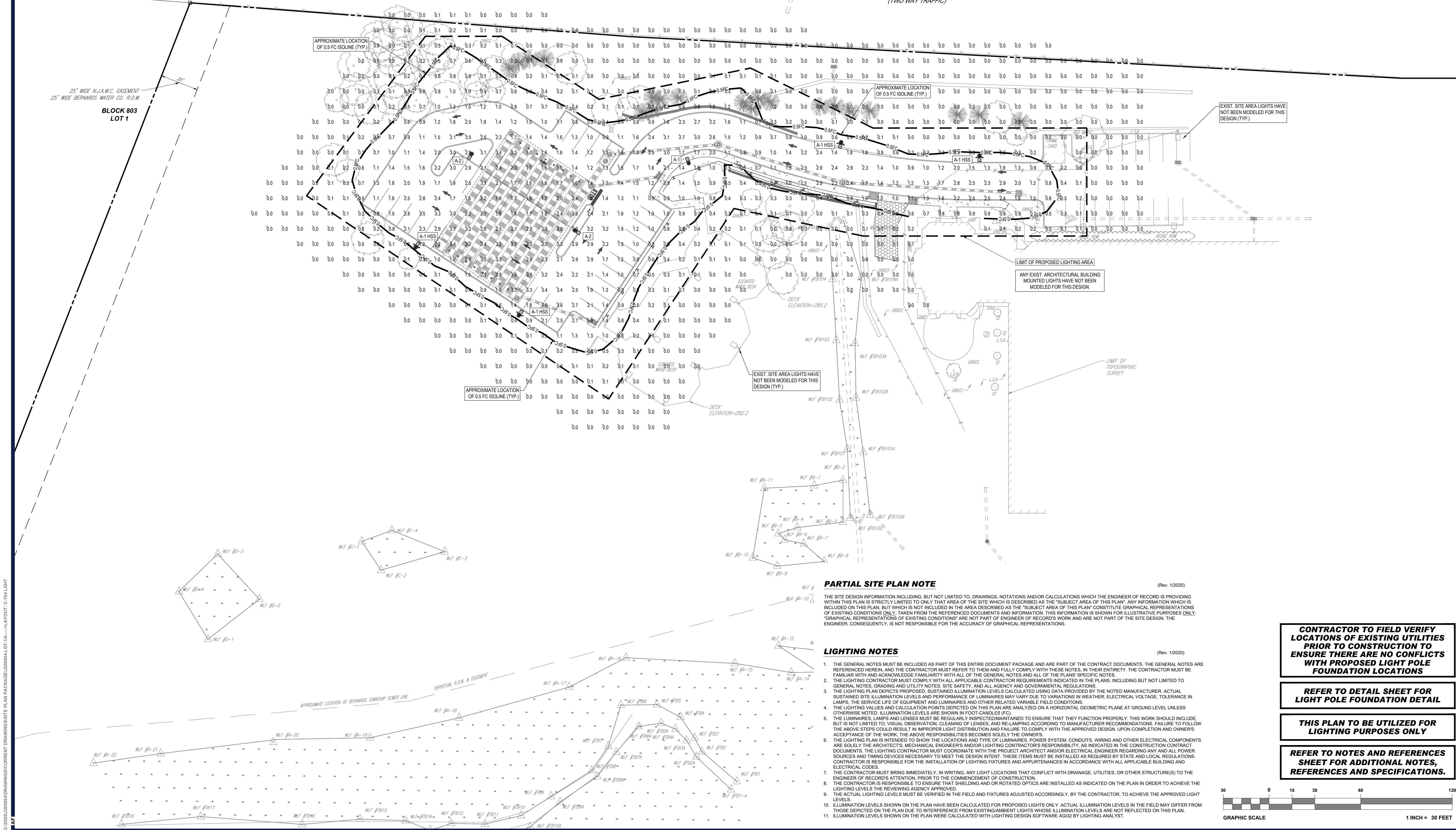
LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED AREA LIGHT (A-1, A-1 HSS & A-2)
NOT TO SCALE

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG #
	1	A-1	20'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED AREA LIGHT	SINGLE	9,646	0.900	4000K	MRM-LED-09L-SIL-3-40-70CRI-IES	MRM-LED-9L-SIL-3-XXX-XXX-DIM-40-70CRI-BRZ
	4	A-1 HSS	20'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED AREA LIGHT W/ HOUSE SIDE SHIELD	SINGLE	7,071	0.900	4000K	MRM-LED-09L-SIL-3-40-70CRI-L-IES	MRM-LED-9L-SIL-3-XXX-XXX-DIM-40-70CRI-BRZ-IL
	2	A-2	20'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED AREA LIGHT	SINGLE	18,379	0.900	4000K	MRM-LED-18L-SIL-5W-40-70CRI-IES	MRM-LED-18L-SIL-5W-XXX-XXX-DIM-40-70CRI-BRZ
NOTES: 1. ANY EXISTING SITE AREA LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN. 2. ANY EXISTING SITE AREA LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN. 3. CONTRACTOR TO FIELD VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION TO ENSURE THERE ARE NO CONFLICTS WITH PROPOSED LIGHT POLE FOUNDATION LOCATIONS.										

TOWNSHIP REQUIREMENTS		
PER SECTION: CHAPTER 21 LAND DEVELOPMENT - ARTICLE V DEVELOPMENT REGULATIONS - 21-41 LIGHTING		
LOCATION	REQUIRED	PROPOSED
MAXIMUM MOUNTING HEIGHT	12' WHEN WITHIN 250' OF RESIDENTIAL ZONE	20' (WAIVER)
MAXIMUM LIGHT POLE SPACING	5X THE MOUNTING HEIGHT (100')	98.4' (COMPLIES)
MAXIMUM AVERAGE MAINTAINED HORIZONTAL ILLUMINATION FOR VEHICULAR ROADWAYS (NONRESIDENTIAL)	0.9 FC	1.79 FC (WAIVER)
MAXIMUM AVERAGE MAINTAINED HORIZONTAL ILLUMINATION FOR SIDEWALKS (NONRESIDENTIAL)	0.9 FC	1.32 FC (WAIVER)

N.J.S.H. ROUTE 287

(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

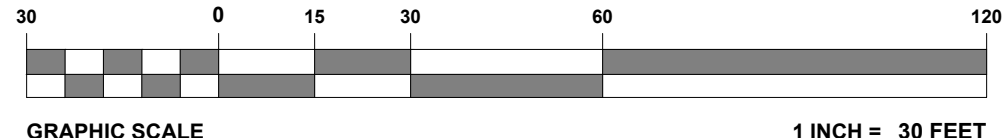


PARTIAL SITE PLAN NOTE

THE SITE DESIGN INFORMATION INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTATIONS AND/OR CALCULATIONS WHICH THE ENGINEER OF RECORD IS PROVIDING WITHIN THIS PLAN IS STRICTLY LIMITED TO ONLY THAT AREA OF THE SITE WHICH IS DESCRIBED AS THE "SUBJECT AREA OF THIS PLAN". ANY INFORMATION WHICH IS INCLUDED ON THIS PLAN, BUT WHICH IS NOT INCLUDED IN THE AREA DESCRIBED AS THE "SUBJECT AREA OF THIS PLAN" CONSTITUTE GRAPHICAL REPRESENTATIONS OF EXISTING CONDITIONS ONLY. TAKEN FROM THE REFERENCED DOCUMENTS AND INFORMATION. THIS INFORMATION IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GRAPHICAL REPRESENTATIONS OF EXISTING CONDITIONS ARE NOT PART OF ENGINEER OF RECORD'S WORK AND ARE NOT PART OF THE SITE DESIGN. THE ENGINEER, CONSEQUENTLY, IS NOT RESPONSIBLE FOR THE ACCURACY OF GRAPHICAL REPRESENTATIONS.

LIGHTING NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND KNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND REPLACING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECTS, MECHANICAL ENGINEERS AND/OR LIGHTING CONTRACTORS RESPONSIBILITY. AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR, TO ACHIEVE THE APPROVED LIGHTING LEVELS.
- ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN.
- ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AG32 BY LIGHTING ANALYST.



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	REV. PER	DRAWN BY
1	01/21/2021	COMPLETENESS	ACF	TA

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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: J200554
DRAWN BY: ATK
CHECKED BY: TAA/S
DATE: 11/02/2020
CAD ID: J200554-LGT-1A

PRELIMINARY & FINAL SITE PLAN

FOR

VERIZON CORPORATE SERVICES GROUP, INC.

PROPOSED
PARKING LOT EXPANSION
BLOCK: 803 | LOT: 2, 3, 5, 6 & 23
300 NORTH MAPLE AVENUE
BERNARDS TOWNSHIP
SOMERSET COUNTY, NEW JERSEY

BOHLER

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WARREN, NJ 07059
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www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

D.F. WISOTSKY

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 42951
CONNECTICUT LICENSE NO. 22098
NEW YORK LICENSE NO. 073745

SHEET TITLE:

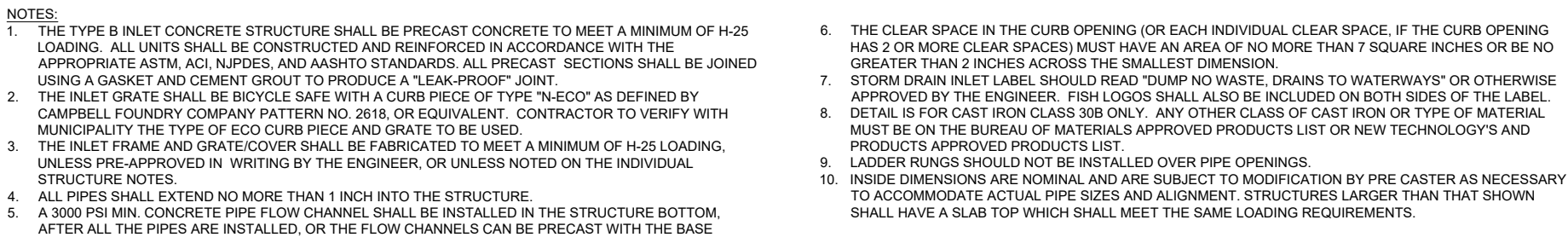
LIGHTING PLAN

SHEET NUMBER:

C-704

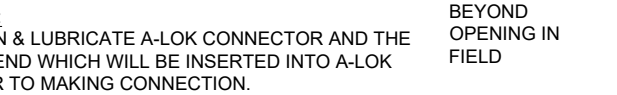
REVISION 1 - 01/21/2021

1. INLETS SHALL MEET M-15S LOADING.
2. INLETS MAY BE CONSTRUCTED OF BRICK, CONCRETE SOLID, CONCRETE BLOCK OR PRECAST CONCRETE. WALLS SHALL BE 8 INCHES THICK IF BRICK AND 8 INCHES THICK IF CONCRETE. CONCRETE BLOCKS SHALL BE 8 INCHES THICK. INLET FOUNDATIONS AND INVERTS SHALL BE CLASS B CONCRETE.
3. CORRELLING OF INLET WALLS WILL BE PERMITTED AT THE RATE OF 1/4 INCH PER 8 INCHES OF HEIGHT. MAXIMUM CORREL 6 INCHES PER WALL.
4. EXCEPT FOR INLETS A AND C, FOUNDATIONS AND INVERTS SHALL BE CONSTRUCTED IN TWO STAGES, AND THE BOTTOM OF THE FOOTINGS SHALL BE 8 INCHES BELOW THE OUTLET WALL OF THE LOWEST PIPE IN THE INLET.
WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRADE TO INVERT, WALLS BELOW A DEPTH OF 5 FEET SHALL BE 12 INCHES THICK AND THE DEPTH OF FOUNDATION INCREASES TO 12 INCHES WHEN ROCK IS ENCOUNTERED. THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
5. INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6 INCH THICK BED OF CONCRETE. CONCRETE GRADE SHALL BE 12 INCHES ABOVE THE FOUNDATION. SHALL EXTEND 8 INCHES BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION.
6. CASTINGS FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, AS REQUIRED, 12 INCHES MAXIMUM.
7. WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRADE TO INVERT, THE WALLS SHALL BE INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED, THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
8. MINIMUM WALL REINFORCEMENT FOR PRECAST INLETS TYPE A, B, C, E, D, 1, AND D MODIFIED:



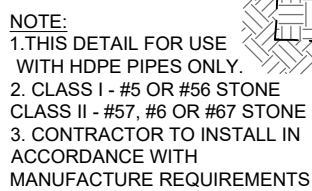
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NOT TO SCALE (G020308.01-01/2013)



NOT TO SCALE (G020001-01/2013)

NOT TO SCALE (G029902-01/2013)

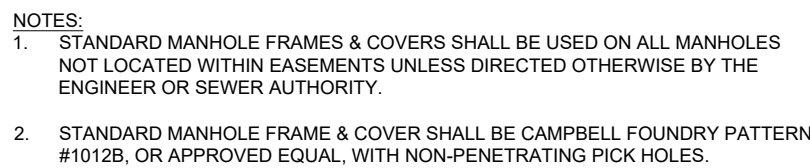


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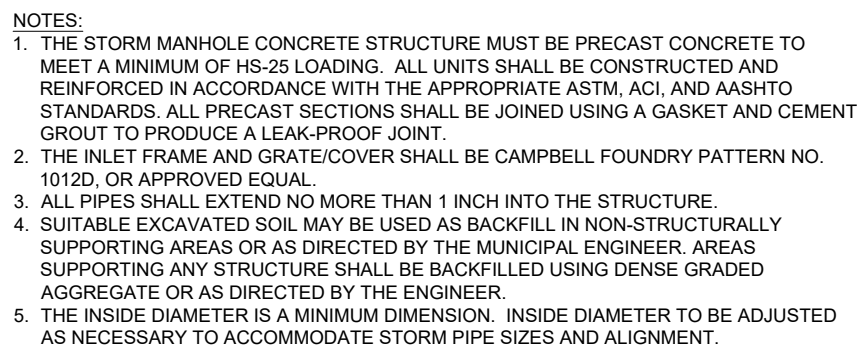
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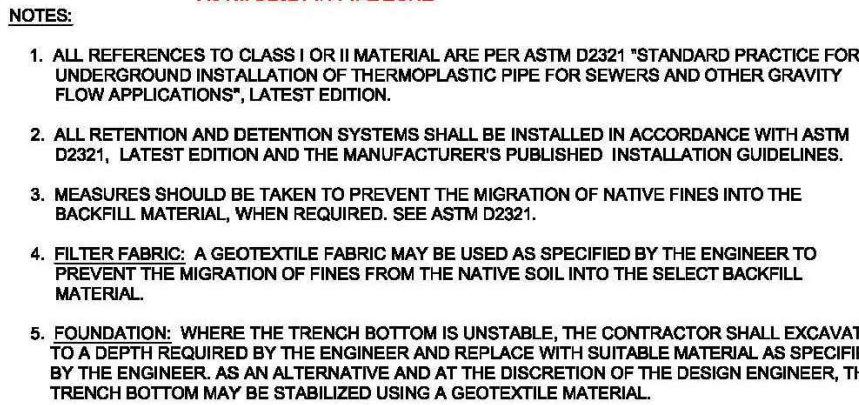
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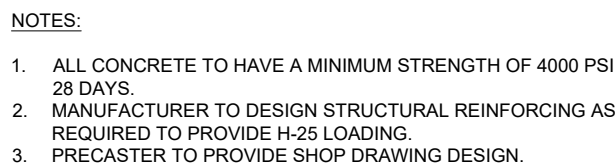


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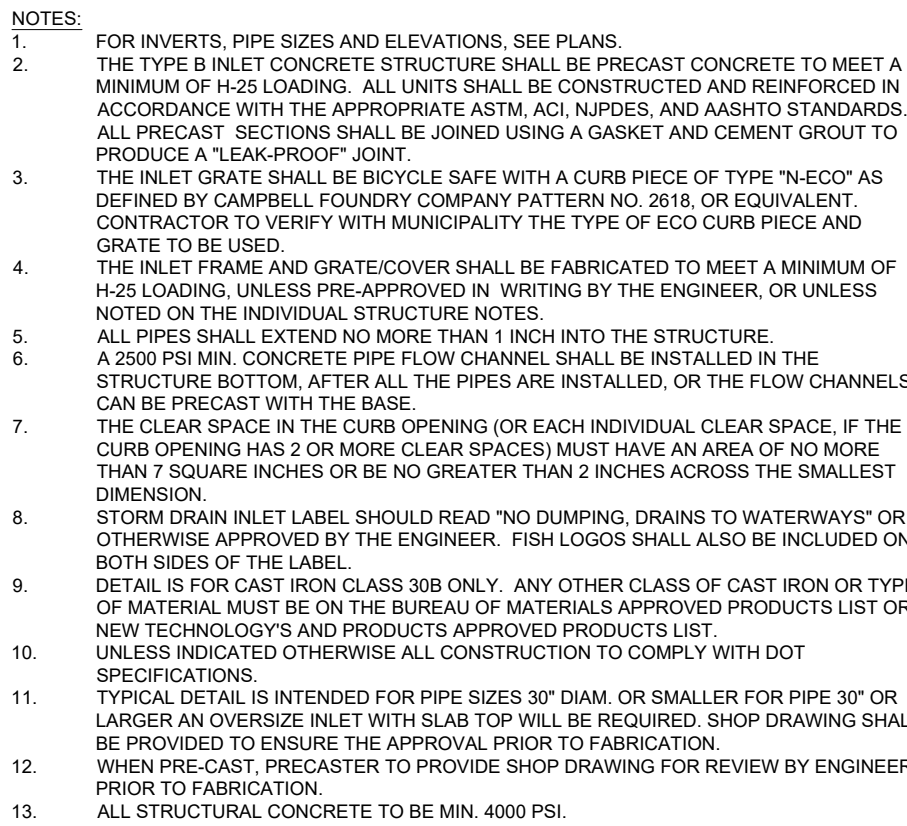


NOT TO SCALE (G020407-04/2019)

ED AROUND 60" DIAMETER FITTINGS



NOT TO SCALE (G020406-07/2015)



NOT TO SCALE (G010110-10/2015)

SCALE: 1"= 2' (G020502.02 - MODIFIED 10/2020)



NAVD 1988

N.J.S.H. ROUTE 287

(VARIABLE WIDTH PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

SLOPES TABLE

	MIN. SLOPE	MAX. SLOPE	COLOR	% ALLOWED DISTURBED	DISTURBED AREA	TOTAL AREA*	% DISTURBED
1	0.00%	14.99%		N/A	34,719 SF	199,804 SF	17.4%
2	15.00%	19.99%		40%	3,868 SF	9,918 SF	39.0%
3	20.00%	24.99%		20%	874 SF	4,787 SF	18.3%
4	>25.00%	-		NP	0 SF	18,942 SF	0%

PERCENTAGE OF DISTURBED AREA BASED UPON PARTIAL TOPOGRAPHY.
KEY: NP - NOT PERMITTED, N/A - NOT APPLICABLE



REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	01/21/2021	REV. PER COMPLETENESS	ACF	TA



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PROJECT No.: J200554
DRAWN BY: ATK
CHECKED BY: TAJAS
DATE: 11/02/2020
CAD ID: J200554-SSM-1A

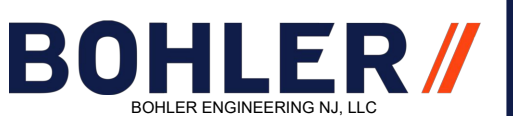
PROJECT:

PRELIMINARY & FINAL SITE PLAN

FOR

VERIZON CORPORATE SERVICES GROUP, INC.

PROPOSED
PARKING LOT EXPANSION
BLOCK: 803 | LOT: 2, 3, 5, 6 & 23
300 NORTH MAPLE AVENUE
BERNARDS TOWNSHIP
SOMERSET COUNTY, NEW JERSEY



30 INDEPENDENCE BLVD., SUITE 200
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NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

D.F. WISOTSKY

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 22068
NEW YORK LICENSE No. 073745

SHEET TITLE:

STEEP SLOPES MAP

SHEET NUMBER:

C-904

REVISION 1 - 01/21/2021

G:\2020\200554\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J200554-SSM-1A\...-LAYOUT_C-904.dwg



**APPROXIMATE
LOCATION OF
DEVELOPMENT**

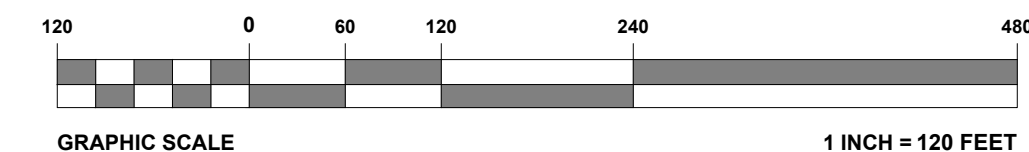
PROPERTY LINE

LIMIT OF 200' OVERLAP

An aerial photograph of a road winding through a wooded area. The road is labeled 'MADISONVILLE ROAD' in large, bold, black capital letters. Below the road name, in smaller black capital letters, is the text '(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)'. The road surface is visible, showing a change in width. The surrounding area is covered in trees and vegetation.

NORTH MAPLE AVENUE
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

**AERIAL IMAGERY BASED ON
NJGIN INFORMATION DATED
2015. TOPOGRAPHIC
INFORMATION PROVIDED BY
TOWNSHIP OF BERNARDS.**



REVISIONS

[illegible]

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PROJECT No.:	J2005
DRAWN BY:	A
CHECKED BY:	TA/
DATE:	11/02/20
CAD I.D.:	J200554-OVL-

PROJECT:

**PRELIMINARY &
FINAL SITE PLAN**

- FOR -

**VERIZON CORPORATE
SERVICES GROUP, INC.**

**PROPOSED
PARKING LOT EXPANSION**

**BLOCK: 803 | LOT: 2, 3, 5, 6 & 23
300 NORTH MAPLE AVENUE
BERNARDS TOWNSHIP
SOMERSET COUNTY, NEW JERSEY**

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D.F. WISOTSKY

PROFESSIONAL ENGINEER:
NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 22098
NEW YORK LICENSE No. 073745

SHEET TITLE:

200' OVERLAP MAP

SHEET NUMBER:

C-905

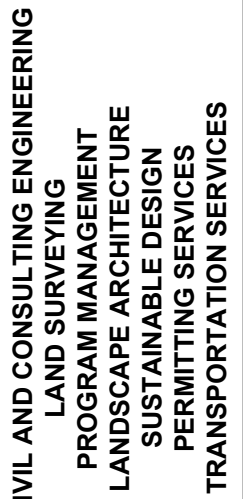
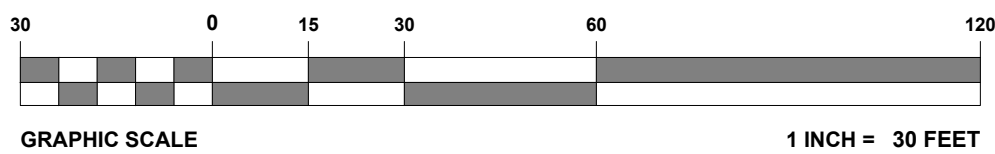
REVISION 1 - 01/21/2021

D:\2020\J200554\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J200554-OVL-1A-----LAYOUT : C-905 OVMP



feet

(VARIABLE WIDTH PUBLIC RIGHT OF WAY,
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

[illegible]

NEW JERSEY

PROJECT No.: J200554
DRAWN BY: ATK
CHECKED BY: TA/AS
DATE: 11/02/2020
CAD I.D.: J200554-TTP-1A

FOR -

BLOCK: 803 | LOT: 2, 3, 5, 6 & 23
300 NORTH MAPLE AVENUE
BERNARDS TOWNSHIP
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REVISION 1 - 01/21/2021